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Jennifer Hayden  
HAMILTON County Recorder IN  
Recorded as Presented



**ORDINANCE NO. 71-11-22 As Amended**

**AN ORDINANCE TO AMEND THE UNIFIED DEVELOPMENT ORDINANCE,  
A PART OF THE COMPREHENSIVE PLAN OF THE CITY OF NOBLESVILLE,  
HAMILTON COUNTY, INDIANA**

*Document Cross Reference Nos. 2019-59131 and 2022-33757*

This is an Ordinance to amend the Unified Development Ordinance for the City of Noblesville, Hamilton County, Indiana (the "UDO"), enacted by the City of Noblesville (the "City") under authority of Indiana Code § 36-7-4-600, et seq., as amended.

**WHEREAS**, the Plan Commission of the City of Noblesville (the "Plan Commission") conducted a public hearing on application number 0167-2022 (the "Petition") at its October 24, 2022, meeting as required by law in regard to the application filed by ENFR Management, LLC, (the "Developer") for a request in change of zoning (the "Petition"); and

**WHEREAS**, the Plan Commission sent a Favorable Recommendation relating to the Petition to the Common Council of the City of Noblesville, Indiana, (the "City Council") by a vote of nine (9) in favor and zero (0) opposed;

**NOW, THEREFORE, BE IT ORDAINED** by the City Council, meeting in regular session, it hereby adopts this ordinance (the "Ordinance") as an amendment to the UDO and the Official City of Noblesville Zoning Map (the "Zoning Map") to establish this Planned Development Overlay District (the "District") to read as follows:

**Section 1. Applicability of Ordinance.**

- A. The Zoning Map is hereby changed to designate the subject real estate generally located southeast of the intersection of 141<sup>st</sup> Street and Marilyn Road, more particularly described in Exhibit A, attached hereto (the "Real Estate"), as a Planned Development Overlay District to be known as the Village at Hyde Park Planned Development (the "District").
- B. The District's underlying zoning district shall be the Corporate Campus Planned Development District, with an underlying subdistrict of Mixed Residential Subdistrict. The Mixed Residential Subdistrict is referred to herein as the "Underlying District."
- C. The standards of the UDO existing on the date of adoption of this Ordinance applicable to the Mixed Residential District shall apply to the development of the

District, except as modified, revised, or expressly made inapplicable by this Ordinance. Cross-references to “Article”, “Part”, “Section” and “Subsection” in this Ordinance shall refer to the corresponding Article, Part, Section and Subsection as specified and referenced in the UDO

- D. All provisions and representations of the UDO that conflict with the provisions of this Ordinance and its exhibits are hereby rescinded as applied to the Real Estate and shall be superseded by the terms of this Ordinance. All previous PD Ordinances, and any amendments thereto, applicable to the Real Estate are hereby repealed with respect to the Real Estate.

**Section 2. Definitions.**

- A. The general rules of construction set forth in Article 2 of the UDO and the definitions set forth in this Ordinance shall apply to the regulations of this Ordinance. Capitalized terms that are not otherwise defined herein and are defined in the UDO shall have the meaning ascribed to them in the UDO.
- B. “Preliminary Development Plan” shall mean the oversized, scaled development plans on file with the City of Noblesville’s Planning and Development Department dated August 1, 2022. The exhibit attached hereto as **Exhibit B** is a general representation of the oversized plans (collectively, the “Preliminary Development Plan”).
- C. “Approved Elevations” shall mean the set of multi-family elevations on file with the City of Noblesville’s Planning and Development Department, as reviewed and approved by the City’s Architectural Review Board at its August 17, 2022, meeting. The exhibit attached hereto as **Exhibit C** is a sampling and general representation of those approved elevations (collectively, the “Approved Elevations”).

**Section 3. Permitted Uses.**

- A. All uses permitted in the Underlying District including single-family dwellings and two-family dwellings shall be permitted within the District; however, the maximum number of Dwelling Units shall not exceed two-hundred and sixty (260).
- B. Accessory Uses and Accessory Structures customarily incidental to any permitted use including amenity structures/uses shall be permitted.

**Section 4. Preliminary Development Plan.**

- A. The Preliminary Development Plan and waivers listed in **Exhibit D** are hereby hereby incorporated and approved. Pursuant to Article 8 of the UDO, the Preliminary Development Plan is intended to establish the basic goals and

policies, bulk standards, variations from the Underlying District and layout of the District.

**Section 5. Architectural Standards.**

A. The following standards shall apply to the District:

1. The Approved Elevations are hereby incorporated and approved. All buildings shall be substantially consistent with the Approved Elevations. The Director of Planning and Development, including his or her designees, shall review for compliance and approve building elevations at the time of filing of the Detailed Development Plan and/or Building Permit.
2. If a building elevation does not comply with Section 5.A.1, then the proposed building elevation(s) shall be submitted for review and approval by the Architectural Review Board. The Architectural Review Board's review of the building elevation(s) shall be performed in order to determine its compatibility and consistency with the intended quality and character of the District and the Approved Elevations.

**Section 6. Title, Purpose and Effect.** The regulations of *ARTICLE 1. TITLE, PURPOSE AND EFFECT* shall apply.

**Section 7. Definitions and Rules of Word Usage.** The regulations of *ARTICLE 2. DEFINITIONS AND RULES OF WORD USAGE* shall apply.

**Section 8. Administrative Bodies and Officials.** The regulations of *ARTICLE 3. ADMINISTRATIVE BODIES AND OFFICIALS* shall apply.

**Section 9. Zoning Applications and Approvals.** The regulations of *ARTICLE 4. ZONING APPLICATIONS AND APPROVALS* shall apply.

**Section 10. Subdivision Procedure.** The regulations of *ARTICLE 5. SUBDIVISION PROCEDURE* shall apply.

**Section 11. Site Design and Improvement Standards.** The regulations of *ARTICLE 6. SITE DESIGN AND IMPROVEMENT STANDARDS* shall apply.

**Section 12. Plans, Maps, and Zoning Districts.** The regulations of *ARTICLE 7. PLANS, MAPS, AND ZONING DISTRICTS* shall apply.

**Section 13. Zoning Districts.** The regulations of *ARTICLE 8. ZONING DISTRICTS* shall apply, except as modified below:

- A. **Table 8.B. Summary of Residential Bulk Requirements and Article 8(E)(4)(B) and (C) (Mixed Use Residential Subdistrict Regulations):** Shall not apply. Instead, the following requirements shall apply:

|  |                                      |
|--|--------------------------------------|
| <b>Minimum Lot Area</b>  | See Real Estate                      |
| <b>Minimum Lot Width</b>   | Not Applicable                       |
| <b>Maximum Building Height</b>                                     | 35'                                  |
| <b>Marilyn Road Building Setback</b>                               | 50'                                  |
| <b>141<sup>st</sup> Street Building Setback</b>                    | 110'                                 |
| <b>North, East and South Boundary Setback (side and rear yard)</b> | 25' (North); 10' (East); 25' (South) |
| <b>Floor Area Ratio</b>  | Not Applicable                       |
| <b>Minimum Floor Area</b>  | 600 SF/Unit                          |
| <b>Maximum Lot Coverage</b>  | Not Applicable                       |

Note: Accessory structures such as entry monument signs, walls and fences shall be permitted within the building setbacks, subject to the City Engineering Department's approval.

- B. **Article 8, Part H, Section 3.F.1.b. Establishment of Site Development Intensity:** Shall not apply. Instead, the maximum number of Dwelling Units within the District shall not exceed two-hundred and sixty (260).
- C. **Article 8, Part H, Section 3.F.2. Establishment of Peripheral Yard:** Shall not apply. Instead, perimeter landscaping shall be as shown on the approved Preliminary Development Plan.
- D. **Article 8, Part H, Section 3.H. Designation of Permanent Common Open Space:** Shall not apply in light of the District's inclusion within the overall Hyde Park master plan.

**Section 14. General Regulations.** The regulations of *ARTICLE 9. GENERAL REGULATIONS* shall apply.

**Section 15. Off-Street Parking and Loading.** The regulations of *ARTICLE 10. OFF-STREET PARKING AND LOADING* shall apply, except as modified below:

- A. **Article 10, Table 10.D.3.B. Required Parking Spaces:** Shall apply to two-hundred and fifty-six (256) dwellings; therefore the required number of parking spaces shall be five-hundred and twelve (512).
- B. **Article 10, Section 4.B.1. Dimensions and Layout:** Shall not apply; instead, the off-street parking shall be located as shown on the approved Preliminary Development Plan.

- C. **Article 10, Section 4.C.2. Driveways:** Shall not apply; instead, the entrances and exits shall be as generally *shown* on the approved Preliminary Development Plan.
- D. **Article 10, Section 4.C.4. Location of Parking and Loading Behind Required Setback:** Shall not apply; instead, the parking and loading shall be as generally shown on the approved Preliminary Development Plan.
- E. **Article 10, Section 4.D.3. Marking of Parking:** Shall apply, except bumper guards or wheel guards shall not be required. Instead, curbs shall be integrated with the sidewalk.
- F. **Article 10, Section 6.A.3. Pedestrian Access Along Building Facades Not Adjacent to a Public Sidewalk:** Shall not apply. Instead, the pedestrian walkways shall be as shown generally on the approved Preliminary Development Plan.
- G. **Article 10, Section 6.B.2. Pedestrian Walkway Standards – Along Facades Not Adjacent to Sidewalks:** Shall not apply. Instead, the pedestrian walkways shall be as shown generally on the approved Preliminary Development Plan.

**Section 16.** **Signs.** The regulations of *ARTICLE 11. SIGNS* shall apply, except as modified below:

- A. **Article 11, Part B, Section 3.A.4. Design:** Shall not apply.
- B. **Article 11, Part C, Section 1.B. Single-Family, Two-Family or Multi-family Subdivisions:** Shall not apply; instead, attached hereto as **Exhibit D** is the ground entry signage, showing the design and size for the permitted ground sign.
- C. Wayfinding, directional, informational, traffic control, incidental and similar signage are not shown on **Exhibit D** and shall be permitted per the UDO.

**Section 17.** **Landscaping and Screening.** The regulations of *ARTICLE 12. LANDSCAPING AND SCREENING* shall not apply. Instead, landscaping and screening shall be as shown generally on the approved Preliminary Development Plan.

**Section 18.** **Environmental Performance Standards.** The regulations of *ARTICLE 13. ENVIRONMENTAL PERFORMANCE STANDARDS* shall apply.

**Section 19.** **Nonconforming Uses and Structures.** The regulations of *ARTICLE 14. NONCONFORMING USES AND STRUCTURES* shall apply.

