

71²⁵⁻

ORDINANCE NO. 42-08-24

AN ORDINANCE TO AMEND THE PROMENADE PLANNED DEVELOPMENT ORDINANCE NUMBER 06-01-06 AND THE UNIFIED DEVELOPMENT ORDINANCE AND ALL AMENDMENTS THERETO OF THE CITY OF NOBLESVILLE, HAMILTON COUNTY, INDIANA

Document Cross Reference No. 200600016342, 2008042896, 2016041741

This Ordinance (the "2024 Promenade Planned Development Amendment") amends the original adopted Planned Development Ordinance Number 06-01-06, and the Unified Development Ordinance, as amended for the City of Noblesville, Hamilton County, Indiana, enacted by the City of Noblesville, Indiana under authority of Chapter 174 of the Acts of the Indiana General Assembly 1947, as amended.

WHEREAS, the Plan Commission of the City of Noblesville (the "Plan Commission") conducted a public hearing on docket number LEGP-000109-2024 at its July 15, 2024 meeting as required by law in regard to the application (the "Petition") filed by Meijer Stores Limited Partnership (the "Owner") to amend the Promenade Planned Development as it pertains to certain property described in **Exhibit A** attached hereto (the "Real Estate") and the adoption of an amended preliminary development plan to be known, collectively with the attached **Exhibit B**, as the "2024 Promenade Preliminary Development Plan Amendment"; and,

WHEREAS, the Plan Commission has sent a favorable recommendation for adoption of said amendment with a vote of six (6) in favor and zero (0) opposed to the Common Council;

NOW, THEREFORE, BE IT ORDAINED by the Common Council of the City of Noblesville, Hamilton County, Indiana, meeting in regular session, that the Promenade Planned Development Ordinance and the Unified Development Ordinance, are hereby amended as follows:

Section 1. No change.

Section 2. Permitted Uses. No change except:

Promenade Shops Area: Restaurants shall remain as a permitted use, and drive-through windows shall be permitted with a maximum of three (3) restaurants with drive-through windows.

Section 3. Development Standards. No change except:

A. Promenade Shops Area, lots 10, 12, and 13:

1. The Roadside Corridor along SR 32 shall be a minimum width of 15 feet parallel and immediately abutting the SR 32 right-of-way line. Construction of a meandering trail, minimum 10 feet wide, shall occur upon completion of construction of SR 32 improvements by INDOT at a later date.
2. Required parking spaces for free-standing retail stores on lots 10 and 12 shall be one per 250 SF of gross floor area.
3. Parking lots shall have a minimum setback of 10 feet from a property line abutting a street on lot 12.
4. Off-street parking stall dimensions for 90-degree parking spaces shall be 9 feet by 18 feet.
5. Non-residential driveways shall be at least three (3) feet from an adjoining non-residential property line. No single non-residential driveway shall exceed a width of forty-two (42) feet at the right-of-way line.
6. For lot 10, interior parking lot landscape requirements for a Class C parking lot shall be 6 percent. Single row parking landscape islands and peninsulas shall be a minimum of 133 square feet in area with a minimum width of eight (8) feet measured from back-of-curb to back-of-curb (or edge of pavement).

For lot 12, minimum required parking landscape islands and peninsulas shall be 163 square feet in area and 9.5 feet in width measured back-of-curb to back-of-curb.

7. Perimeter parking lot landscape width on lot 10 shall be five feet along private streets and within a front yard, with canopy trees to be planted irregularly; on lot 12 shall be 10 feet along private streets and within a front yard; and on lot 13 shall be 15 feet along private streets and within a front yard. Perimeter parking lot landscape width shall be fifteen (15) feet along Westfield Boulevard due to the presence of an existing utility easement. The requirements for number of trees and shrubs shall comply with the applicable landscaping standards in the underlying zoning district.
8. Building base landscaping shall be provided as indicated below:
Lot 10:
 - i. Minimum required width of building base landscaping shall be 3 feet.
 - ii. More than 10 percent of the total landscape strip may be paved with pedestrian access ways. Required understory trees to be located in other locations on the site.
 - iii. No building base landscaping at the rear façade of the building for back-of- house operations and maintenance.

Lot 12:

- i. Minimum required width of building base landscaping shall be 3 feet.
- ii. More than 10 percent of the total landscape strip may be paved with pedestrian access ways.
- iii. No building base landscaping at the rear façade of the building for back-of- house operations and maintenance.
- iv. Required understory trees to be located in other locations on the site.

Lot 13:

- i. Minimum required width of building base landscaping shall be 2 feet.
- ii. More than 10 percent of the total landscape strip may be paved with pedestrian access ways.
- iii. Required understory trees may be located in other locations on the site.

These landscape strips may be broken by pedestrian access ways as needed for building access and ADA pedestrian routes. Required understory trees may be located elsewhere onsite as long as the requirements for number of trees and shrubs complies with the applicable landscaping standards in the PB district.

9. All on-site lighting of buildings, lawns, and parking areas shall be designed so as not to shine or cause glare in excess of 1.0 foot-candle onto any adjacent property that is of a similar use and hours of operation. Shine or glare shall not exceed one-half foot-candles onto State Road 32.

Section 4. Architectural Standards. No change except:

Roof line modulation shall include a vertical change in the visible roof line of at least two feet six inches (2'6") from an adjacent roof section.

Section 5. No change.










Section 6. No change.

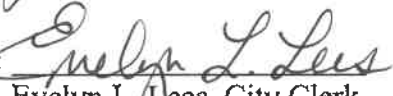
Section 7. No change.

Section 8. No change.

Section 9. No change.

Approved on this 13th day of August, 2024 by the Common Council of the City of Noblesville, Indiana:

| AYE | | NAY | ABSTAIN |
|--|------------------|-----|---------|
|  | Mark Boice | | |
|  | Michael J. Davis | | |
|  | Evan Elliott | | |
|  | David M. Johnson | | |
|  | Darren Peterson | | |
|  | Pete Schwartz | | |
|  | Aaron Smith | | |
|  | Todd Thurston | | |
|  | Megan G. Wiles | | |

ATTEST: 
Evelyn L. Lees, City Clerk

Presented by me to the Mayor of the City of Noblesville, Indiana, this 13th day of August, 2024 at 7:40 P. M.


Evelyn L. Lees, City Clerk

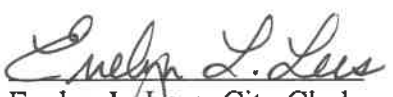

Chris Jensen, Mayor

MAYOR'S APPROVAL

Date 8-13-24

Chris Jensen, Mayor

MAYOR'S VETO

ATTEST: 
Evelyn L. Lees, City Clerk



I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security Number in this document, unless required by law: Jennifer Clark.

Drafted By:

Jennifer Clark, Atty.

2929 Walker Avenue, N.W.

Grand Rapids, MI 49544

(616) 791-5347

EXHIBIT A

Real Estate – Legal Description

Lot 10 in the replat of Blocks “A” and “B” in the Promenade Shops a part of a Planned Development Secondary Plat dated February 21, 2023, recorded with the Hamilton County Recorder on March 01, 2023 as Instrument No. 2023006486 in Plat Cabinet 6, Page 362.

Together With:

Lot 12 in the replat of Blocks “A” and “B” in the Promenade Shops a part of a Planned Development Secondary Plat dated February 21, 2023, recorded with the Hamilton County Recorder on March 01, 2023 as Instrument No. 2023006486 in Plat Cabinet 6, Page 362.

Together With:

Lot 13 in the replat of Blocks “A” and “B” in the Promenade Shops a part of a Planned Development Secondary Plat dated February 21, 2023, recorded with the Hamilton County Recorder on March 01, 2023 as Instrument No. 2023006486 in Plat Cabinet 6, Page 362.

EXHIBIT B



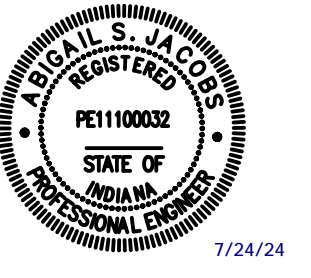
MEIJER STORE #682 OUTLOTS 6010 PROMENADE SHOPS BOULEVARD CITY OF NOBLESVILLE HAMILTON COUNTY, INDIANA 46062

±5.35 ACRES LOCATED IN A PART OF THE SOUTHWEST 1/4 OF SECTION 34, TOWNSHIP 19 NORTH, RANGE 4 EAST

WOOLPERT
ARCHITECTURE | ENGINEERING | GEOGRAPHICAL
333 North Alabama Street
Suite 200
Indianapolis, IN 46204
317.299.7500
FAX: 317.291.5805



| REV. | DATE | DESCRIPTION |
|------|----------|--------------------------|
| 1 | 06/27/24 | PC TAC COMMENTS |
| 2 | 07/24/24 | ENGINEERING TAC COMMENTS |



CIVIL DRAWING INDEX

| Current Rev # | Current Date | Sheet Number | Sheet Title | Current Rev # | Current Date | Sheet Number | Sheet Title |
|---------------|--------------|--------------|-------------------------------------|---------------|--------------|--------------|-------------------------------------|
| 2 | 07/24/24 | C-001 | COVER SHEET | 2 | 07/24/24 | C-402 | UTILITY PLAN - LOT 12 |
| 2 | 07/24/24 | C-100 | EXISTING CONDITIONS_DEMO PLAN | 2 | 07/24/24 | C-403 | UTILITY PLAN - LOT 13 |
| 1 | 06/27/24 | C-200 | OVERALL SITE LAYOUT_PAVEMENT PLAN | 2 | 07/24/24 | C-404 | STRUCTURE TABLES |
| 1 | 06/27/24 | C-201 | SITE LAYOUT_PAVEMENT PLAN - LOT 10 | 2 | 07/24/24 | C-410 | STORM SEWER PROFILES - LOT 10 |
| 1 | 06/27/24 | C-202 | SITE LAYOUT_PAVEMENT PLAN - LOT 12 | 2 | 07/24/24 | C-411 | STORM SEWER PROFILES - LOT 12 |
| 1 | 06/27/24 | C-203 | SITE LAYOUT_PAVEMENT PLAN - LOT 13 | 2 | 07/24/24 | C-412 | STORM SEWER PROFILES - LOT 13 |
| 2 | 07/24/24 | C-204 | CURB ISLAND DIMENSION PLAN | 1 | 06/27/24 | C-600 | LANDSCAPE PLAN - LOT 10 |
| 2 | 07/24/24 | C-300 | SITE GRADING_DRAINAGE PLAN | 1 | 06/27/24 | C-601 | LANDSCAPE PLAN - LOTS 12 AND 13 |
| 2 | 07/24/24 | C-301 | SITE GRADING_DRAINAGE PLAN - LOT 10 | 1 | 06/27/24 | C-602 | LANDSCAPE PLAN - SCHEDULE AND NOTES |
| 2 | 07/24/24 | C-302 | SITE GRADING_DRAINAGE PLAN - LOT 12 | 2 | 07/24/24 | C-700 | DETAILS |
| 2 | 07/24/24 | C-303 | SITE GRADING_DRAINAGE PLAN - LOT 13 | 2 | 07/24/24 | C-701 | DETAILS |
| | | C-310 | PHASE 1 SWPPP | 2 | 07/24/24 | C-702 | DETAILS |
| | | C-311 | PHASE 2 SWPPP | 2 | 07/24/24 | C-703 | CONCRETE PAVING DETAILS |
| | | C-312 | SWPPP DETAILS | 2 | 07/24/24 | C-704 | DETAILS |
| | | C-313 | SWPPP DETAILS | 1 | 06/27/24 | C-800 | LIGHTING PLAN - LOT 10 |
| 2 | 07/24/24 | C-314 | SWPPP DETAILS | 1 | 06/27/24 | C-801 | LIGHTING PLAN - LOTS 12 AND 13 |
| | | C-400 | UTILITY PLAN | 1 | 06/27/24 | C-802 | SITE ELECTRICAL DETAILS |
| 2 | 07/24/24 | C-401 | UTILITY PLAN - LOT 10 | | | | |

GENERAL NOTES

- CONDUCT SITE CLEARING OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION. STREETS AND ROADWAYS SHALL BE THOROUGHLY CLEANED AND/OR SWEEPED ON A DAILY BASIS OR MORE FREQUENTLY AS REQUIRED BY THE GOVERNING AUTHORITY. RESTORE DAMAGED IMPROVEMENTS TO ORIGINAL CONDITION AS ACCEPTABLE TO PARTIES HAVING JURISDICTION.
 - PROVIDE DUST CONTROL MEASURES IN ACCORDANCE WITH LOCAL AUTHORITIES.
 - ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED IN ACCORDANCE WITH SPECIFICATIONS.
 - UNLESS SPECIFIED OTHERWISE, ALL MATERIAL AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH MEIJER STANDARD SPECIFICATIONS, THE STATE DEPARTMENT OF ENVIRONMENTAL QUALITY STANDARDS, DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND/OR THE APPROPRIATE LOCAL AUTHORITIES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, PERMIT FEES, LICENSES, AND LICENSE FEES, UNLESS NOTED OTHERWISE.
 - RELOCATION OF ANY UTILITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROPRIATE UTILITY COMPANY AND/OR REGULATORY AGENCY. OBTAIN WRITTEN APPROVAL FROM THE ENGINEER BEFORE ANY UTILITY RELOCATION.
 - ELECTRONIC FILES IN DWG FORMAT WILL BE SUPPLIED TO THE CONSTRUCTION MANAGER FOR LAYOUT AND GRADING.
 - ELECTRONIC FILE USE TERMS AND CONDITIONS:
 - RECIPIENT ACKNOWLEDGES THAT ANY USE OF THE TRANSFERRED DATA IS FOR INFORMATION ONLY AND NOT GUARANTEED OR WARRANTED BY MEIJER OR ITS CONSULTANTS. USE OF TRANSFERRED DATA BY THE RECIPIENT SHALL BE AT RECIPIENT'S SOLE RISK. RECIPIENT ACKNOWLEDGES THAT THE AUTOMATED CONVERSION OF INFORMATION AND DATA FROM THE ORIGINAL FORMAT AND SYSTEM TO AN ALTERNATE FORMAT OR SYSTEM CAN NOT BE ACCOMPLISHED WITHOUT THE INTRODUCTION OF INEXACTITUDES, ANOMALIES, AND ERRORS. RECIPIENT FURTHER ACKNOWLEDGES THAT THE ELECTRONIC DATA MAY NOT BE FULLY COMPATIBLE WITH RECIPIENT'S COMPUTER SYSTEM AND NEITHER MEIJER NOR ITS CONSULTANTS MAKE NO REPRESENTATIONS REGARDING SUCH COMPATIBILITY.
 - ACCORDINGLY, WITH RESPECT TO THE CONVERSION AND USE OF SUCH ELECTRONIC DATA, RECIPIENT AGREES TO ASSUME ALL RISKS ASSOCIATED THEREWITH, AND TO THE FULLEST EXTENT PERMITTED BY LAW, TO HOLD HARMLESS AND INDEMNIFY MEIJER AND THEIR CONSULTANTS FROM AND AGAINST ALL CLAIMS, LIABILITIES, LOSSES, DAMAGES, AND COSTS, INCLUDING BUT NOT LIMITED TO ATTORNEY'S FEES AND COSTS, WHETHER OR NOT SUIT HAS BEEN FILED, ARISING OUT OF, OR IN ANY WAY CONNECTED WITH THE USE, MODIFICATION, MISINTERPRETATION, MISUSE, OR REUSE BY RECIPIENT OR OTHERS OF THE ELECTRONIC DATA WHICH IS PROVIDED BY MEIJER OR ITS CONSULTANTS UNDER THESE TERMS AND CONDITIONS.
 - THESE TERMS AND CONDITIONS SHALL BE BINDING UPON THE SUCCESSORS AND ASSIGNS OF THE PARTIES.
- UPON ACCEPTANCE OF THE ELECTRONIC DATA TRANSMISSION, RECIPIENT HEREBY AGREES TO THE FOREGOING TERMS AND CONDITIONS. IF RECIPIENT DOES NOT AGREE TO THE FOREGOING TERMS AND CONDITIONS, MEIJER AND ITS CONSULTANTS DO NOT AUTHORIZE THE USE OF THE TRANSMITTED DATA, AND RECIPIENT SHALL DESTROY THE TRANSMITTED DATA AND NOTIFY MEIJER OR ITS CONSULTANTS OF THE SAME BY PROVIDING WRITTEN NOTICE WITHIN ONE DAY OF TRANSMISSION. FAILURE TO PROVIDE SUCH NOTICE SHALL ACT AS WAIVER AND RECIPIENT SHALL BE BOUND TO THE FOREGOING TERMS AND CONDITIONS.

LOCAL UTILITY LOCATING AGENCY

ALL CONTRACTORS SHALL NOTIFY UTILITY COMPANIES AND GOVERNMENT AGENCIES IN WRITING OF THE INTENT TO EXCAVATE NO LESS THAN 72 HOURS PRIOR TO SUCH EXCAVATION (EXCLUSIVE OF SATURDAYS, SUNDAYS, AND HOLIDAYS) AND CALL LOCAL UTILITY LOCATING AGENCY AT 811.

EXISTING UTILITY LOCATIONS SHOWN SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. LOCATIONS OF UNDERGROUND UTILITIES ON THESE DRAWINGS ARE APPROXIMATE ONLY AND BASED ON ACTUAL FIELD LOCATIONS OF VISIBLE STRUCTURES AND PLAN COMPUTATIONS.

SURVEY

EXISTING TOPOGRAPHY IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED BY WOOLPERT, IN NOBLESVILLE, IN, COMPLETED ON SEPTEMBER 21, 2022.

GEOTECHNICAL

REFER TO GEOTECHNICAL SITE ASSESSMENT PREPARED BY ATLAS, COMPLETED ON DECEMBER 8, 2022.

SHEET KEYNOTE INSTRUCTIONS

SHEET KEYNOTES ARE NOTED WITHIN THE GRAPHIC AREA OF THE DRAWING. THESE ARE REPRESENTED BY A NUMBER SURROUNDED BY A HEXAGON, WITH OR WITHOUT A LEADER. A LEGEND ON THE RIGHT SIDE OF THE PAGE LISTS THE NOTES IN NUMERICAL ORDER.

EXAMPLE: 1. ALIGN NEW CONSTRUCTION WITH THE FACE OF EXISTING CONSTRUCTION.

CERTIFICATION STATEMENT

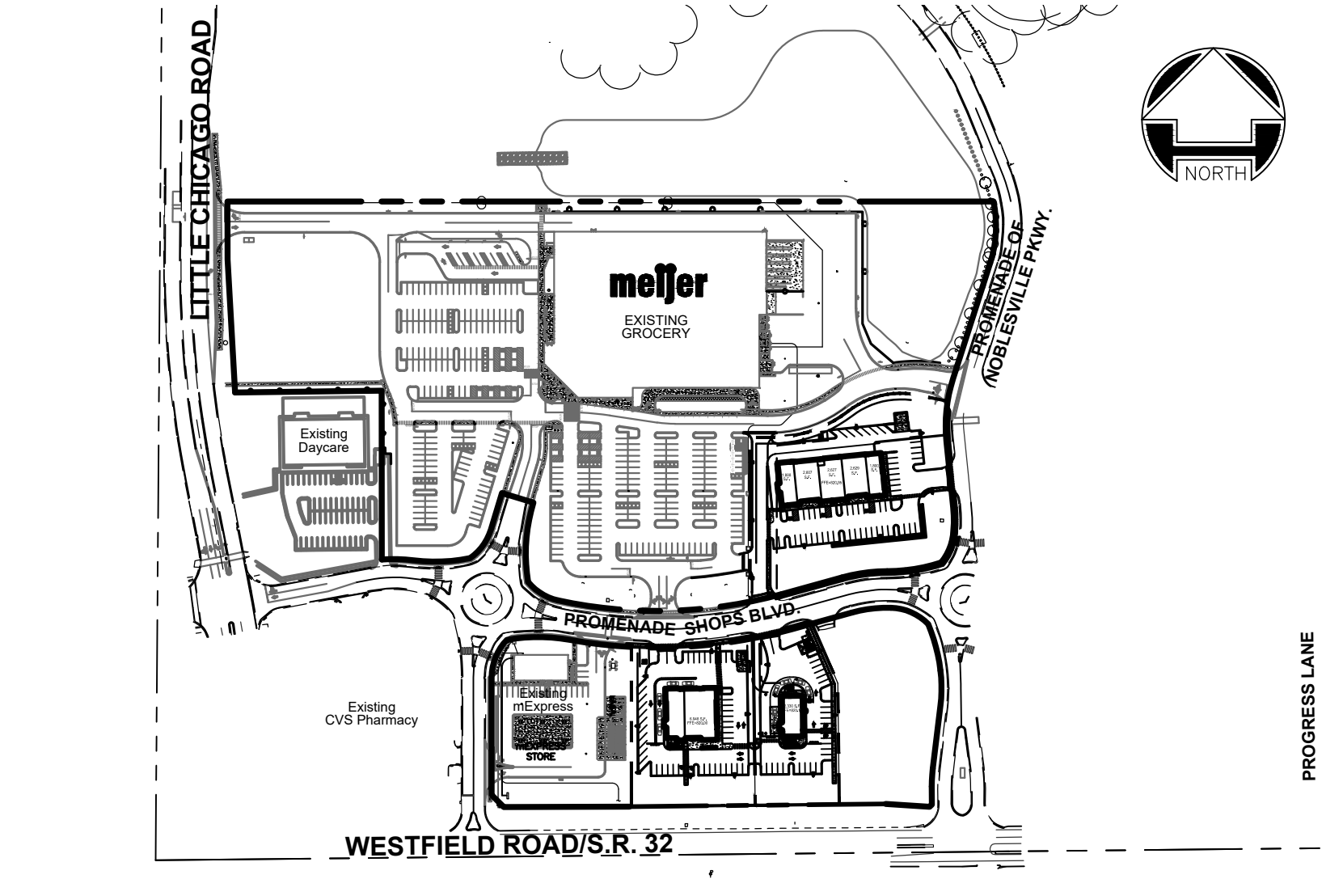
DESIGN PROFESSIONAL CERTIFYING THE PLANS FOR THE PROJECT ACKNOWLEDGES THEIR PROFESSIONAL RESPONSIBILITY FOR ENSURING THAT ALL WORK IS CORRECT, ACCURATE, AND COMPLIES WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS, AND ORDINANCES. IF SUCH AN ERROR AND/OR OMISSION IS FOUND, THE DESIGN PROFESSIONAL ACCEPTS FULL RESPONSIBILITY AND SHALL DETERMINE A SOLUTION THAT COMPLIES WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS, AND ORDINANCES. IF SUCH AN ERROR OR OMISSION IS FOUND, THE DEVELOPER IS NOT RELIEVED TO COMPLY WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS, AND ORDINANCES.