**Section 20.** **Enforcement.** The regulations of *ARTICLE 15. ENFORCEMENT* shall apply.

**Section 21.** **Procedures.**

- A. **Detailed Development Plan.** Approval of a Detailed Development Plan (“DDP”) shall follow the procedures set out in Article 8, subject to the following clarification: (i) the Director of Planning and Zoning shall approve Minor Changes; and (ii) if a DDP includes a Major Change from the approved Preliminary Development Plan, then, prior to approval of the DDP, an amended Preliminary Development Plan shall be submitted to the City for review by the Technical Advisory Committee and then for review and approval by the Plan Commission following a public hearing. A Major Change from the approved Preliminary Development Plan shall be reviewed and approved by the Technical Advisory Committee and the Plan Commission based upon compliance with the development standards set forth herein and shall be compatible and consistent with the intended quality and character of the District. A Secondary Plat shall be submitted for review and approval as part of any approved DDP.
- B. **Major Change.** For purposes of this Ordinance, a “Major Change” shall mean: (i) a substantial change to the **location** of a perimeter entrance as shown on the Preliminary Development Plan; and (ii) significant changes to the drainage management systems, including, but not limited to, BMP’s and legal drains.
- C. **Minor Change.** For purposes of this Ordinance, a “Minor Change” shall mean any change that: (i) is not a Major Change; and (ii) is consistent with the intent of this Ordinance and consistent with the quality and character represented in this Ordinance for the District. Specifically, changes to the internal vehicular circulation configurations and building configurations, are expected and shall be deemed to be Minor Changes for purposes of this Ordinance.

[The remainder of this page intentionally left blank; signature page follows.]

Approved on this 22nd day of November, 2022 by the Common Council of the City of Noblesville, Indiana:

| AYE                |                     | NAY                | ABSTAIN |
|--------------------|---------------------|--------------------|---------|
|                    | Brian Ayer          | <i>[Signature]</i> |         |
|                    | Mark Boice          |                    |         |
| <i>[Signature]</i> | Michael J. Davis    |                    |         |
| <i>[Signature]</i> | Gregory P. O'Connor |                    |         |
| <i>[Signature]</i> | Darren Peterson     |                    |         |
| <i>[Signature]</i> | Pete Schwartz       |                    |         |
| <i>[Signature]</i> | Aaron Smith         |                    |         |
| <i>[Signature]</i> | Dan Spartz          | <i>[Signature]</i> |         |
| <i>[Signature]</i> | Megan G. Wiles      |                    |         |

ATTEST: *[Signature]*  
 Evelyn L. Lees, City Clerk

Presented by me to the Mayor of the City of Noblesville, Indiana, this 22nd day of November, 2022 at 7:42 P.M.

*[Signature]*  
 Evelyn L. Lees, City Clerk

*[Signature]*  
 Chris Jensen, Mayor

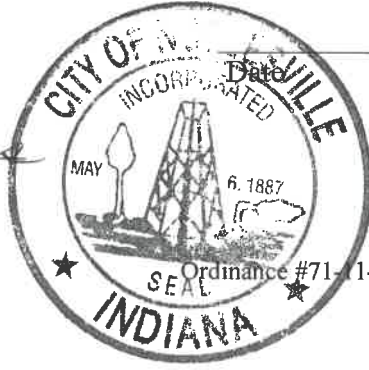
MAYOR'S APPROVAL

11-22-22  
 Date

MAYOR'S VETO

Chris Jensen, Mayor

ATTEST: *[Signature]*  
 Evelyn L. Lees, City Clerk



I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security Number in this document, unless required by law:

Jon C. Dobosiewicz  
Printed Name of Declarant

Prepared by: James E. Shinaver, attorney at law, NELSON & FRANKENBERGER and Jon C. Dobosiewicz, land use professional, NELSON & FRANKENBERGER. 550 Congressional Blvd, Suite 210, Carmel, IN 46032 (317) 844-0106.

Village at Hyde Park PD Ordinance 5 111422



**EXHIBIT A**

Legal Description  
(Page 1 of 1)

BEING A PART OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER, TOGETHER WITH A PART OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 18 NORTH, RANGE 5 EAST, HAMILTON COUNTY, INDIANA, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 22; THENCE ALONG THE WEST LINE OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 22, S00°07'04"W, A DISTANCE OF 178.51 FEET TO A LINE PARALLEL TO AND 178.50 FEET SOUTH OF THE NORTH LINE OF SAID SOUTHWEST QUARTER OF SECTION 22; THENCE ALONG SAID PARALLEL LINE, N89°13'27"E, A DISTANCE OF 1524.25 FEET TO THE EAST LINE OF NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 22; THENCE ALONG SAID EAST LINE, N00°05'55"W, A DISTANCE OF 141.51 FEET TO THE SOUTH RIGHT OF WAY OF EAST 141 ST STREET AS DEDICATED IN DOCUMENT 200600066492; THENCE ALONG SAID SOUTH RIGHT OF WAY, N89°12'56"E, A DISTANCE OF 158.56 FEET; THENCE S01°04'22"E, A DISTANCE OF 81.79 FEET; THENCE S40°50'22"W, A DISTANCE OF 753.39 FEET; THENCE S47°17'34 "W, A DISTANCE OF 321.02 FEET; THENCE S27°13'09"W, A DISTANCE OF 483.61 FEET TO THE SOUTH LINE OF SAID NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 22; THENCE ALONG SAID SOUTH LINE, S89°16'15"W, A DISTANCE OF 535.29 FEET TO THE WEST LINE SAID SOUTHWEST QUARTER; THENCE ALONG SAID WEST LINE, N00°07'04"W, A DISTANCE OF 1147.60 FEET TO THE POINT OF BEGINNING.

**EXHIBIT B**

PRELIMINARY DEVELOPMENT PLAN

**(SEE FOLLOWING 10 PAGES)**

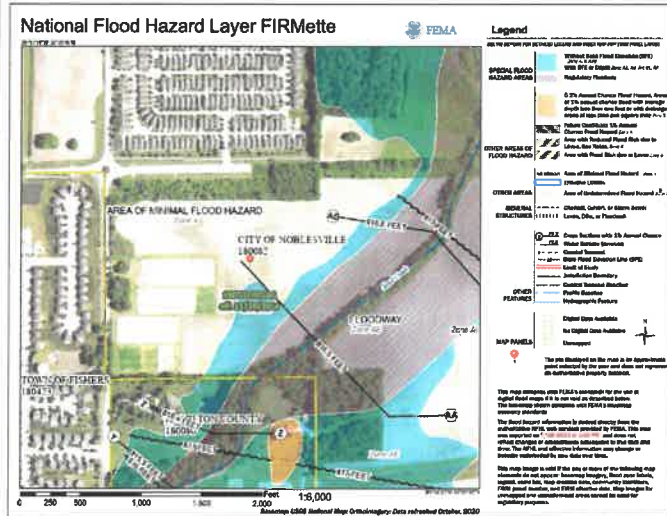
Note: The following pages include reduced copies of the Preliminary Development Plan. To scale and electronic copies of the Preliminary Development Plan are on file with the Planning Department under Application No. LEGP-0167-2022.

SOILS MAP:



| Map Unit Symbol                    | Map Unit Name   | Acres in AOI | Percent of AOI |
|------------------------------------|---|--------------|----------------|
| Br                                 | Brockton silt clay loam, 0 to 2 percent slopes                              | 5.1          | 17.3%          |
| C1A                                | Croftly silt loam, fine-grained subsoil, 0 to 2 percent slopes              | 22.8         | 77.1%          |
| C1B2                               | Croftly silt loam, 2 to 8 percent slopes, eroded                            | 1.3          | 4.9%           |
| Sh                                 | Shoals silt loam, 0 to 2 percent slopes, frequently flooded, brief duration | 0.3          | 1.1%           |
| YmB2                               | Miami silt loam-urban land complex, 2 to 5 percent slopes, eroded           | 0.0          | 0.1%           |
| <b>Totals for Area of Interest</b> |   | <b>29.2</b>  | <b>100.0%</b>  |

FEMA MAP:



# PRELIMINARY ENGINEERING PLANS FOR VILLAGE AT HYDE PARK SEC OF 141ST ST & MARYLIN RD NOBLESVILLE, IN 46060

SHEET INDEX:

| SHEET     | DESCRIPTION                            |
|-----------|--|
| C001      | COVER SHEET                            |
| C200      | OVERALL SITE PLAN                      |
| C201-C203 | SITE PLAN                              |
| C204      | OFFSITE IMPROVEMENTS                   |
| C205      | VEHICULAR TURN MOVEMENT                |
| C501-C503 | UTILITY PLAN                           |
| L1.0      | SITE PERIMETER AND LANDSCAPE STANDARDS |
| L1.1      | SITE INTERIOR LANDSCAPE STANDARDS      |

LEGAL DESCRIPTION:

BEING A PART OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER, TOGETHER WITH A PART OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 18 NORTH, RANGE 6 EAST, HAMILTON COUNTY, INDIANA, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 22;

THENCE ALONG THE WEST LINE OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 22, 800.0704' N, A DISTANCE OF 178.21 FEET TO A LINE PARALLEL TO AND 178.20 FEET SOUTH OF THE NORTH LINE OF SAID SOUTHWEST QUARTER OF SECTION 22;

THENCE ALONG SAID PARALLEL LINE, 889°13'27" E, A DISTANCE OF 1024.25 FEET TO THE EAST LINE OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 22;

THENCE ALONG SAID EAST LINE, 889°13'27" E, A DISTANCE OF 148.15 FEET TO THE SOUTH RIGHT OF WAY OF EAST 141ST STREET AS DEDICATED IN DOCUMENT 20080006492;

THENCE ALONG SAID SOUTH RIGHT OF WAY, 889°13'27" E, A DISTANCE OF 158.58 FEET;

THENCE 801°04'21" E, A DISTANCE OF 81.78 FEET;

THENCE S40°30'22" W, A DISTANCE OF 783.38 FEET;

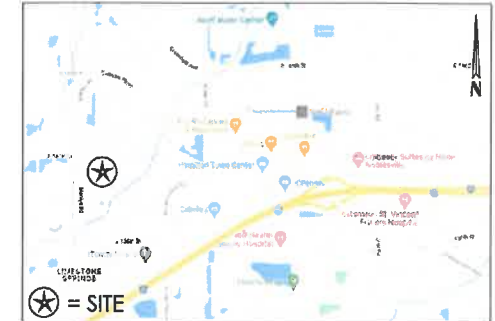
THENCE S47°12'54" W, A DISTANCE OF 381.08 FEET;

THENCE S27°13'09" W, A DISTANCE OF 483.61 FEET TO THE SOUTH LINE OF SAID NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 22;

THENCE ALONG SAID SOUTH LINE, S89°14'13" W, A DISTANCE OF 533.29 FEET TO THE WEST LINE SAID SOUTHWEST QUARTER;

THENCE ALONG SAID WEST LINE, 800°07'04" W, A DISTANCE OF 1147.60 FEET TO THE POINT OF BEGINNING.

LOCATION MAP:



HAMILTON COUNTY  
CONSTRUCTION OF 257 SINGLE FAMILY UNITS AND INFRASTRUCTURE ON 25.22 ACRES. PROJECT IS IN SECTION 22 OF T18N, R5E IN THE CITY OF NOBLESVILLE, HAMILTON COUNTY, INDIANA

ENGINEER:

**Cripe** SOLUTIONS BY DESIGN SINCE 1937

STEVE PIERRE, PE  
317-607-6309  
9339 PRIORITY WAY WEST DRIVE SUITE 100  
INDIANAPOLIS, IN 46240

DEVELOPER/OWNER:

**BRYAN FREE**  
312-699-8152  
6617 N. SCOTTSDALE ROAD, SUITE 101  
SCOTTSDALE, AZ 85250

LANDSCAPE ARCHITECT:

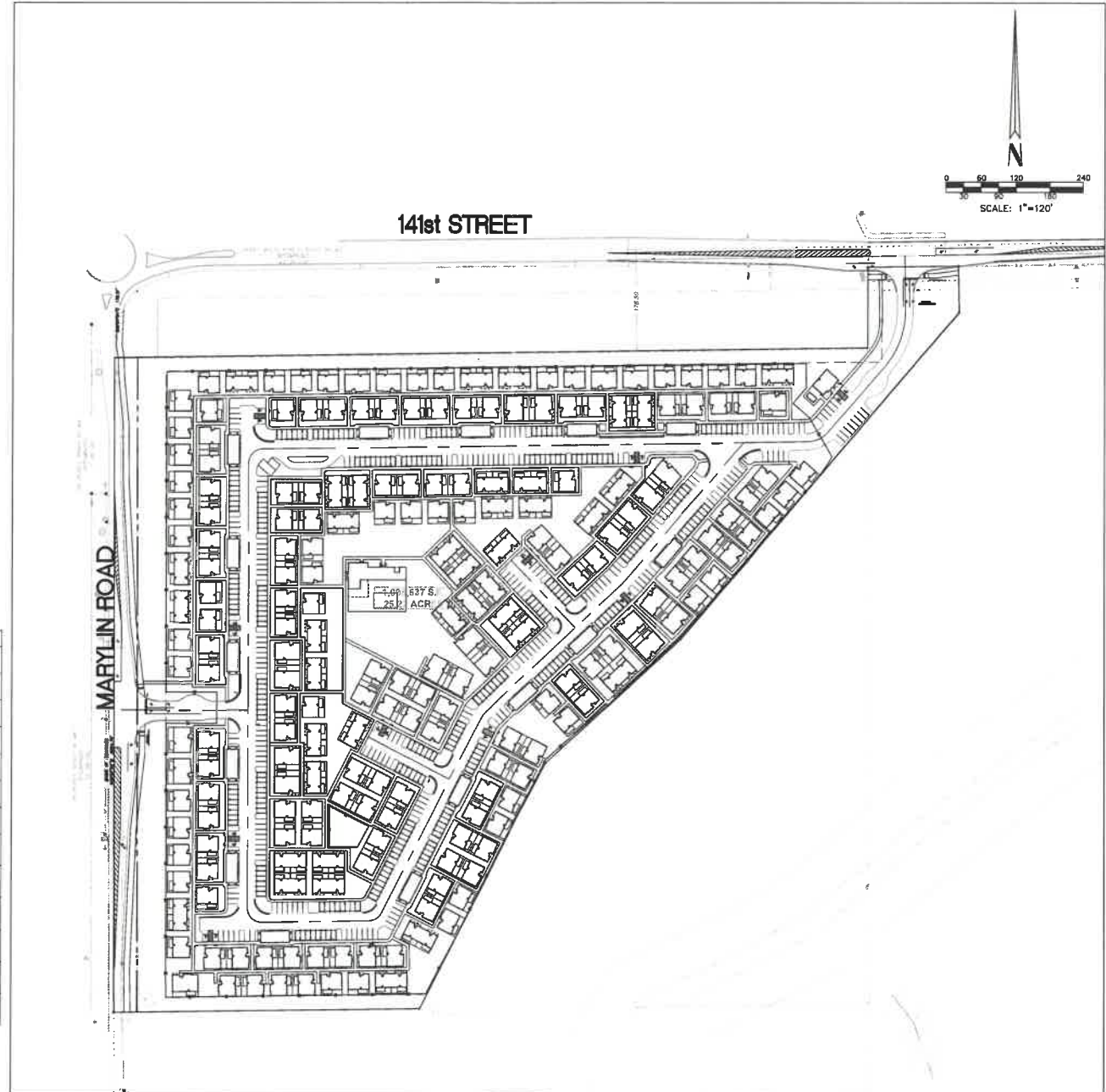
**HITCHCOCK DESIGN GROUP** creating better places

MICHELLE TAGART, PLA  
405 Massachusetts Ave, Suite 3B  
Indianapolis, IN 46204

LAND SURVEYOR:

**XCEL Consultants**

JAMES A FAETANINI, PLS  
308-787-9988  
8301 42ND STREET WEST  
TOCK ISLAND, IL 61201



AGENCY & UTILITY INFO:

| SERVICE / JURISDICTION     | COMPANY / DEPT.                   | ADDRESS   | PHONE NUMBER   | CONTACT           |
|----------------------------|-----------------------------------|---|----------------|-------------------|
| ENGINEERING                | CITY OF NOBLESVILLE               | 18 S 10TH ST., STE. 155, NOBLESVILLE, IN 46060        | (317) 776-6330 | JIM HELLMANN      |
| COMMUNITY DEV AND PLANNING | CITY OF NOBLESVILLE               | 18 S 10TH ST., STE. 150, NOBLESVILLE, IN 46060        | (317) 776-6325 | JOYCEANN YELTON   |
| FIRE                       | NOBLESVILLE FIRE DEPT.            | 135 S 9TH ST., BTE. 155, NOBLESVILLE, IN 46060        | (317) 776-6338 | DARRELL CROSS     |
| STORM SEWER                | CITY OF NOBLESVILLE               | 18 S 10TH ST., NOBLESVILLE, IN 46060                  | (317) 776-6330 | DOISE ADAMS       |
| MSW OPERATOR               | CITY OF NOBLESVILLE               | 18 S 10TH ST., STE. 155, NOBLESVILLE, IN 46060        | (317) 776-6330 | BRAD ROBBINS      |
| STREETS                    | NOBLESVILLE STREET DEPT.          | 1575 PLEASANT ST., NOBLESVILLE, IN 46060              | (317) 776-6348 | VINCE BAKER       |
| COUNTY SURVEYOR            | HAMILTON COUNTY SURVEYOR'S OFFICE | 1 HAMILTON CTY. SQ., STE. 140, NOBLESVILLE, IN 46060  | (317) 776-6495 | STEVE CASH        |
| COMMUNICATION              | AT&T                              | 240 N. MERIDIAN ST., ROOM 280, INDIANAPOLIS, IN 46204 | (317) 610-5437 | BRIAN PETERS      |
|                            | COMCAST (TELECOM PLACEMENT INC)   |   | (317) 752-8426 | THOMAS SPENCER    |
| POWER                      | DUKE ENERGY                       | 100 S. MILL CREEK RD., NOBLESVILLE, IN 46060          | (317) 776-5348 | CLINT THOMPSON    |
| GAS                        | CENTERPOINT ENERGY                | 15000 ALLISONVILLE RD., NOBLESVILLE, IN 46060         | (317) 776-5990 | RANDY CRUTCHFIELD |
| WATER                      | INDIANA AMERICAN WATER            | 15227 HERRMAN BLVD., NOBLESVILLE, IN 46060            | (317) 773-2497 | JOSH COX          |
| SANITARY SEWER             | CITY OF FISHERS (SANITARY)        | 1 MUNICIPAL DR., FISHERS, IN 46038                    | (317) 995-3160 | LAURA MCCLURE     |

9339 PRIORITY WAY WEST DRIVE, SUITE 100  
INDIANAPOLIS, INDIANA 46240  
(317) 844-6777  
www.cripe.biz

**Cripe**  
Solutions by Design Since 1937

COVER SHEET  
Village at Hyde Park  
Empire Group  
141st Street and Marilyn Road  
Noblesville, Indiana

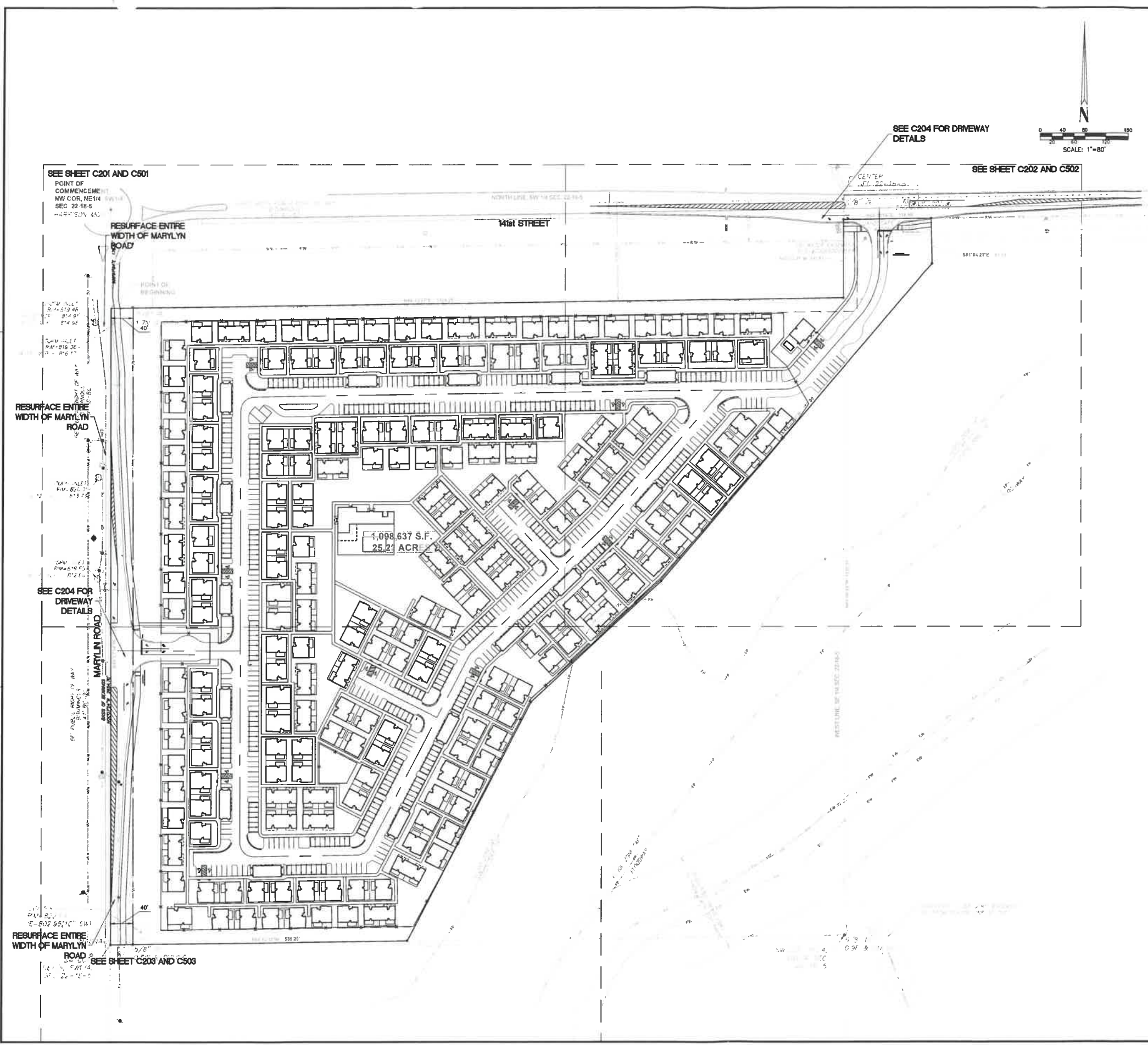
CERTIFIED BY:  
PRELIMINARY NOT FOR CONSTRUCTION  
Date: 02-01-2022