DEVELOPER/OWNER:

MEIJER STORES LIMITED PARTNERSHIP
KURT ADAMS, DIRECTOR OF PROPERTY MANAGEMENT, REAL ESTATE
2350 THREE MILE ROAD
GRAND RAPIDS, MI 49544

ENGINEER:

WOOLPERT INC.
ABBY JACOBS, P.E.
333 N ALABAMA STREET, SUITE 200
INDIANAPOLIS, IN 46204



B5 SITE LOCATION MAP

NTS

SITE ADDRESSES:
LOT 10: 6010 PROMENADE SHOPS BLVD.
LOT 12: 5957 PROMENADE SHOPS BLVD.
LOT 13: 5985 PROMENADE SHOPS BLVD.

INVENTORY TABLE

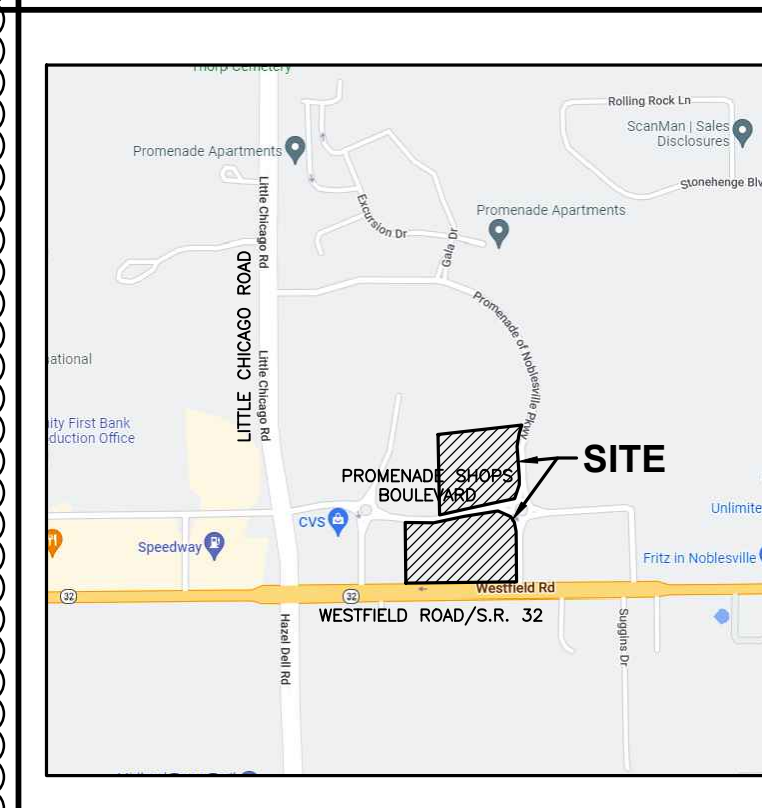
| LOT 10 | |
|---------------------------------|----------|
| TOTALS | QUANTITY |
| ROADWAY LENGTH (PRIVATE) | 0 FT. |
| SIDEWALK LENGTH (PRIVATE) | 458 FT. |
| SIDEWALK LENGTH (PUBLIC) | 510 FT. |
| SANITARY SEWER LENGTH (PRIVATE) | 300 FT. |
| STORM SEWER LENGTH (PRIVATE) | 388 FT. |

| LOT 12 | |
|---------------------------------|----------|
| TOTALS | QUANTITY |
| ROADWAY LENGTH (PRIVATE) | 0 FT. |
| SIDEWALK LENGTH (PRIVATE) | 387 FT. |
| SIDEWALK LENGTH (PUBLIC) | 162 FT. |
| SANITARY SEWER LENGTH (PRIVATE) | 121 FT. |
| STORM SEWER LENGTH (PRIVATE) | 524 FT. |

| LOT 13 | |
|---------------------------------|----------|
| TOTALS | QUANTITY |
| ROADWAY LENGTH (PRIVATE) | 0 FT. |
| SIDEWALK LENGTH (PRIVATE) | 298 FT. |
| SIDEWALK LENGTH (PUBLIC) | 62 FT. |
| SANITARY SEWER LENGTH (PRIVATE) | 111 FT. |
| STORM SEWER LENGTH (PRIVATE) | 412 FT. |

| PROJECT AREA OF DISTURBANCE | |
|-----------------------------|----------|
| TOTALS | QUANTITY |
| AREA OF DISTURBANCE | 6.68 AC. |

VICINITY MAP



A5 VICINITY MAP



SYMBOL LEGEND

| | | | |
|--|--------------------------------------|--|------------------------------------|
| | EXISTING MAJOR CONTOUR | | 8" SAN SANITARY SEWER & MANHOLE |
| | EXISTING MINOR CONTOUR | | WYE & LEAD |
| | NEW MINOR CONTOUR | | RISER & LEAD |
| | NEW MAJOR CONTOUR | | STANDARD SEWER CLEANOUT |
| | CENTER OF DITCH | | 12" SD STORM SEWER & MANHOLE |
| | LOT LINE (AS PLATTED) | | CATCH BASIN WITH EROSION CONTROL |
| | R.O.W. LINE | | UNDERDRAIN |
| | SECTION LINE | | 8" WTR WATER MAIN |
| | FENCE | | 8" WTR VALVE & BOX |
| | GRAVEL SURFACE | | METER |
| | PAVED SURFACE | | PLUG |
| | EXISTING CURB & GUTTER | | STANDARD FIRE HYDRANT ASSEMBLY |
| | PROPOSED CURB & GUTTER | | GND, GRD |
| | TURN DOWN CONCRETE SLAB | | GP |
| | SIGN | | GPD |
| | SITE LIGHT POLES | | GPM |
| | BENCH MARK | | GV&BOX |
| | SECTION CORNER | | HC |
| | EASEMENT LINE | | HD |
| | PROPOSED ELEVATION | | HEX |
| | PROPOSED PAVEMENT MARKING (PAINTING) | | UE |
| | PROPOSED BARRIER FREE PARKING | | UT |
| | | | TELEPHONE PEDESTAL |
| | | | CONCRETE SLAB |
| | | | HEAVY DUTY ASPHALT |
| | | | LIGHT DUTY ASPHALT |
| | | | MATCH LINE |

ABBREVIATIONS

| | | | |
|----------|--|------------|---|
| ALT | AREA | MAT'L | MATERIAL |
| AMP | ALTERNATE | MAX | MAXIMUM |
| ARCH | AMPERE | MECH | MECHANICAL |
| ASTM | ARCHITECTURAL | MIN | MINIMUM |
| B/C | AMERICAN SOCIETY FOR TESTING & MATERIALS | MH | MANHOLE |
| BIT | BACK OF CURB | (N) | NORTH |
| BM | BITUMINOUS PAVEMENT | OC | ON CENTER |
| BT | BENCH MARK | OC | OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION |
| CA | CONDUIT | PC | POINT OF CURVATURE |
| CAL | CALIPER | PE | POLYETHYLENE |
| CB | CATCH BASIN | PH | PHASE |
| CFH | CUBIC FEET PER HOUR | PSI | POUNDS PER SQUARE INCH |
| CL | CURB ISLAND | PT | POINT OF TANGENCY |
| CIR | CIRCUIT | PVC | POLYVINYL CHLORIDE |
| CONC | CONCRETE | P/MT | PAVEMENT |
| DA | DIAMETER | R | RADIUS |
| (E) | EAST | RCP | REINFORCED CONCRETE PIPE |
| E.I.F.S. | EXTERIOR INSULATION FINISHING SYSTEM | RE | REFERENCE |
| EL. ELEV | ELEVATION | REQ'D | REQUIRED |
| EQ | EQUIVALENT | ROW | RIGHT-OF-WAY |
| ES | END SECTION | RW | RETAINING WALL |
| ETC | ETCETERA | (N) | NORTH |
| FH | FIRE HYDRANT | SA | SANITARY SEWER |
| DI | DIAMETER | SAN | SAN |
| EA | EAST | SB | SOIL BORING |
| EL.F.S. | EXTERIOR INSULATION FINISHING SYSTEM | SF, SQ.FT. | SQUARE FEET |
| EQ | EQUIVALENT | SQ. | SQUARE |
| ES | END SECTION | SS | STORM SEWER |
| ETC | ETCETERA | STRUC | STRUCTURE |
| FF | FINISHED FLOOR | TC | TOP OF CURB |
| FF | FINISHED FLOOR | TEL | TELEPHONE |
| FS | FOOT SQUARE | TP | TOP OF PAVEMENT |
| GND, GRD | GROUND | TRF | TRANSFORMER |
| GP | GUTTER PAN | TS | TOP OF SLAB |
| GPD | GALLONS PER DAY | UD | UNDER DRAIN |
| GPM | GALLONS PER MINUTE | UP | UTILITY CROSSING |
| GV&BOX | GATE VALVE AND BOX | W | WEST |
| HC | HIGH CAPACITY | WC | WATER COLUMN |
| HD | HEAVY DUTY | WTR | WATER |
| HEX | HEXAGON | WWF | WELDED WIRE FABRIC |
| IE | INVERT ELEVATION | | |
| INVERT | INVERT ELEVATION | | |
| KVA | KILOVOLT AMPERE | | |
| LBS | POUNDS | | |
| LED | LIGHT DUTY | | |
| LED | LIGHT EMITTING DIODE | | |
| LF | LINEAR FEET | | |
| LARGE | LARGE | | |
| MANUF | MANUFACTURE | | |

AGENCIES

| | | |
|--|---|--|
| ZONING CITY OF NOBLESVILLE DEPARTMENT OF PLANNING AND DEVELOPMENT 16 SOUTH 10th STREET NOBLESVILLE, IN 46060 eric.long@duke-energy.com 317-776-5336 | ELECTRIC DUKE ENERGY 100 SOUTH MILL CREEK ROAD NOBLESVILLE, IN 46060 ERIC LONG eric.long@duke-energy.com 317-776-5336 | OPERATING AUTHORITY CITY OF NOBLESVILLE DEPARTMENT OF ENGINEERING 16 SOUTH 10th STREET, SUITE B165 NOBLESVILLE, IN 46060 JUSTIN HUBBARD, ENGINEERING jhubbard@noblesville.in.us 317-776-6330 |
| SANITARY CITY OF NOBLESVILLE DEPARTMENT OF ENGINEERING 16 SOUTH 10th STREET, SUITE B165 NOBLESVILLE, IN 46060 ODDIE ADAMS, ENGINEERING ooddie@noblesville.in.us 317-776-6330 | GAS CENTERPOINT ENERGY (ECTREN) 16000 ALLENSVILLE ROAD NOBLESVILLE, IN 46060 CHAD R. MILLER cmiller@ectren.com 317-776-5590 | TELEPHONE & INTERNET AT&T 240 N MERIDIAN STREET ROOM 280 INDIANAPOLIS, IN 46204 WENDY NOBLE wnoble@att.net 317-610-5436 317-403-6673 COMCAST 5330 E 65TH STREET INDIANAPOLIS, IN 46220 EARL SMALL JR. earl_small@comcast.com 317-982-1161 |
| WATER CITIZENS ENERGY GROUP 2150 DR. MARTIN LUTHER KING JR. STREET INDIANAPOLIS, IN 46202 BRAD HOSTETLER 317-927-4351 bhostetler@citizensenergygroup.com 317-927-4377 RICH NEWELL 317-927-4377 rnewell@citizensenergygroup.com MARK SHOCKLEY 317-264-7718 | FIRE CITY OF NOBLESVILLE FIRE DEPARTMENT PUBLIC SAFETY BUILDING 135 SOUTH 9th STREET NOBLESVILLE, IN 46060 DARREL CROSS, FIRE MARSHAL dcross@noblesville.in.us 317-776-6336 | |

Images: VIC MAP.PNC; .Xrefs: 10021169-p.dwg; 10021169-x.dwg; 10021169-TBLK.dwg; 10018618-x.dwg
 Layout Tab Name: C-001 COVER SHEET
 Last Saved By: ARuebelman, 7/24/2024 2:13:11 PM
 G:\DE\Clients\Meijer\10021169 Meijer NBV OL - Noblesville IN Outlots\4.0 Disciplines\Civil\Cadd\Prelim\10021169COV.dwg Plotted By:Ruebelman, Alicia Plotted:July 25, 2024, 4:49:03 PM

MEIJER STORE #682 OUTLOTS
 6010 PROMENADE SHOPS BOULEVARD
 NOBLESVILLE, INDIANA
 COVER SHEET

| | | |
|-----------------|--------------|----------|
| ISSUED FOR: | PERMIT | 05/22/24 |
| BID | CONSTRUCTION | |
| RECORD | | |
| PROJECT MANAGER | DESIGNER | |
| BLS | ANM | |
| JOB NO. | 10021169 | |
| C-001 | | |

GENERAL NOTES

1. PLANIMETRIC FEATURES SHOWN HEREON ARE BASED UPON A FIELD SURVEY COMPLETED BY WOOLPERT, INC. ON SEPTEMBER 21, 2022 AND WILL NOT REFLECT ANY CHANGES TO THE PHYSICAL SITE THROUGH MANMADE OR NATURAL OCCURRENCES BEYOND SAID DATE.
2. ANY USE OF THIS DRAWING BY PARTIES NOT CONTRACTED DIRECTLY WITH WOOLPERT OR CERTIFIED TO ON THIS DRAWING IS WITHOUT PRIOR WRITTEN PERMISSION.
3. ONLY THE IMPROVEMENTS THAT WERE VISIBLE FROM ABOVE GROUND AT TIME OF SURVEY, THROUGH A NORMAL SEARCH AND WALK THROUGH OF THE SITE, ARE SHOWN ON THE FACE OF THIS PLAN. THIS SURVEY MAY NOT REFLECT ALL UTILITIES OR IMPROVEMENTS, IF SUCH ITEMS ARE HIDDEN BY LANDSCAPING, OR ARE COVERED BY SUCH THINGS AS DUMPSTERS, TRAILERS, SNOW, ETC.
4. THERE ARE WETLANDS LOCATED ON THE SUBJECT PROPERTY, SEE THE REPORT COMPLETED BY THE ASC GROUP INC., "WATERS OF THE U.S. DETERMINATION AND WETLAND DELINEATION REPORT" DATED NOVEMBER 3, 2022 FOR ADDITIONAL DETAILS.
5. ACCORDING TO THE FLOOD INSURANCE RATE MAP - MAP NUMBER 18057001376, PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY WITH AN EFFECTIVE DATE OF NOVEMBER 19, 2014, WHICH IS THE MOST CURRENT FLOOD INSURANCE RATE MAP AVAILABLE ON FEMA'S WEBSITE, THIS SITE IS LOCATED IN ZONE "X" (NO SHADING) - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. THE SURVEYOR UTILIZED THE ABOVE REFERENCED FLOODPLAIN MAP FOR THIS DETERMINATION; FURTHERMORE, THE SURVEYOR DOES NOT CERTIFY THAT REVISED FLOODPLAIN INFORMATION HAS NOT BEEN PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY OR SOME OTHER SOURCE.
6. RECYCLED CONCRETE MATERIAL IS DEFINED AS CRUSHED CONCRETE SLAB, FOUNDATIONS, CURBS AND SIDEWALK, ALONG WITH THE GRANULAR BASE MATERIAL ASSOCIATED WITH THESE ITEMS (EXCLUDES CRUSHED CONCRETE BLOCK). THIS MATERIAL SHALL BE CRUSHED AND OR PROCESSED TO BE IN ACCORDANCE WITH MEYER SPECIFICATIONS AND CAN BE USED AS FOLLOWS:
 -MASS GRADING AND GENERAL FILL AREAS,
 -UTILITY TRENCH BACKFILL (EXCEPT FOR PIPE BEDDING),
 -SUBGRADE FILL MATERIAL DIRECTLY UNDER THE ASPHALT AND CONCRETE PAVEMENT SECTIONS. (MATERIAL SHALL NOT BE USED AS PART OF THE PAVEMENT SECTIONS.)

EXISTING LEGEND

- | | | | |
|---|----------------------------|-----|-----------------------------------|
| ⊕ | BENCH MARK FOUND/SET | TC | TOP OF CASTING |
| — | SIGN | INV | INVERT |
| ○ | POST | RCP | REINFORCED CONCRETE PIPE |
| ⊙ | DECIDUOUS TREE | PVC | PVC PIPE |
| ⊙ | SANITARY MANHOLE | --- | LEASE LINE |
| ⊙ | CLEANOUT | --- | LOT/PARCEL LINE |
| ⊙ | STORM MANHOLE | --- | RIGHT OF WAY LINE |
| □ | INLET | --- | SETBACK LINE |
| □ | CURB INLET | --- | EXISTING EASEMENT LINE |
| ⊗ | GAS METER | --- | EXISTING 1' CONTOUR LINE |
| ⊗ | GAS REGULATOR | --- | EXISTING 5' CONTOUR LINE |
| ⊗ | GROUND LIGHT | --- | OETC |
| ⊗ | PULL BOX | --- | OVERHEAD ELECTRIC/TELEPHONE/CABLE |
| ⊗ | GAS LINE MARKER/PAINT/FLAG | --- | OC |
| ⊗ | ELECTRIC METER | --- | UE |
| ⊗ | TRANSFORMER | --- | UTC |
| ⊗ | TELEPHONE PEDESTAL | --- | UETC |
| ⊗ | CABLE TV PEDESTAL | --- | G |
| ⊗ | FIRE HYDRANT | --- | WTR |
| ⊗ | VALVE | --- | SAN |
| ⊗ | TEST TAP | --- | SD |
| ⊗ | PARKING COUNT | --- | TL |
| ⊗ | POWER POLE | --- | WF |
| ⊗ | POWER/TELEPHONE/CABLE POLE | --- | |
| ⊗ | LIGHT POLE | --- | |
| ⊗ | TRAFFIC SIGNAL POLE | --- | |
| ⊗ | GUY WIRE | --- | |
| ⊗ | AIR CONDITIONING UNIT | --- | |
| ⊗ | TRAFFIC PULL BOX | --- | |

DEMOLITION LEGEND

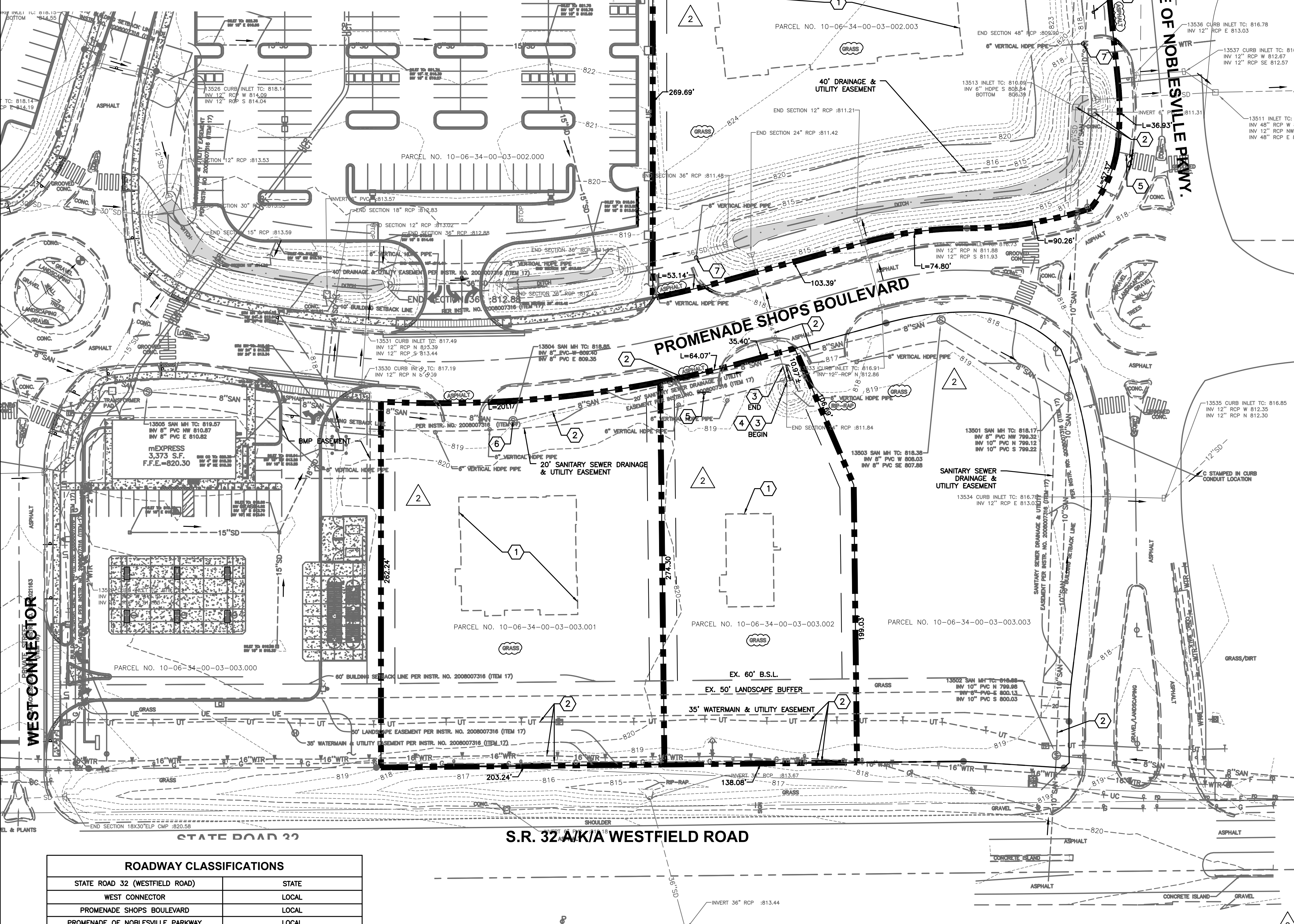
- EXISTING WETLANDS TO REMAIN.
- REMOVE EXISTING CURB

DEMOLITION KEYNOTES (X)

1. PROPOSED BUILDING FOOTPRINT.
2. EXISTING UTILITY TO BE MAINTAINED DURING CONSTRUCTION.
3. REMOVE PIPE.
4. REMOVE UTILITY STRUCTURE IN ITS ENTIRETY.
5. PROTECT OR REMOVE SIGN AND STORE FOR REINSTALLATION AT SAME LOCATION.
6. ADJUST UTILITY STRUCTURE TO PROPOSED GRADE.
7. REMOVE EXISTING POST.