1-800-982-5944  
Down by: Dave Kuehner, PE  
Checked by: Steve Pierre, PE  
Quality Assurance: Gary Murray, PE, LEED AP  
Scale: 1"=120'

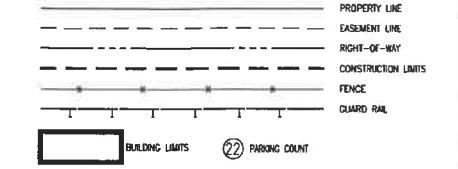
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Date: 02-01-2022  
Project Number: 220133-20000

CV:2022(2201)33(20000)CoverSheet.dwg, September 22, 2022 6:35 PM, DAVID KUEHNER, © P&H, Cripe, Inc.

C:\2022\220133\20000\Coord\Eng\PEA\C200\_Overall Site Plan.dwg, September 22, 2022 4:37 PM, DAVID KUBENIEK, J Paul I. Cripe, Inc.




**SITE PLAN LEGEND**



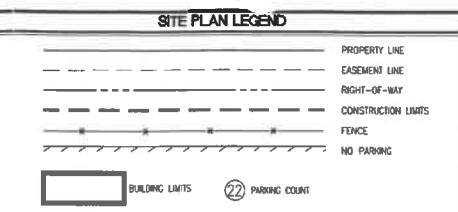
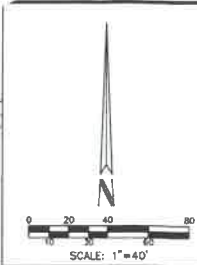
**SITE SUMMARY**

|   |                      |
|---|----------------------|
| SITE TOWNSHIP =                         | CORPORATE CAMPUS     |
| PARKING DISTRICT =                      |                      |
| SITE ACREAGE =                          | 25.22 ACRES          |
| OPEN SPACE =                            | 10.36 ACRES          |
| IMPERVIOUS SPACE =                      | 14.86 ACRES          |
| FLOODPLAIN ACREAGE =                    | 0.07 ACRES           |
| <b>UNIT MIX:</b>                        |                      |
| 1 BEDROOM =                             | 76 UNITS             |
| 2 BEDROOM =                             | 154 UNITS            |
| 3 BEDROOM =                             | 26 UNITS             |
| TOTAL UNIT COUNT =                      | 256 UNITS            |
| <b>PARKING SPACES REQUIRED:</b>         |                      |
| SINGLE FAMILY RESIDENTIAL =             | 512 (2 SPACE / UNIT) |
| <b>STANDARD PARKING SPACE PROVIDED:</b> |                      |
| STANDARD PARKING =                      | 449                  |
| ACCESSIBLE SPACES =                     | 20                   |
| GARAGE SPACES =                         | 44                   |
| TOTAL SPACES PROVIDED =                 | 513                  |

|   |  |
|---|--|
| <p><b>OVERALL SITE PLAN</b><br/>         Village at Hyde Park<br/>         Empire Group<br/>         141st Street and Marylyn Road<br/>         Noblesville, Indiana</p>                                      | <p><b>Cripe</b><br/>         Solutions by Design Since 1937</p> <p>9339 PRIORITY WAY WEST DRIVE, SUITE 100<br/>         INDIANAPOLIS, INDIANA 46240<br/>         (317) 844-6777<br/>         www.cripe.biz</p> |
| <p>CERTIFIED BY:</p> <p style="font-size: 2em; font-weight: bold;">PRELIMINARY<br/>NOT FOR<br/>CONSTRUCTION</p> <p>Date: 08-01-2022</p>   |  |
|  <p>David Kuehn, PE<br/>         Checked by: Bill Harris, PE<br/>         Quality Assurance: Gary Murray, PE LEED AP</p> |  |
| <p>Sheet: <b>C200</b><br/>         Date: 08-01-2022<br/>         Project Number: 220133-20000</p>   |  |

POINT OF COMMENCEMENT  
NW COR, NE 1/4, SW 1/4  
SEC. 22-18-5

NORTH LINE, SW 1/4 SEC

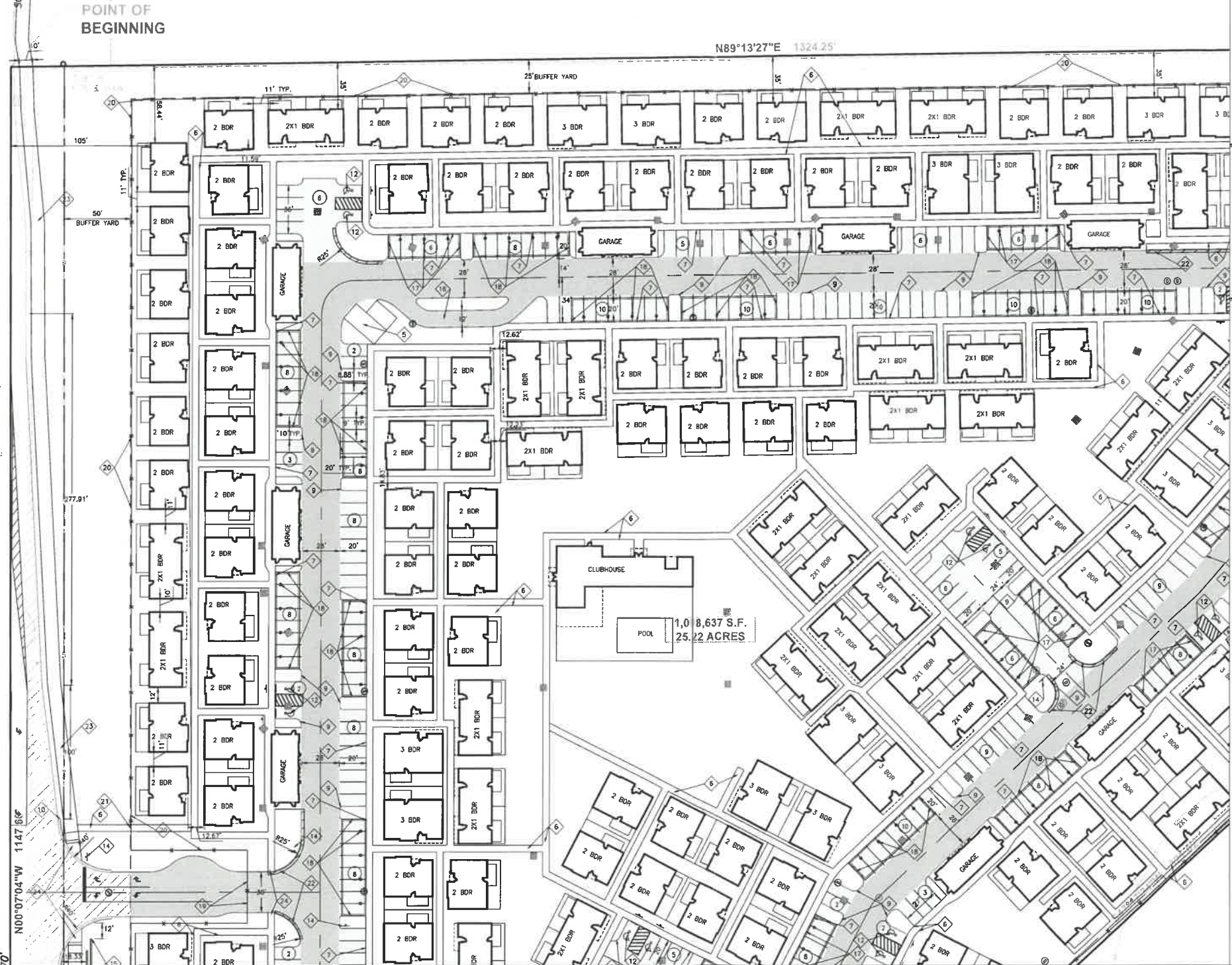


**SITE WORK GENERAL NOTES AND SPECIFICATIONS**

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, OR VERIFYING, THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY, STATE AND ANY OTHER REGULATORY AGENCIES PRIOR TO STARTING CONSTRUCTION.
- EXISTING UTILITY LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL DETERMINE AND FIELD VERIFY ALL HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY AND OBTAIN APPROVAL FROM EACH RESPECTIVE UTILITY COMPANY PRIOR TO PERFORMING ANY WORK ON OR IN THE VICINITY OF EXISTING UTILITIES LINES AND APPURTENANCES.
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND CONTRACTOR TO MAINTAIN QUALITY CONTROL THROUGHOUT THE PROJECT. FAILURE TO DO SO MAY RESULT IN REMOVAL AND REPLACEMENT OF THE DEFECTIVE WORK. IT IS RECOMMENDED THAT THE DEVELOPER HAVE A QUALIFIED INSPECTOR ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.
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- OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS FINAL RULE 29 CFR PART 1926, SUBPART T APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH.
- EXCAVATIONS EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRE THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER.
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**SITE PLAN NOTES**

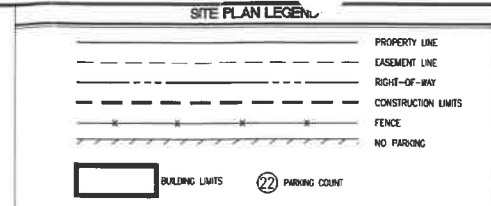
- ALL ROAD AND STREET DIMENSIONS SHALL BE MEASURED TO BACK OF CURB OR FACE OF INTEGRAL CURB AND WALK. ALL DIMENSIONS TO THE BUILDING ARE TO THE OUTSIDE OF BUILDING FOUNDATION WALL.
- ALL PAVEMENT AND/OR CURB BIDD TO BE FIVE (5) FOOT UNLESS OTHERWISE NOTED.
- BEARINGS, DIMENSIONS AND EASEMENTS ARE SHOWN FOR REFERENCE ONLY. REFER TO RECORDED BOUNDARY SURVEYS, ALIAS AND SECONDARY PLANS FOR EXACT INFORMATION.
- ALL PARKING STALLS SHALL BE 9' X 20' WHERE ADJACENT TO SIDEWALK OR GRASS AREA. WHERE INTEGRAL CURB AND WALK IS ADJACENT TO A PARKING STALL, TWO (2) FEET OF SIDEWALK SHALL BE UTILIZED AS PARKING AREA OVERHANG. PARKING STALLS ARE DIMENSIONED TO THE FACE OF CURBS.
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- TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION SHALL CONFORM TO APPLICABLE LOCAL STANDARDS.
- REFER TO UTILITY PLAN FOR SANITARY AND STORM STRUCTURE LOCATIONS.



1,086,637 S.F.  
25.22 ACRES

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|--|--|
| <p><b>SITE PLAN</b></p> <p>Village at Hyde Park</p> <p>Empire Group</p> <p>141st Street and Marilyn Road</p> <p>Noblesville, Indiana</p> | <p>ARCHITECTURE &amp; INTERIORS</p> <p>CIVIL ENGINEERING</p> <p>MECHANICAL ENGINEERING</p> <p>ELECTRICAL ENGINEERING</p> <p>ENVIRONMENTAL ENGINEERING</p> <p>EQUIPMENT PLANNING</p> <p>REAL ESTATE SERVICES</p>                    |
| <p>CERTIFIED BY:</p> <p><b>PRELIMINARY NOT FOR CONSTRUCTION</b></p> <p>Date: 09-01-2022</p>  | <p>1-800-982-5544</p> <p>Down by: Dave Kaufman, PE</p> <p>Checked by: Steve Perrin, PE</p> <p>Quality Assurance: Gary Murray, PE LEED AP</p> <p>Sheet: <b>C201</b></p> <p>Date: 09-01-2022</p> <p>Project Number: 220133-20000</p> |

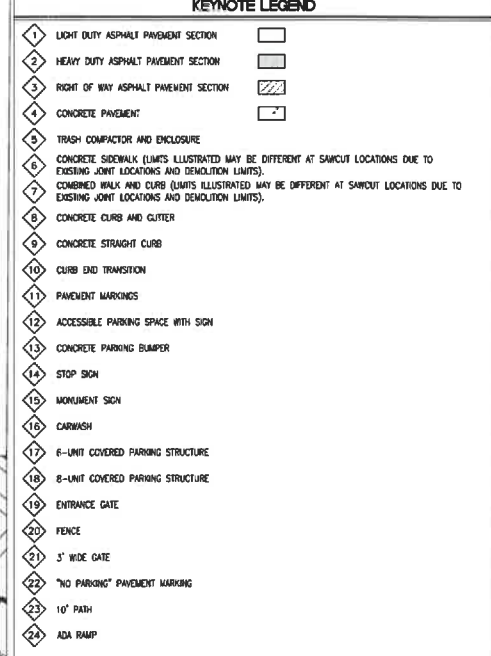


### SITE WORK GENERAL NOTES AND SPECIFICATIONS

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- LOCATIONS & ELEVATIONS OF "TWO DAY FLOOD LIMITS" AND "100 YEAR FLOOD LIMITS" ARE SHOWN FOR REFERENCE ONLY. DEVELOPER/BUILDER/INDIVIDUAL LOT OWNER TO REFER TO NATIONAL FLOOD HAZARD INSURANCE MAP (F.E.M.A.) TO DETERMINE FLOOD HAZARD POTENTIAL PRIOR TO PROJECT CONSTRUCTION.

### SITE PLAN NOTES

- ALL ROAD AND STREET DIMENSIONS SHALL BE MEASURED TO BACK OF CURB OR FACE OF INTEGRAL CURB AND WALK. ALL DIMENSIONS TO THE BUILDING ARE TO THE OUTSIDE OF BUILDING FOUNDATION WALL.
- ALL PAVEMENT AND/OR CURB RISE TO BE FIVE (5) FOOT UNLESS OTHERWISE NOTED.
- BOUNDARIES, DIMENSIONS AND EASEMENTS ARE SHOWN FOR REFERENCE ONLY. REFER TO RECORDED BOUNDARY SURVEYS, ALIENS AND SECONDARY PLATS FOR EXACT INFORMATION.
- ALL PARKING STALLS SHALL BE 8' X 20' WHERE ADJACENT TO SIDEWALK OR GRASS AREA. WHERE INTEGRAL CURB AND WALK IS ADJACENT TO A PARKING STALL, TWO (2) FEET OF SIDEWALK SHALL BE UTILIZED AS PARKING AREA OVERHANG. PARKING STALLS ARE DIMENSIONED TO THE FACE OF CURBS.
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| <p>9339 PRIORITY WAY WEST DRIVE, SUITE 100<br/>         INDIANAPOLIS, IN 46240<br/>         (317) 844-7277<br/>         WWW.CRIPEDIZ.COM</p> <p><b>Cripe</b><br/>         Solutions by Design Since 1937</p>   | <p><b>SITE PLAN</b></p> <p>Village at Hyde Park<br/>         Empire Group<br/>         141st Street and Marilyn Road<br/>         Noblesville, Indiana</p> |
| <p>DATE: 02-01-2022</p> <p>BY: [Signature]</p> <p>1-800-362-2644<br/>         777 CALLEMAN BLVD<br/>         COVINGTON, LA 70014</p> <p>Drawn by: <b>Dave Kuehnen, PE</b><br/>         Checked by: <b>Shay Martin, PE</b><br/>         Quality Assurance: <b>Gary Martin, PE, LEED AP</b><br/>         Scale: 1" = 40'</p> | <p>DATE: 02-01-2022</p> <p>PROJECT NUMBER: 220133-20000</p>  |

C:\2021\220133\20000\Coord\Eng\PE\1\C201-C204\_Site\_Plan.dwg, September 22, 2022 6:58 PM, DAVID EUBANK, © 2021 Cripe, Inc.

MARYLIN ROAD

N00°07'04"W 1147'6"

N00°07'04"W 2654.70'



**SITE PLAN LEGEND**

|  |                     |
|--|---------------------|
|  | PROPERTY LINE       |
|  | EASEMENT LINE       |
|  | RIGHT-OF-WAY        |
|  | CONSTRUCTION LIMITS |
|  | FENCE               |
|  | NO PARKING          |
|  | BUILDING LIMITS     |
|  | PARKING COUNT       |

**SITE WORK GENERAL NOTES AND SPECIFICATIONS**

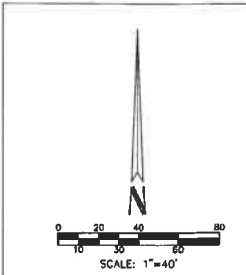
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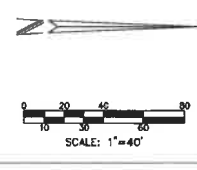
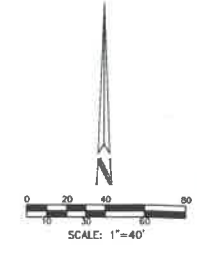
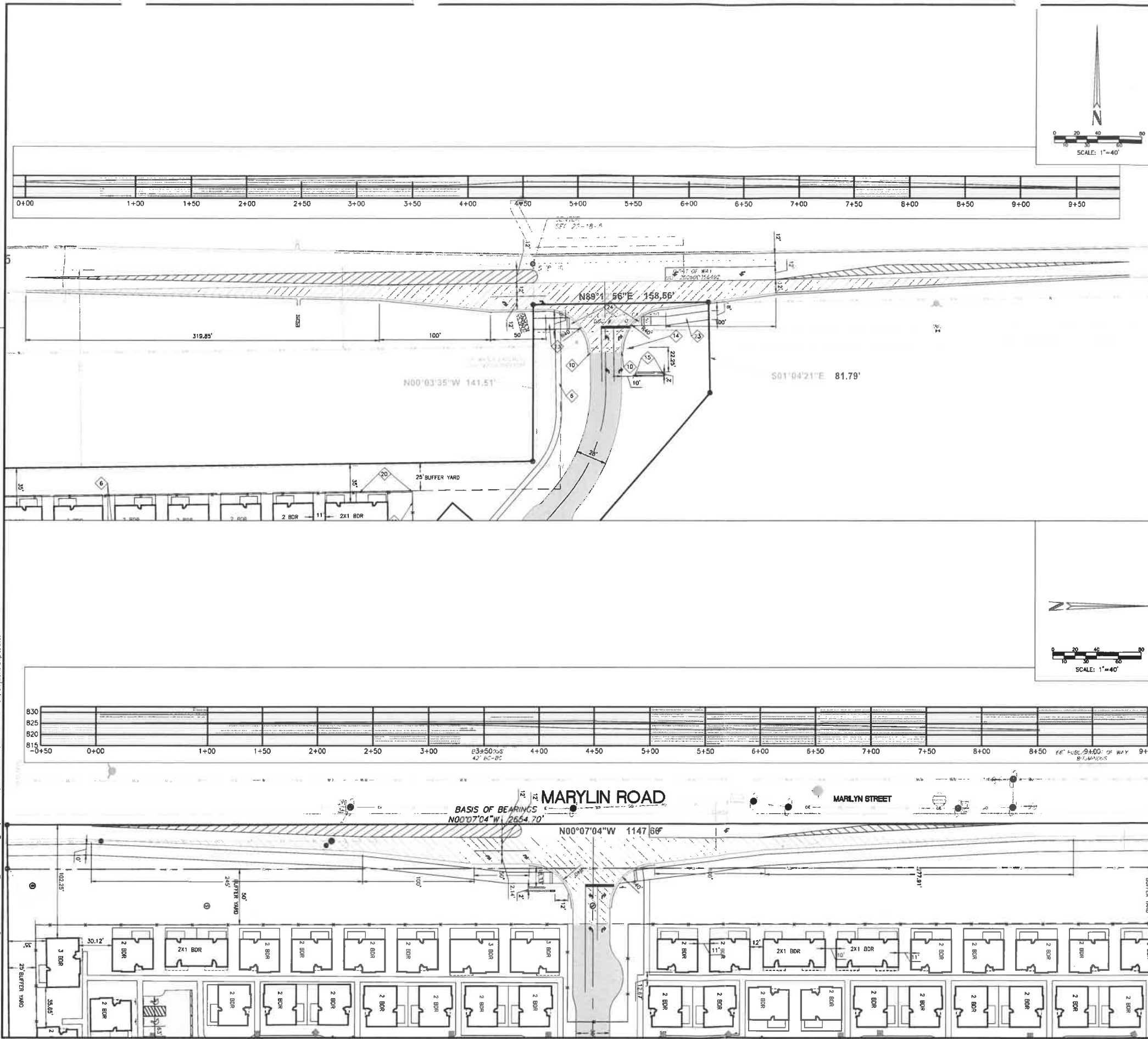
**KEYNOTE LEGEND**