DEMOLITION NOTES

1. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS RELATED TO AIR QUALITY DURING DEMOLITION FROM IDEM.
2. CONTRACTOR SHALL DISPOSE OF ALL DEMOLITION DEBRIS IN A LEGAL MANNER IN ACCORDANCE WITH ALL APPLICABLE GOVERNING CRITERIA. UPON COMPLETION OF DEMOLITION WORK, CONTRACTOR SHALL CLEAR SITE OF ALL DEBRIS.
3. CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITY SERVICES TO EXISTING ADJACENT BUILDINGS TO REMAIN. CONTRACTOR TO COORDINATE WITH EXISTING BUILDING OWNER(S) SHOULD ANY SERVICE INTERRUPTIONS BE REQUIRED.
4. CONTRACTOR IS RESPONSIBLE FOR COORDINATING DISCONNECTION OF ALL UTILITIES WITH APPROPRIATE AGENCY AS NECESSARY.
5. CONTRACTOR SHALL CONTACT CITIZENS ENERGY GROUP (SEE CONTACT INFORMATION ON COVER SHEET, C-001) TO COORDINATE ALL WATER SHUT OFFS. A SEPARATE FEE MAY BE REQUIRED. CONTRACTOR SHALL COORDINATE FEE AMOUNT WITH CITIZENS ENERGY GROUP AND CONVEY FEE AMOUNT TO MEJER. MEJER SHALL PAY FEE.
6. CONTRACTOR SHALL ENSURE THAT ALL APPROPRIATE MEASURES ARE IN PLACE SHOULD A RAIN EVENT OCCUR DURING THE REMOVAL AND/OR CONSTRUCTION OF THE STORM AND SANITARY SEWER SYSTEMS TO MAINTAIN FLOW TO THE APPROPRIATE SYSTEMS.
7. PROVIDE CAP OR PLUG AT TRANSITION FROM EXISTING TO ABANDONED OR REMOVED UTILITIES PER AGENCY REQUIREMENTS.
8. VOIDS CREATED BY REMOVAL OF EXISTING ITEMS, SUCH AS LIGHT POLES, SIGNS, ETC., SHALL BE FILLED IN ACCORDANCE WITH MEYER SPECIFICATIONS.
9. REMOVE (UNDER PROPOSED PAVEMENT AND BUILDING) ABANDON (UNDER PROPOSED LAWN) ANY LOCATED INACTIVE DOWNSPOUT LINES, SANITARY SERVICES, GAS SERVICES, WATER SERVICES, LIGHTING CONDUIT OR OTHER FOUND UTILITIES PER AGENCY REQUIREMENTS.
10. REMOVE METERS, POLES, AND APPURTENANCES ASSOCIATED WITH REMOVED/ABANDONED UTILITIES ATTACHED/ADJACENT TO EXISTING BUILDINGS TO BE DEMOLISHED IN ACCORDANCE WITH APPROPRIATE AGENCY REQUIREMENTS. CONTACT DUKE TO COORDINATE.
11. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS TO PERFORM WORK ON THE OWNER'S PROPERTY.
12. CONTRACTOR RESPONSIBLE FOR COORDINATING TEMPORARY POWER TO SITE.
13. FIRE EMERGENCY VEHICLE ACCESS MUST BE MAINTAINED DURING CONSTRUCTION.
14. PORTABLE FIRE EXTINGUISHERS MUST BE READILY AVAILABLE TO CONSTRUCTION CREWS DURING CONSTRUCTION.
15. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION TO VERIFY SITE CONDITIONS. ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND PLAN DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE MEJER PROJECT MANAGER IMMEDIATELY.
16. OPEN BURNING ON SITE IS PROHIBITED.
17. COORDINATE WITH DUKE FOR REMOVAL OF ELECTRIC EQUIPMENT ON SITE. CONTACT ERIC LONG AT 317.776.5336, ERIC.LONG@DUKE-ENERGY.COM.
18. COORDINATE WITH CENTERPOINT ENERGY FOR REMOVAL OF GAS EQUIPMENT ON SITE. CONTACT CHAD MILLER AT 317.776.5590, CRMILLER@CETN.COM
19. SEE SWPPP PLAN SHEETS FOR LOCATION OF TEMPORARY CONSTRUCTION FENCE.
20. CONTRACTOR SHALL REMOVE ALL STORM LINES AND OTHER UTILITIES ENCOUNTERED ON THE SITE THAT ARE NOT SHOWN ON THE SURVEY. REMOVE UTILITY SERVICE LINES, STRUCTURES (SUCH AS VALVES, ETC.) TO MAIN LINE AND CAP PER AGENCY REQUIREMENTS.

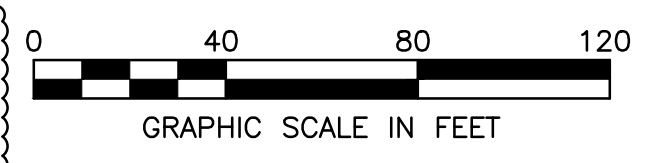


| ROADWAY CLASSIFICATIONS | |
|----------------------------------|-------|
| STATE ROAD 32 (WESTFIELD ROAD) | STATE |
| WEST CONNECTOR | LOCAL |
| PROMENADE SHOPS BOULEVARD | LOCAL |
| PROMENADE OF NOBLESVILLE PARKWAY | LOCAL |

BENCHMARK:

THE BASIS OF ELEVATIONS HEREON IS NAVD 88 PER OBSERVATIONS OF SELECTED STATIONS IN THE NATIONAL GEODETIC SURVEY CONTINUOUSLY OPERATING REFERENCE STATION (NCS CORN) NETWORK. CROSS CUT - SEE DRAWING FOR LOCATION. ELEVATION = 820.02'

THE BASIS OF MEASURED BEARINGS AND HORIZONTAL DATUM SHOWN HEREON IS THE INDIANA STATE PLAN COORDINATE SYSTEM EAST ZONE (NAD 83). SAID BEARINGS ORIGINATED FROM SAID COORDINATE SYSTEM BY GPS OBSERVATIONS AND OBSERVATIONS OF SELECTED STATIONS IN THE NATIONAL GEODETIC SURVEY CONTINUOUSLY OPERATING REFERENCE STATION (NCS CORN) NETWORK.



WOOLPERT
 ARCHITECTURE ENGINEERING & SURVEYING
 333 North Alabama Street
 Suite 200
 Indianapolis, IN 46204
 317.299.7500
 FAX: 317.291.5805

meijer
 2828 WALKER AVENUE
 GRAND RAPIDS, MICHIGAN 49544
 (616) 453-6711

| REV. | DATE | DESCRIPTION |
|------|----------|--------------------------|
| 1 | 06/27/24 | PC TAC COMMENTS |
| 2 | 07/24/24 | ENGINEERING TAC COMMENTS |



MEJER STORE #628 OUTLOTS
 6010 PROMENADE SHOPS BOULEVARD
 NOBLESVILLE, INDIANA

**EXISTING CONDITIONS /
 DEMOLITION PLAN**

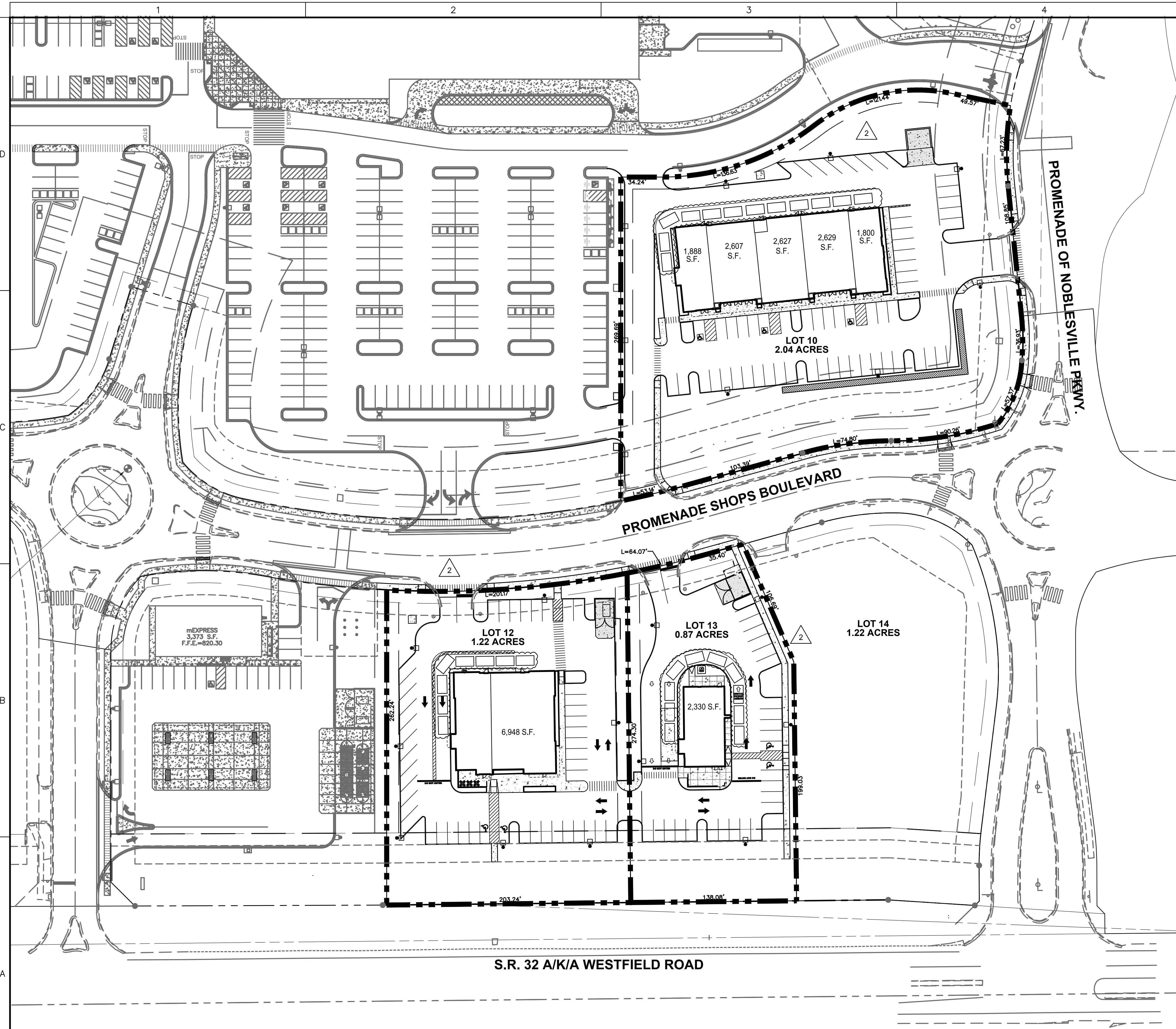
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| ISSUED FOR: | |
| PERMIT | 05/22/24 |
| CONSTRUCTION RECORD | |
| PROJECT MANAGER | DESIGNER |
| BLS | ANR |