|  |   |
|--|---|
|  | LIGHT DUTY ASPHALT PAVEMENT SECTION   |
|  | HEAVY DUTY ASPHALT PAVEMENT SECTION   |
|  | RIGHT OF WAY ASPHALT PAVEMENT SECTION   |
|  | CONCRETE PAVEMENT   |
|  | TRASH COMPACTOR AND ENCLOSURE   |
|  | CONCRETE SIDEWALK (LIMITS ILLUSTRATED MAY BE DIFFERENT AT SNAWIT LOCATIONS DUE TO EXISTING JOINT LOCATIONS AND DEMOLITION LIMITS).      |
|  | COMBINED WALK AND CURB (LIMITS ILLUSTRATED MAY BE DIFFERENT AT SNAWIT LOCATIONS DUE TO EXISTING JOINT LOCATIONS AND DEMOLITION LIMITS). |
|  | CONCRETE CURB AND CUTTER  |
|  | CONCRETE STRAIGHT CURB  |
|  | CURB END TRANSITION   |
|  | PAVEMENT MARKINGS   |
|  | ACCESSIBLE PARKING SPACE WITH SIGN  |
|  | CONCRETE PARKING BUMPER   |
|  | STOP SIGN   |
|  | MONUMENT SIGN   |
|  | CORNISH   |
|  | 6-UNIT COVERED PARKING STRUCTURE  |
|  | 8-UNIT COVERED PARKING STRUCTURE  |
|  | ENTRANCE GATE   |
|  | FENCE   |
|  | 3' WIDE GATE  |
|  | 'NO PARKING' PAVEMENT MARKING   |
|  | 10' PATH  |
|  | ADA RAMP  |



|  |   |
|--|---|
| <p><b>SITE PLAN</b></p> <p>Village at Hyde Park</p> <p>Empire Group</p> <p>141st Street and Marilyn Road</p> <p>Noblesville, Indiana</p>   | <p><b>Cripe</b></p> <p>Solutions by Design Since 1937</p> |
| <p>CERTIFIED BY:</p> <p style="text-align: center; font-weight: bold; font-size: 1.2em;">PRELIMINARY<br/>NOT FOR<br/>CONSTRUCTION</p> <p>Date: 08-01-2022</p>  |   |
|  <p>James Group Builders, LLC</p>   |   |
| <p>Drawn by: <b>Dave Kaufman, PE</b></p> <p>Checked by: <b>Shel Pierre, PE</b></p> <p>Quality Assurance: <b>Dary Murray, PE LEED AP</b></p> <p>Scale: 1"=40'</p> <p>Sheet: <b>C203</b></p> <p>Date: 08-01-2022</p> <p>Project Number: 220133-20000</p> |   |

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**SITE PLAN LEGEND**

|  |                     |
|--|---------------------|
|  | PROPERTY LINE       |
|  | EASEMENT LINE       |
|  | RIGHT-OF-WAY        |
|  | CONSTRUCTION LIMITS |
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|  |   |
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|  | CONCRETE PAVEMENT   |
|  | TRASH COMPACTOR AND ENCLOSURE   |
|  | CONCRETE SIDEWALK (LIMITS ILLUSTRATED MAY BE DIFFERENT AT SAWCUT LOCATIONS DUE TO EXISTING JOINT LOCATIONS AND DEMOLITION LIMITS).      |
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|  | STOP SIGN   |
|  | MONUMENT SIGN   |
|  | CARWASH   |
|  | 6-UNIT COVERED PARKING STRUCTURE  |
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 WWW.CRIPE.COM

**Cripe**  
 Solutions by Design Since 1937

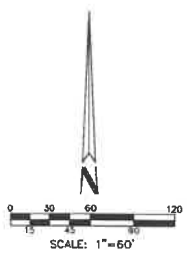
**OFFSITE IMPROVEMENTS**  
 Village at Hyde Park  
 Empire Group  
 141st Street and Marilyn Road  
 Noblesville, Indiana

CERTIFIED BY:  
 PRELIMINARY  
 NOT FOR  
 CONSTRUCTION  
 Date: 05-01-2022

IN 1-800-982-2644  
 Down by: Dave Euphras, PE  
 Checked by: Ben Piatt, PE  
 Quality Assurance: Gary Harty, PE, LEED AP  
 Scale: 1" = 40'  
 Sheet: C204  
 Date: 08-01-2022  
 Project Number: 220133-20000



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| Revision | Date | Description |
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|          |      |             |
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ARCHITECTURE - INTERIORS  
 CIVIL ENGINEERING  
 ELECTRICAL ENGINEERING  
 ENERGY FACILITIES  
 EQUIPMENT FABRIC  
 REAL ESTATE SERVICES

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 Village at Hyde Park  
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CERTIFIED BY:  
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 CONSTRUCTION  
 Date: 05-01-2022

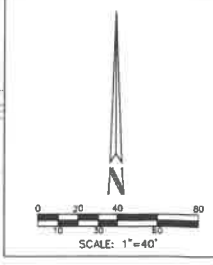


1-800-882-8444  
 Down By:  
 Drew Gaultman PE  
 Checked By:  
 Steve Potts PE  
 Quality Assurance:  
 Gary Murray PE, LEED AP  
 Scale: 1"=60'  
 Sheet:  
**C205**  
 Date: 05-01-2022  
 Project Number:  
 220133-20000

POINT OF COMMENCEMENT  
NW COR, NE 1/4, SW 1/4  
SEC. 22-18-5

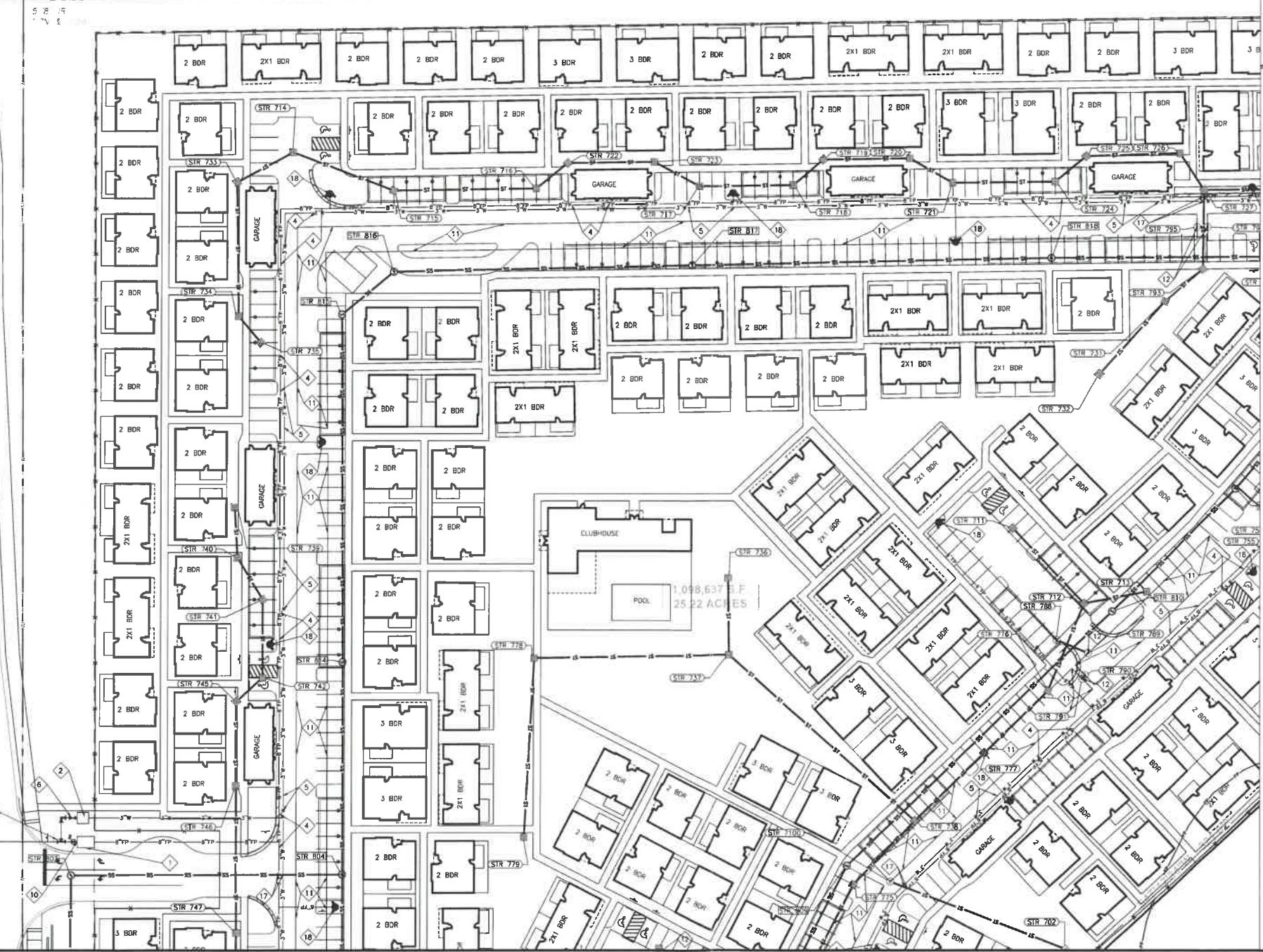
NORTH LINE, SW 1/4 SE

141ST STREET



POINT OF BEGINNING

N89°13'27"E 1324.25'