JOB NO.
10021169

C-100

Images: .\Xrefs: 10021169-TBLK.dwg; 10021169-p.dwg; 10021169-x.dwg; 10021169-x-NBV survey.dwg
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Images: . Xrefs: 10021169-TBLK.dwg; 10021169-p.dwg; 10021169-x.dwg; 10021169-x-NB survey.dwg
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| OUTLOT SUMMARY OF AREAS AND USES | | |
|----------------------------------|------------|--|
| LOT 10 | 2.04 ACRES | QUICK SERVE RESTAURANT, GENERAL RETAIL |
| LOT 12 | 1.22 ACRES | QUICK SERVE RESTAURANT, GENERAL RETAIL |
| LOT 13 | 0.87 ACRES | QUICK SERVE RESTAURANT |
| LOT 14 | 1.22 ACRES | FUTURE DEVELOPMENT |
| TOTAL | 5.35 ACRES | |

| PARKING SUMMARY | |
|-------------------------|----|
| LOT 10 STANDARD PARKING | 57 |
| LOT 10 VAN ACCESSIBLE | 3 |
| TOTAL LOT 10 PARKING | 60 |
| REQUIRED BY CODE | 60 |
| LOT 12 STANDARD PARKING | 42 |
| LOT 12 VAN ACCESSIBLE | 2 |
| TOTAL LOT 12 PARKING | 44 |
| REQUIRED BY CODE | 44 |
| LOT 13 STANDARD PARKING | 24 |
| LOT 13 VAN ACCESSIBLE | 2 |
| TOTAL LOT 13 PARKING | 26 |
| REQUIRED BY CODE | 23 |

| CRITICAL GEOMETRICS | |
|------------------------|-----|
| MINIMUM DRIVE RADIUS | 25' |
| MINIMUM PAVEMENT WIDTH | 24' |

- LEGEND**
- EXISTING BOUNDARY
 - - - PROPOSED BOUNDARY
 - - - PROPOSED SETBACK
 - - - PROPOSED LOT LINE
 - - - RIGHT-OF-WAY
 - ~ ~ ~ EXISTING TREE LINE

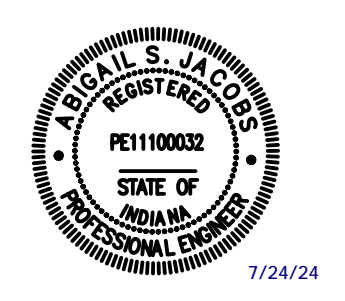
- PAVEMENT LEGEND**
- [Pattern] CONCRETE PAVEMENT, SEE D1 ON C-703.
 - [Pattern] DUMPSTER PAD CONCRETE PAVEMENT, SEE D1 ON C-701
 - [Pattern] LIGHT DUTY ASPHALT PAVEMENT, SEE D1 ON C-701
 - [Pattern] RETAINING WALL
 - [Pattern] 9'-0" PARKING SPACES, UNLESS NOTED OTHERWISE
 - [Pattern] BARRIER FREE PARKING SPACES
 - [Symbol] LIGHT POLE

| QUEUING SUMMARY | |
|------------------------|----|
| LOT 10 QUEUING PARKING | 12 |
| LOT 12 QUEUING PARKING | 8 |
| LOT 13 QUEUING PARKING | 10 |

WOOLPERT
 ARCHITECTURE | ENGINEERING | GEOGRAPHICAL
 333 North Alabama Street
 Suite 200
 Indianapolis, IN 46204
 317.299.7500
 FAX: 317.291.5805

meijer
 2828 WALKER AVENUE
 GRAND RAPIDS, MICHIGAN 49544
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MEIJER STORE #628 OUTLOTS
 6010 PROMENADE SHOPS BOULEVARD
 NOBLESVILLE, INDIANA

OVERALL SITE LAYOUT / PAVEMENT PLAN

| | |
|-----------------|----------|
| ISSUED FOR: | |
| PERMIT | 05/22/24 |
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| CONSTRUCTION | |
| RECORD | |
| PROJECT MANAGER | DESIGNER |
| BLS | ANR |

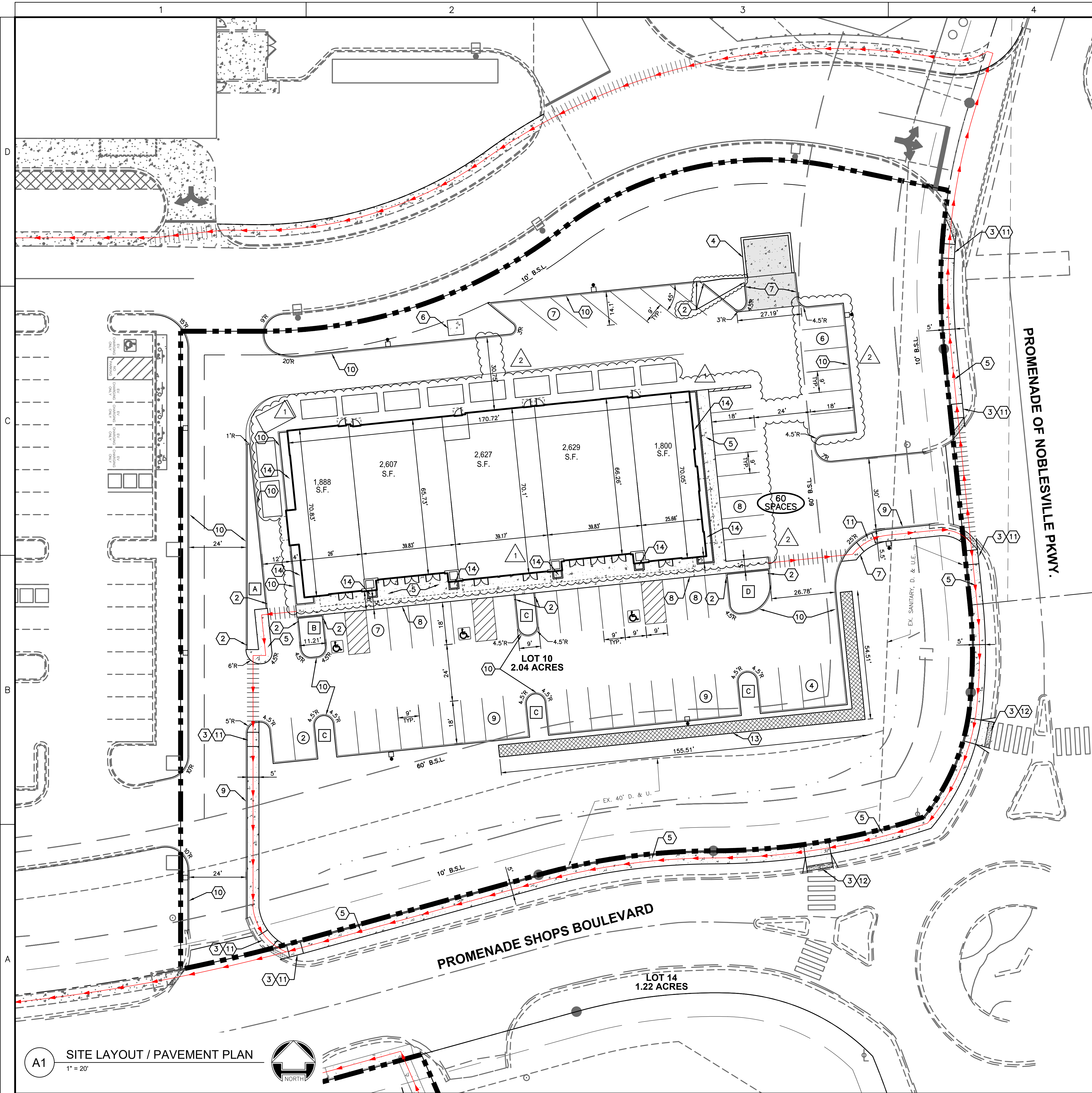
JOB NO.
10021169



A1 OVERALL SITE LAYOUT / PAVEMENT PLAN
 1" = 40'

C-200

Images: . Xrefs: 10021169-TBLK.dwg; 10021169-p.dwg; 10021169-x.dwg; 10021169-survey.dwg; 10021169-SIT-NOTES.dwg
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SITE PLAN KEYNOTES

- BIKE RACK, SEE DETAIL B3 ON SHEET C-701.
- TRANSITION CURB HEIGHT FROM 6" TO 0" IN 2'.
- ADA RAMP WITH TRUNCATED DOMES, SEE NOBLESVILLE CITY STANDARDS, SHEET 6 OF 29.
- TRASH DUMPSTER ENCLOSURE AND PAD (REFER TO ARCHITECTURAL DRAWING FOR DETAILS).
- 4" CONCRETE SIDEWALK ON 4" BASE MATERIAL. SEE DETAIL B1 ON C-703.
- TRANSFORMER PAD.
- CONCRETE APRON FOR DUMPSTER ENCLOSURE. REFER TO STRUCTURAL DRAWINGS.
- THICKENED BITUMINOUS PAVEMENT EDGE/UNDERDRAIN AT BUILDING FRONT SIDEWALK. SEE DETAIL B1 ON C-703.
- CONCRETE CURBED WALK, SEE DETAIL A1 ON C-703.
- CONCRETE STRAIGHT CURB AND GUTTER, SEE DETAIL C1 ON C-703.
- ADA RAMP, ONE-WAY DIRECTIONAL PERPENDICULAR CURB RAMP, SEE NOBLESVILLE CITY STANDARDS, SHEET 6 OF 29.
- ADA RAMP, PERPENDICULAR CURB RAMP, SEE NOBLESVILLE CITY STANDARDS, SHEET 6 OF 29.
- RETAINING WALL, SEE GRADING PLAN SHEET C-301 FOR TOP AND BOTTOM OF WALL. RETAINING WALL TO BE RED-ROCK, OR APPROVED EQUAL.
- LANDSCAPE PLANTER BED, SEE C-600 SERIES SHEETS FOR ADDITIONAL DETAILS.

LEGEND

- EXISTING BOUNDARY
- PROPOSED BOUNDARY
- PROPOSED SETBACK
- PROPOSED LOT LINE
- RIGHT-OF-WAY
- EXISTING TREE LINE
- PROPOSED PEDESTRIAN ROUTE
- CURB ISLAND TYPE, SEE SHEET C-204 FOR DIMENSIONS

PAVEMENT LEGEND

- CONCRETE PAVEMENT, SEE D1 ON C-703
- DUMPSTER PAD CONCRETE PAVEMENT, SEE D1 ON C-701
- LIGHT DUTY ASPHALT PAVEMENT, SEE D3 ON C-701
- RETAINING WALL
- 9'-0" PARKING SPACES, UNLESS NOTED OTHERWISE
- BARRIER FREE PARKING SPACES
- LIGHT POLE