UTILITY PLAN LEGEND

|     |     |                             |                            |
|-----|-----|-----------------------------|----------------------------|
| ST  | ST  | STORM SEWER, MANHOLE        | END SECTION                |
| SSD | SSD | SUBSURFACE DRAIN            | CURB INLET                 |
| RD  | RD  | ROOF DRAIN, CLEANOUT        | STORM SEWER BUILTS         |
| W   | W   | WATER LINE, METER, VALVE    | "TEE" FITTING              |
| SS  | SS  | SANITARY SEWER, MANHOLE     | TAPPING SLEEVE & VALVE     |
| SL  | SL  | SANITARY LATERAL, CLEAN OUT | FIRE HYDRANT               |
| EL  | EL  | EASEMENT LINE               | FIRE DEPARTMENT CONNECTION |
| OE  | OE  | OVERHEAD ELECTRIC, POLE     | POST INDICATOR VALVE       |
| BE  | BE  | BURIED ELECTRIC, MANHOLE    | STREET LIGHT               |
| OV  | OV  | OVERHEAD CABLE TELEVISION   | TRANSFORMER                |
| BCV | BCV | BURIED CABLE TELEVISION     | ELECTRIC METER             |
| G   | G   | GAS LINE, METER, VALVE      | CABLE RISER PEDESTAL       |
| OT  | OT  | OVERHEAD TELEPHONE LINE     |                            |
| BT  | BT  | BURIED TELEPHONE LINE       |                            |

UTILITY PLAN NOTES

- SEE ARCHITECTURAL PLUMBING PLANS FOR PLUMBING DETAILS TO AREAS FIVE (5) FEET OUTSIDE AND INSIDE OF THE PROPOSED STRUCTURE.
- SITE CONTRACTOR TO VERIFY ALL BUILDING LATERALS WITH PLUMBING DRAWINGS PRIOR TO CONSTRUCTION.
- SITE UTILITY CONTRACTOR TO VERIFY BUILDING CONNECTION LOCATIONS AND ELEVATIONS WITH MEP AND ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
- EXISTING UTILITY LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL DETERMINE AND FIELD VERIFY ALL HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- R/W ELEVATION (RE) SHALL INDICATE THE ELEVATION THAT WATER WOULD ENTER THE GRATE FOR ALL CASTINGS. IF CASTING HAS SOLID LID, THE RE IS THE LID ELEVATION.
- WATER AND SEWER CROSSINGS AND SEPARATIONS SHALL BE IN ACCORDANCE WITH "TEN STATE STANDARDS" AND LOCAL CODES.
- WATER LINES THROUGHOUT THE PROJECT SHALL BE INSTALLED WITH AT LEAST 54 INCHES OF COVER TO PROVIDE PROTECTION FROM FREEZING.

KEYNOTE LEGEND

- 8" DOUBLE DETECTOR BACKFLOW PREVENTOR IN BELOW GROUND VAULT
- 3" DOMESTIC METER WITH REDUCED PRESSURE BACKFLOW PREVENTOR IN BELOW GROUND VAULT
- INSTALL 16" TAPPING SLEEVE AND GATE VALVE ON EXISTING 16" DUCTILE IRON WATER MAIN
- 8" CBDD PVC FIRE PROTECTION LINE
- 3" DOMESTIC WATER SERVICE (8900 PVC)
- 3" GATE VALVE
- 8" x 8" x 8" TEE
- FIRE DEPARTMENT CONNECTION (REFER TO PLUMBING PLANS FOR DETAIL AND SPECIFICATIONS)
- CONTRACTOR TO REFER TO ELECTRICAL PLANS FOR SITE LIGHTING POLES, BASES, NUMBER OF CONDUITS AND WIRE SPECIFICATIONS.
- POST INDICATOR VALVE
- UNDERGROUND DETENTION SYSTEM
- WATER QUALITY DEVICE
- SANITARY SEWER CONCRETE ENCASMENT 5' EACH WAY OF CENTERLINE OF STORM SEWER CROSSING
- COORDINATE WITH ELECTRICAL / TECHNOLOGY PLANS
- EXISTING UTILITY POLE AND GUY WIRE TO BE RELOCATED TO BACK OF PROPOSED PAVEMENT
- CORE/DRILL EXISTING STRUCTURE
- WATER AND GRAVITY UTILITY (GAS/STORM/SANITARY) CROSSING. IF CONFLICT OCCURS, LOWER WATERLINE
- FIRE HYDRANT ASSEMBLY

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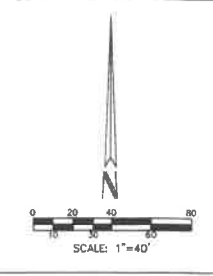
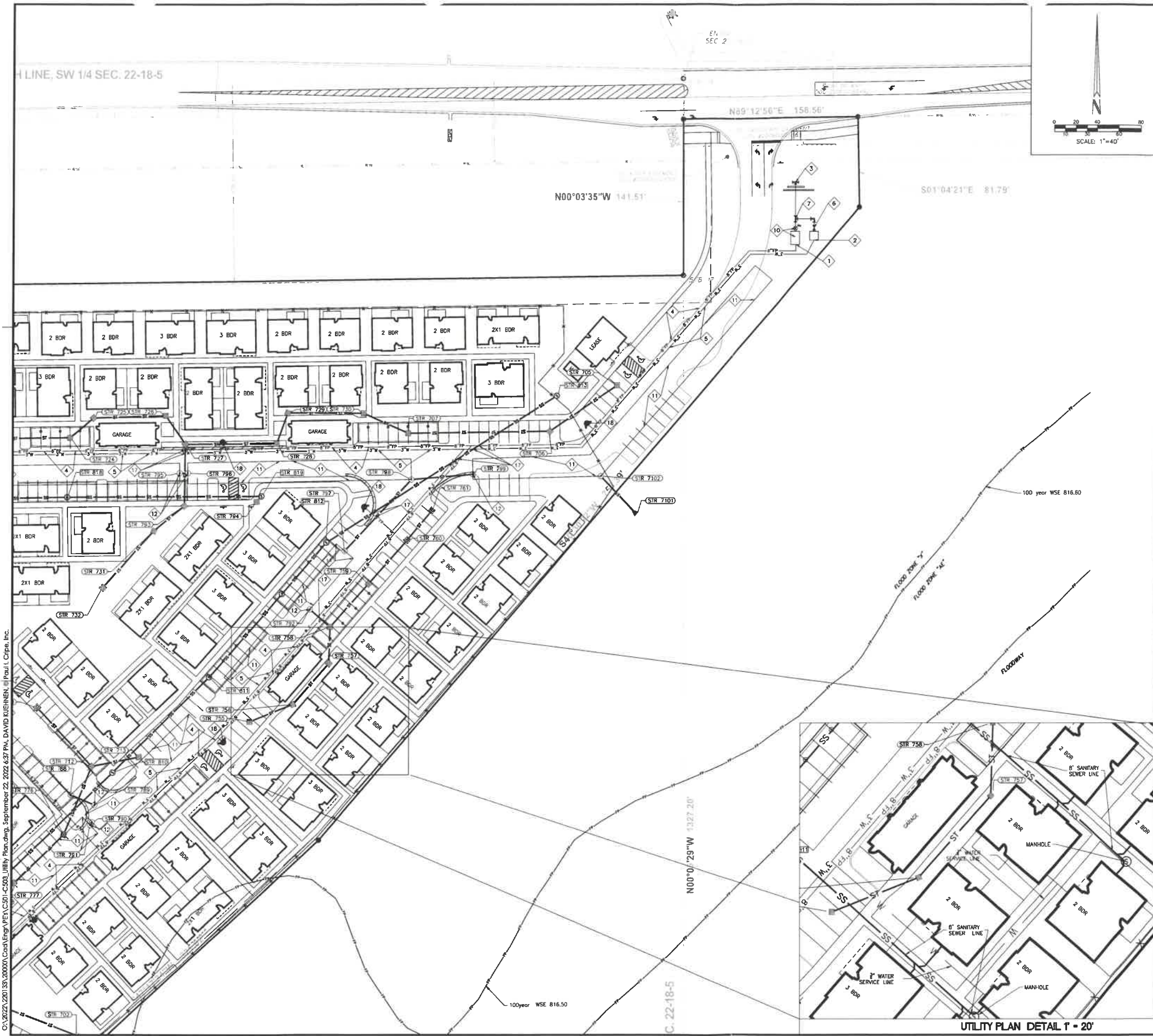


UTILITY PLAN  
Village at Hyde Park  
Empire Group  
141st Street and Marilyn Road  
Noblesville, Indiana

DATE: 03-01-2022  
PRELIMINARY  
NOT FOR  
CONSTRUCTION



Sheet: **C501**  
Date: 08-01-2022  
Project Number: 220133-20000

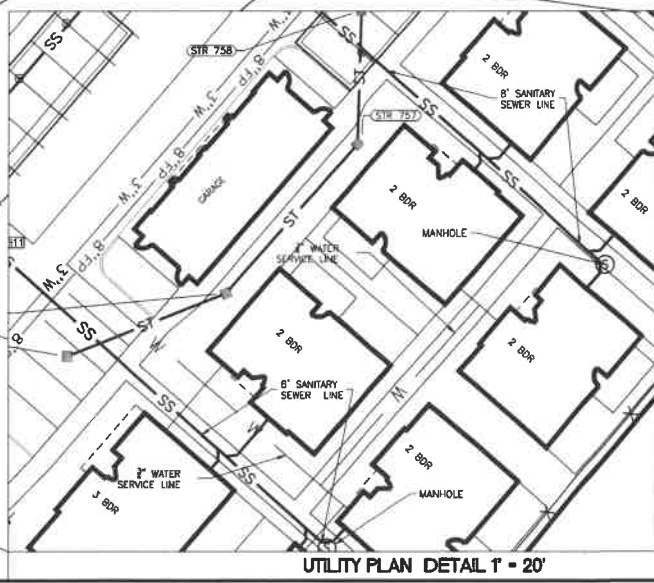


**UTILITY PLAN LEGEND**

|     |     |                             |                            |
|-----|-----|-----------------------------|----------------------------|
| ST  | ST  | STORM SEWER, MANHOLE        | END SECTION                |
| SSD | SSD | SUBSURFACE DRAIN (SSD)      | CURB INLET                 |
| RD  | RD  | ROOF DRAIN, CLEANOUT        | STORM SEWER INLETS         |
| W   | W   | WATER LINE, METER, VALVE    | "TEE" FITTING              |
| SS  | SS  | SANITARY SEWER, MANHOLE     | TAPPING SLEEVE & VALVE     |
| SS  | SS  | SANITARY LATERAL, CLEAN OUT | FIRE HYDRANT               |
| E   | E   | EASEMENT LINE               | FIRE DEPARTMENT CONNECTION |
| OP  | OP  | OVERHEAD ELECTRIC, POLE     | POST INDICATOR VALVE       |
| BE  | BE  | BURIED ELECTRIC, MANHOLE    | STREET LIGHT               |
| OTV | OTV | OVERHEAD CABLE TELEVISION   | TRANSFORMER                |
| BCV | BCV | BURIED CABLE TELEVISION     | ELECTRIC METER             |
| G   | G   | GAS LINE, METER, VALVE      | CABLE RISER PEDESTAL       |
| OT  | OT  | OVERHEAD TELEPHONE LINE     |                            |
| BT  | BT  | BURIED TELEPHONE LINE       |                            |

- UTILITY PLAN NOTES:**
- SEE ARCHITECTURAL PLUMBING PLANS FOR PLUMBING DETAILS TO AREAS FIVE (5) FEET OUTSIDE AND INSIDE OF THE PROPOSED STRUCTURE.
  - SITE CONTRACTOR TO VERIFY ALL BUILDING LATERALS WITH PLUMBING DRAWINGS PRIOR TO CONSTRUCTION.
  - SITE UTILITY CONTRACTOR TO VERIFY BUILDING CONNECTION LOCATIONS AND ELEVATIONS WITH MEP AND ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
  - EXISTING UTILITY LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL DETERMINE AND FIELD VERIFY ALL HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  - R/W ELEVATION (REL) SHALL INDICATE THE ELEVATION THAT WATER WOULD ENTER THE GRATE FOR ALL CASTINGS. IF CASTING HAS SOLID LB, THE REL IS THE LB ELEVATION.
  - WATER AND SEWER CROSSINGS AND SEPARATIONS SHALL BE IN ACCORDANCE WITH TEN STATE STANDARDS AND LOCAL CODES.
  - WATER LINES THROUGHOUT THE PROJECT SHALL BE INSTALLED WITH AT LEAST 54 INCHES OF COVER TO PROVIDE PROTECTION FROM FREEZING.