GENERAL NOTES

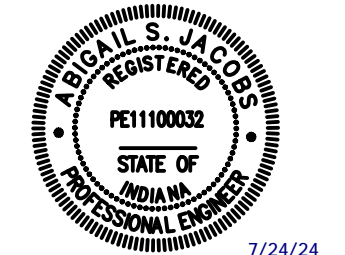
- NO DIMENSION MAY BE SCALED. REFER UNCLER ITEMS TO THE ENGINEER FOR INTERPRETATION.
- DIMENSIONS AND/OR COORDINATES ARE TO FACE OF CURB, FACE OF BUILDING (FACE OF PRECAST), EDGE OF PAVEMENT OR CENTER OF STRUCTURE OR SIGN. VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL DRAWINGS.
- BUILDING SLABS, UNDERBED THICKNESS AND LOCATIONS ARE SHOWN FOR REFERENCE. VERIFY WITH STRUCTURAL DRAWINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING TO ACCOMPLISH ALL WORK INDICATED ON PLANS AND PERFORM REQUIRED COMPACTION OPERATIONS.
- PROVIDE ADEQUATE BARRICADES AT DRIVES, ENTRANCES, EXCAVATIONS AND OTHER OPENINGS TO KEEP OUT UNAUTHORIZED PERSONS AND FOR PUBLIC SAFETY AND TRAFFIC CONTROL. SAFETY PROVISIONS OF APPLICABLE LAWS SHALL BE OBSERVED AT ALL TIMES. BARRICADES LEFT IN PLACE AT NIGHT SHALL BE LIGHTED.
- NO EQUIPMENT OR MATERIAL STORAGE IS PERMITTED IN THE RIGHT-OF-WAY.
- WORK SHALL CONFORM TO THE REQUIREMENTS OF MEIJER STANDARD SPECIFICATIONS, GOVERNING AGENCIES HAVING JURISDICTION. GRADING, PAVING AND MATERIALS SHALL COMPLY WITH THE STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AS WELL AS PROJECT SPECIFICATIONS AND DRAWINGS. IN CASE OF DISCREPANCIES BETWEEN REQUIREMENTS, THE MORE STRINGENT SHALL APPLY.
- EXTERIOR CONCRETE SLABS ADJACENT TO BUILDING SHALL BE PLACED ON 4" STRUCTURAL CUSHION, UNLESS NOTED OTHERWISE. REFER TO THE STRUCTURAL DRAWINGS.
- AGGREGATE TO EXTEND 12" BEYOND BACK OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. SEE DETAIL C5 AND D1 ON SHEET C-701.
- ALL RADII SHALL BE 5' UNLESS OTHERWISE NOTED.
- TOTAL OPEN/GREEN SPACE WITHIN LOT 10 IS 0.80 ACRES.
- FOR ADDITIONAL INFORMATION REGARDING SPECIFIC PROPERTY LINE BEARINGS AND DISTANCES PLEASE REFER TO REPLAT OF BLOCKS "A" AND "B" IN THE PROMENADE SHOPS, A PART OF A PLANNED DEVELOPMENT SECONDARY PLAT DATED FEBRUARY 21, 2023, RECORDED WITH THE HAMILTON COUNTY RECORDER ON MARCH 1, 2023 AS INSTR. #2023006486 IN PLAT CABINET 6, SLIDE 362.

SEE C-300 SERIES SHEETS FOR APPLICABLE IMPERVIOUS SURFACE HATCHING AND AREA VALUES.

WOOLPERT
 ARCHITECTURE ENGINEERING & SCIENCE
 333 North Alabama Street
 Suite 200
 Indianapolis, IN 46204
 317.299.7500
 FAX: 317.291.5805

meijer
 2828 WALKER AVENUE
 GRAND RAPIDS, MICHIGAN 49544
 (616) 453-6711

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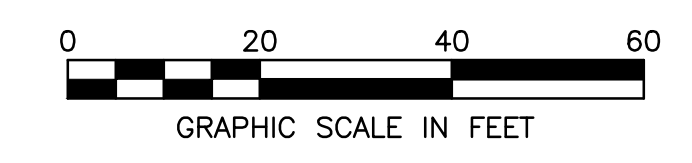


MEIJER STORE #628 OUTLOTS
 6010 PROMENADE SHOPS BOULEVARD
 NOBLESVILLE, INDIANA

SITE LAYOUT / PAVEMENT PLAN
 LOT 10

| | |
|-----------------|----------|
| ISSUED FOR: | |
| PERMIT | 05/22/24 |
| BID | |
| CONSTRUCTION | |
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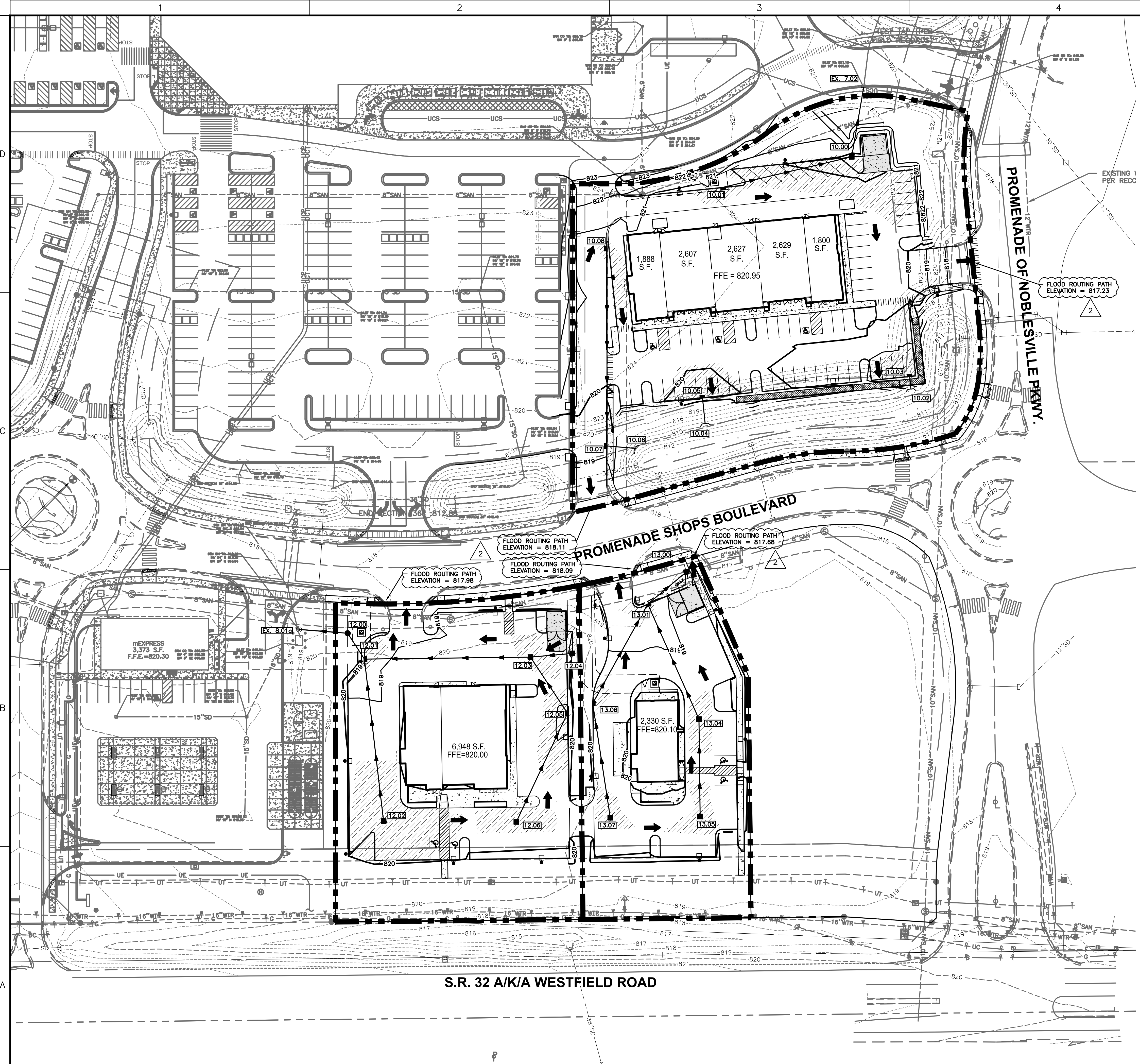
JOB NO.
10021169



A1 SITE LAYOUT / PAVEMENT PLAN
 1" = 20'

C-201

Images: . Xrefs: 10021169-TBLK.dwg; 10021169-p.dwg; 10021169-x.dwg; 10021169-x-NB survey.dwg; 10021169-GRA-NOTES.dwg
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GRADING NOTES

- CONTOURS SHOWN ARE FOR REFERENCE ONLY.
- PROVIDE POSITIVE DRAINAGE AT ALL TIMES TO ENSURE NO STANDING WATER WITHIN PAVEMENT, BUILDING PAD, OR GREEN AREAS.
- FOR ALL CURB ISLANDS, CENTER OF ISLANDS TO BE A MINIMUM OF 6" HIGHER THAN TOP OF CURB.
- RESTORE ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES, AND OTHER PUBLIC OR PRIVATE STRUCTURES THAT ARE DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO MATCH AT A MINIMUM EXISTING CONDITIONS.
- CONTRACTOR'S MANNER AND METHOD OF INGRESS AND EGRESS WITH RESPECT TO THE PROJECT AREAS SHALL IN NO WAY PROHIBIT OR DISTURB NORMAL PEDESTRIAN OR VEHICULAR TRAFFIC IN THE VICINITY AND IS SUBJECT TO REGULATION AND WRITTEN APPROVAL OF APPROPRIATE GOVERNING AGENCIES.
- FINISHED SUBGRADE SURFACE SHALL NOT BE MORE THAN 0.1 FEET ABOVE OR BELOW ESTABLISHED FINISHED SUBGRADE ELEVATIONS AND ALL GROUND SURFACES SHALL VARY UNIFORMLY BETWEEN INDICATED ELEVATIONS. FINISHED DITCHES SHALL BE GRADED TO ALLOW FOR PROPER DRAINAGE WITHOUT PONDING AND IN A MANNER THAT WILL MINIMIZE EROSION.
- VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- UTILITIES SHALL END 5 FEET FROM THE BUILDING UNLESS NOTED OTHERWISE.
- PROTECT AND MAINTAIN CROSSINGS OF OTHER UTILITIES.
- ALL MATERIAL, SPECIFICATIONS, AND CONSTRUCTION METHODS SHALL BE IN CONFORMANCE WITH MEJER STANDARD SPECIFICATIONS AND THOSE OF THE APPROPRIATE UTILITY COMPANIES.
- BEFORE COMMENCING WORK, CONTRACTOR SHALL VERIFY ALL LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES.
- CONTRACTOR SHALL PERFORM FULL DEPTH REMOVAL AND REPLACEMENT OF EXISTING PAVEMENT PER MEJER REQUIREMENTS AT PROPOSED UTILITIES INSTALLATION IN EXISTING PAVED AREAS.
- CONTRACTOR TO REFERENCE CITY OF NOBLESVILLE CONSTRUCTION STANDARDS AT THE END OF THE PLAN SET FOR ADDITIONAL DETAILS.