- KEYNOTE LEGEND**
- 1 8" DOUBLE DETECTOR BACKFLOW PREVENTOR IN BELOW GROUND VAULT
  - 2 3" DOMESTIC METER WITH REDUCED PRESSURE BACKFLOW PREVENTOR IN BELOW GROUND VAULT
  - 3 INSTALL 1/2" TAPPING SLEEVE AND GATE VALVE ON EXISTING 16" DUCTILE IRON WATER MAIN
  - 4 8" CS90 PVC FIRE PROTECTION LINE
  - 5 3" DOMESTIC WATER SERVICE (CS90 PVC)
  - 6 3" GATE VALVE
  - 7 8" X 8" X 8" TEE
  - 8 FIRE DEPARTMENT CONNECTION (REFER TO PLUMBING PLANS FOR DETAIL AND SPECIFICATIONS)
  - 9 CONTRACTOR TO REFER TO ELECTRICAL PLANS FOR SITE LIGHTING POLES, BASES, NUMBER OF CONDUITS AND WIRE SPECIFICATIONS.
  - 10 POST INDICATOR VALVE
  - 11 UNDERGROUND DETENTION SYSTEM
  - 12 WATER QUALITY DEVICE
  - 13 SANITARY SEWER CONCRETE ENCASMENT 5' EACH WAY OF CENTERLINE OF STORM SEWER CROSSING
  - 14 COORDINATE WITH ELECTRICAL / TECHNOLOGY PLANS
  - 15 EXISTING UTILITY POLE AND GUY WIRE TO BE RELOCATED TO BACK OF PROPOSED PAVEMENT
  - 16 CORE/DRILL EXISTING STRUCTURE
  - 17 WATER AND GRABITY UTILITY (GAS/STORM/SANITARY) CROSSING. IF CONFLICT OCCURS, LOWER WATERLINE
  - 18 FIRE HYDRANT ASSEMBLY



|  |   |  |
|--|---|--|
| <p>9339 PRIORITY HANOVER DRIVE, SUITE 100<br/>INDIANAPOLIS, IN 46240<br/>(317) 844-9777<br/>www.cripe.biz</p> <p><b>Cripe</b><br/>Solutions by Design Since 1937</p> | <p><b>UTILITY PLAN</b><br/>Village at Hyde Park<br/>Empire Group<br/>141st Street and Marilyn Road<br/>Noblesville, Indiana</p> | <p>CREATED BY:<br/><b>PRELIMINARY<br/>NOT FOR<br/>CONSTRUCTION</b></p> <p>Date: 02-01-2022</p> <p><b>INDIANA 811</b><br/>Call before you dig</p> <p>1-800-882-8244<br/>Call 811 first</p> <p>Drawn by:<br/><b>Drew Eastman, PE</b></p> <p>Checked by:<br/><b>Shay Pierre, PE</b></p> <p>Quality Assurance:<br/><b>Gary Murray, PE LEED AP</b><br/>2006-11-02</p> <p>Sheet:<br/><b>C502</b></p> <p>Date:<br/>08-01-2022</p> <p>Project Number:<br/>220133-20000</p> |
|--|---|--|

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CV:2020.220133.20000\Cad\Eng\PE\C503\_UTILITY Plan.dwg, September 22, 2022 6:38 PM, DAVID KUERNEN, jkuern@cripe.com



**UTILITY PLAN LEGEND**

|     |     |                             |                            |
|-----|-----|-----------------------------|----------------------------|
| ST  | ST  | STORM SEWER, MANHOLE        | END SECTION                |
| SSD | SSD | SUBSURFACE DRAIN (SSD)      | CURB INLET                 |
| RD  | RD  | ROOF DRAIN, CLEANOUT        | STORM SEWER INLETS         |
| W   | W   | WATER LINE, METER, VALVE    | TEE FITTING                |
| SS  | SS  | SANITARY SEWER, MANHOLE     | TAPPING SLEEVE & VALVE     |
| SL  | SL  | SANITARY LATERAL, CLEAN OUT | FIRE HYDRANT               |
| E   | E   | EASEMENT LINE               | FIRE DEPARTMENT CONNECTION |
| OE  | OE  | OVERHEAD ELECTRIC, POLE     | POST INDICATOR VALVE       |
| BE  | BE  | BURIED ELECTRIC, MANHOLE    | STREET LIGHT               |
| OCV | OCV | OVERHEAD CABLE TELEVISION   | TRANSFORMER                |
| BCV | BCV | BURIED CABLE TELEVISION     | ELECTRIC METER             |
| G   | G   | GAS LINE, METER, VALVE      | CABLE RISER PEDESTAL       |
| OT  | OT  | OVERHEAD TELEPHONE LINE     |                            |
| BT  | BT  | BURIED TELEPHONE LINE       |                            |

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  - RIM ELEVATION (RE) SHALL INDICATE THE ELEVATION 3'-0" WATER WOULD ENTER THE GRAVE FOR ALL CISTERNS. IF CASTING HAS SOLD LD, THE RE IS THE LD ELEVATION.
  - WATER AND SEWER CROSSINGS AND SEPARATIONS SHALL BE IN ACCORDANCE WITH TEN STATE STANDARDS AND LOCAL CODES.
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  - 18 FIRE HYDRANT ASSEMBLY

|  |  |
|--|--|
| <p>9339 PRIORITY WAY WEST DRIVE SUITE 100<br/>INDIANAPOLIS, INDIANA 46240<br/>TEL: 317.555.8888<br/>WWW.CRIPE.COM</p> <p style="text-align: center;"><b>Cripe</b><br/>Solutions by Design Since 1937</p> | <p style="text-align: center;"><b>UTILITY PLAN</b></p> <p style="text-align: center;">Village at Hyde Park<br/>Empire Group<br/>141st Street and Marilyn Road<br/>Noblesville, Indiana</p> <hr/> <p>CERTIFIED BY:</p> <p style="text-align: center; font-size: 2em; font-weight: bold;">PRELIMINARY<br/>NOT FOR<br/>CONSTRUCTION</p> <p>Date: 08-01-2022</p> <hr/> <p style="text-align: center;"><b>Indiana</b><br/>Professional Engineer</p> <p>1-800-282-2544<br/>Down St.<br/>Diane Kaufman, PE<br/>Checked by:<br/>Blay Platts, PE<br/>Quality Assurance:<br/>Gary Murray, PE LEED AP<br/>Scale: 1" = 40'</p> <p style="text-align: center; font-size: 1.5em; font-weight: bold;">C503</p> <p>Date: 08-01-2022<br/>Project Number: 220133-20000</p> |
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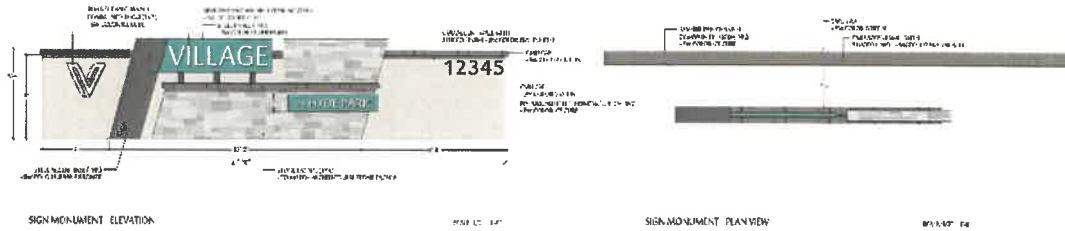
**EXHIBIT C**

**SAMPLING AND GENERAL REPRESENTATION  
OF THE APPROVED ELEVATIONS**



# EXHIBIT D

## ENTRY SIGNAGE

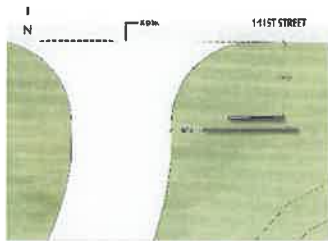


SIGN MONUMENT ELEVATION

8/28/22 1:17

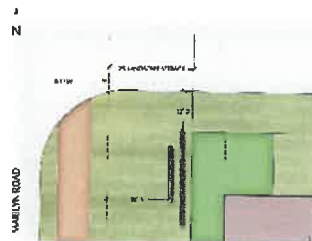
SIGN MONUMENT PLAN VIEW

8/28/22 1:17



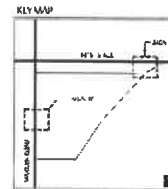
SIGN MONUMENT A PRIMARY ENTRANCE LOCATION

8/28/22 1:17



SIGN MONUMENT B SECONDARY ENTRANCE LOCATION

8/28/22 1:17



### VILLAGE AT HYDE PARK CONCEPTUAL SIGN MONUMENTS

SIT OF 14151 STREET & MARION ROAD - NORTH EVILLE, IN  
JULY 10, 2022

## **EXHIBIT E**

### **WAIVERS**

#### **Waivers:**

1. Elimination of Minimum lot area per lot,
2. Elimination of Minimum lot width per lot,
3. Elimination of the maximum permitted floor area ratio per unit,
4. Elimination of the maximum lot coverage requirements per unit.
5. Reduction the peripheral buffer: north side and south side – 25-FT, zero feet on east side,
6. Reduction of the landscaping required in the peripheral landscape buffer to east side - 50% of the required shrubs.
7. Elimination of the landscaping required per unit.
8. Reduction in minimum square footage per unit to 665-SF to 1,313-SF.
9. Maximum subdivision sign size not to exceed 150-SF.
10. Allowance of the subdivision sign locations to be inside the peripheral landscape buffer.