LEGEND

- PROPERTY LINE
- - - - - EXISTING 1' CONTOUR
- - - - - EXISTING 5' CONTOUR
- - - - - PROPOSED 1' CONTOUR
- - - - - PROPOSED 5' CONTOUR
- STORM SEWER
- SANITARY
- STORM MANHOLE
- STORM DRAINAGE BASIN
- STORM CLEANOUT
- SANITARY MANHOLE
- SANITARY CLEANOUT
- EXISTING DRAINAGE BASIN
- XXX STORM STRUCTURE ID NUMBER
- FLOOD ROUTING ARROW
- 1.00% SLOPE LABEL
- 100-YR PONDING LIMITS (WITH ALL INLETS BLOCKED)
- XXX SPOT ELEVATION
- - - - - PROPOSED GRADE BREAK LINE

CRITICAL POND ELEVATIONS

| POND 6 ELEVATIONS | POND 4 ELEVATIONS | DESCRIPTION |
|-------------------|-------------------|----------------------------------|
| 809.17 | 799.00 | BOTTOM OF POND ELEVATION |
| 809.17 | 808.89 | OUTLET CONTROL INVERT ELEVATION |
| N/A | 812.12 | OUTLET CONTROL WEIR ELEVATION |
| 813.13 | 812.24 | 10-YEAR WATER SURFACE ELEVATION |
| 813.22 | 813.08 | OUTLET CONTROL GRATE ELEVATION |
| 815.68 | 814.54 | 100-YEAR WATER SURFACE ELEVATION |
| 815.71 | 814.54 | EMERGENCY SPILLWAY ELEVATION |
| 817.62 | 816.00 | TOP OF BANK ELEVATION |

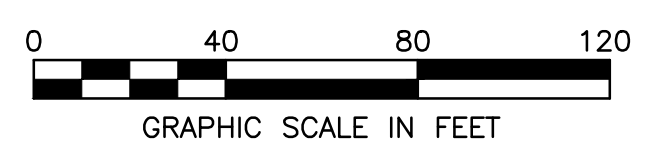
DRAINAGE SUMMARY

| | POND 4 | POND 6 |
|---------------------------------------|------------|------------|
| ALLOWABLE ACREAGE | 10.67 AC. | 9.35 AC. |
| DRAINAGE AREA ACREAGE | 3.54 AC. | 1.94 AC. |
| (OFF-SITE ACREAGE) | 16.53 AC. | 0.00 AC. |
| 10-YEAR ALLOWABLE RELEASE RATE | 10.89 CFS* | |
| 100-YEAR ALLOWABLE RELEASE RATE | 32.66 CFS* | |
| 10-YEAR POST DEVELOPED RUNOFF | 100.28 CFS | 92.79 CFS |
| 100-YEAR POST DEVELOPED RUNOFF | 174.38 CFS | 167.36 CFS |
| 10-YEAR POST (DETAINED) RELEASE RATE | 3.500 CFS | 4.270 CFS |
| 100-YEAR POST (DETAINED) RELEASE RATE | 4.100 CFS | 5.060 CFS |
| VOLUME OF DETENTION REQUIRED | 338,942 CF | 294,477 CF |
| VOLUME OF DETENTION PROVIDED | 640,124 CF | 294,477 CF |

*NOTE: ALLOWABLE RELEASE RATES SHOWN ABOVE ARE PER THE APPROVED MASTER DRAINAGE REPORT FOR THE PUD. RELEASE RATES ARE CALCULATED FOR THE OVERALL PROMENADE DEVELOPMENT.

CERTIFICATION STATEMENT

DESIGN PROFESSIONAL CERTIFYING THE PLANS FOR THE PROJECT ACKNOWLEDGES THEIR PROFESSIONAL RESPONSIBILITY FOR ENSURING THAT ALL WORK IS CORRECT, ACCURATE, AND COMPLIES WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS, AND ORDINANCES. IF SUCH AN ERROR AND/OR OMISSION IS FOUND, THE DESIGN PROFESSIONAL ACCEPTS FULL RESPONSIBILITY AND SHALL DETERMINE A SOLUTION THAT COMPLIES WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS, AND ORDINANCES. IF SUCH AN ERROR OR OMISSION IS FOUND, THE DEVELOPER IS NOT RELIEVED TO COMPLY WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS, AND ORDINANCES.

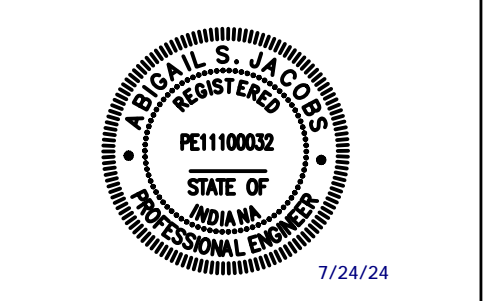


WOOLPERT
ARCHITECTURE ENGINEERING GEOGRAPHICAL

333 North Alabama Street
Suite 200
Indianapolis, IN 46204
317.299.7500
FAX: 317.291.5805

meijer
2828 WALKER AVENUE
GRAND RAPIDS, MICHIGAN 49544
(616) 453-6711

| REV. | DATE | DESCRIPTION |
|------|----------|--------------------------|
| 1 | 06/27/24 | PC TAC COMMENTS |
| 2 | 07/24/24 | ENGINEERING TAC COMMENTS |



MEIJER STORE #628 OUTLOTS
6010 PROMENADE SHOPS BOULEVARD
NOBLESVILLE, INDIANA

**OVERALL SITE GRADING /
DRAINAGE PLAN**

ISSUED FOR:

| | |
|--------------|----------|
| PERMIT | 05/22/24 |
| BID | |
| CONSTRUCTION | |
| RECORD | |

| | |
|-----------------|----------|
| PROJECT MANAGER | DESIGNER |
| BLS | ANR |

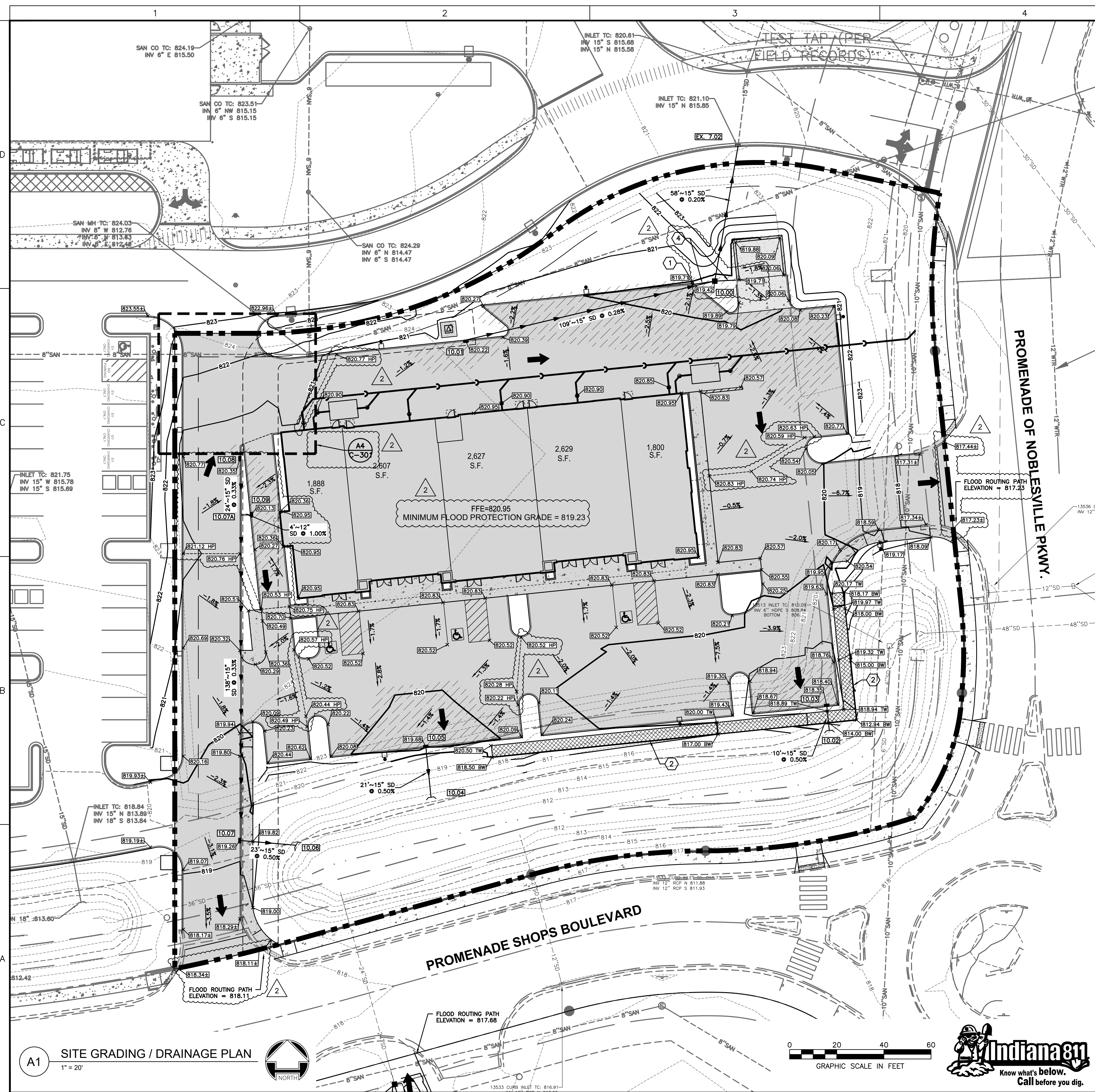
JOB NO.
10021169

C-300

A1 OVERALL SITE GRADING / DRAINAGE PLAN
1" = 40'



Images: .\Xrefs: 10021169-TBLK.dwg; 10021169-p.dwg; 10021169-x-nb survey.dwg; 10021169-gra--NOTES.dwg
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GRADING NOTES

1. CONTOURS SHOWN ARE FOR REFERENCE ONLY.
2. PROVIDE POSITIVE DRAINAGE AT ALL TIMES TO ENSURE NO STANDING WATER WITHIN PAVEMENT, BUILDING PAD, OR GREEN AREAS.
3. FOR ALL CURB ISLANDS, CENTER OF ISLANDS TO BE A MINIMUM OF 6" HIGHER THAN TOP OF CURB.
4. RESTORE ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES, AND OTHER PUBLIC OR PRIVATE STRUCTURES THAT ARE DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO MATCH AT A MINIMUM EXISTING CONDITIONS.
5. CONTRACTOR'S MANNER AND METHOD OF INGRESS AND EGRESS WITH RESPECT TO THE PROJECT AREAS SHALL IN NO WAY PROHIBIT OR DISTURB NORMAL PEDESTRIAN OR VEHICULAR TRAFFIC IN THE VICINITY AND IS SUBJECT TO REGULATION AND WRITTEN APPROVAL OF APPROPRIATE GOVERNING AGENCIES.
6. FINISHED SUBGRADE SURFACE SHALL NOT BE MORE THAN 0.1 FEET ABOVE OR BELOW ESTABLISHED FINISHED SUBGRADE ELEVATIONS AND ALL GROUND SURFACES SHALL VARY UNIFORMLY FROM INDICATED ELEVATIONS. FINISHED DITCHES SHALL BE GRADED TO ALLOW FOR PROPER DRAINAGE WITHOUT PONDING AND IN A MANNER THAT WILL MINIMIZE EROSION.
7. VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
8. UTILITIES SHALL END 5 FEET FROM THE BUILDING UNLESS NOTED OTHERWISE.
9. PROTECT AND MAINTAIN CROSSINGS OF OTHER UTILITIES.
10. ALL MATERIAL, SPECIFICATIONS, AND CONSTRUCTION METHODS SHALL BE IN CONFORMANCE WITH MEJER STANDARD SPECIFICATIONS AND THOSE OF THE APPROPRIATE UTILITY COMPANIES.
11. BEFORE COMMENCING WORK, CONTRACTOR SHALL VERIFY ALL LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES.
12. CONTRACTOR SHALL PERFORM FULL DEPTH REMOVAL AND REPLACEMENT OF EXISTING PAVEMENT PER MEJER REQUIREMENTS AT PROPOSED UTILITIES INSTALLATION IN EXISTING PAVED AREAS.
13. CONTRACTOR TO REFERENCE CITY OF NOBLESVILLE CONSTRUCTION STANDARDS AT THE END OF THE PLAN SET FOR ADDITIONAL DETAILS.

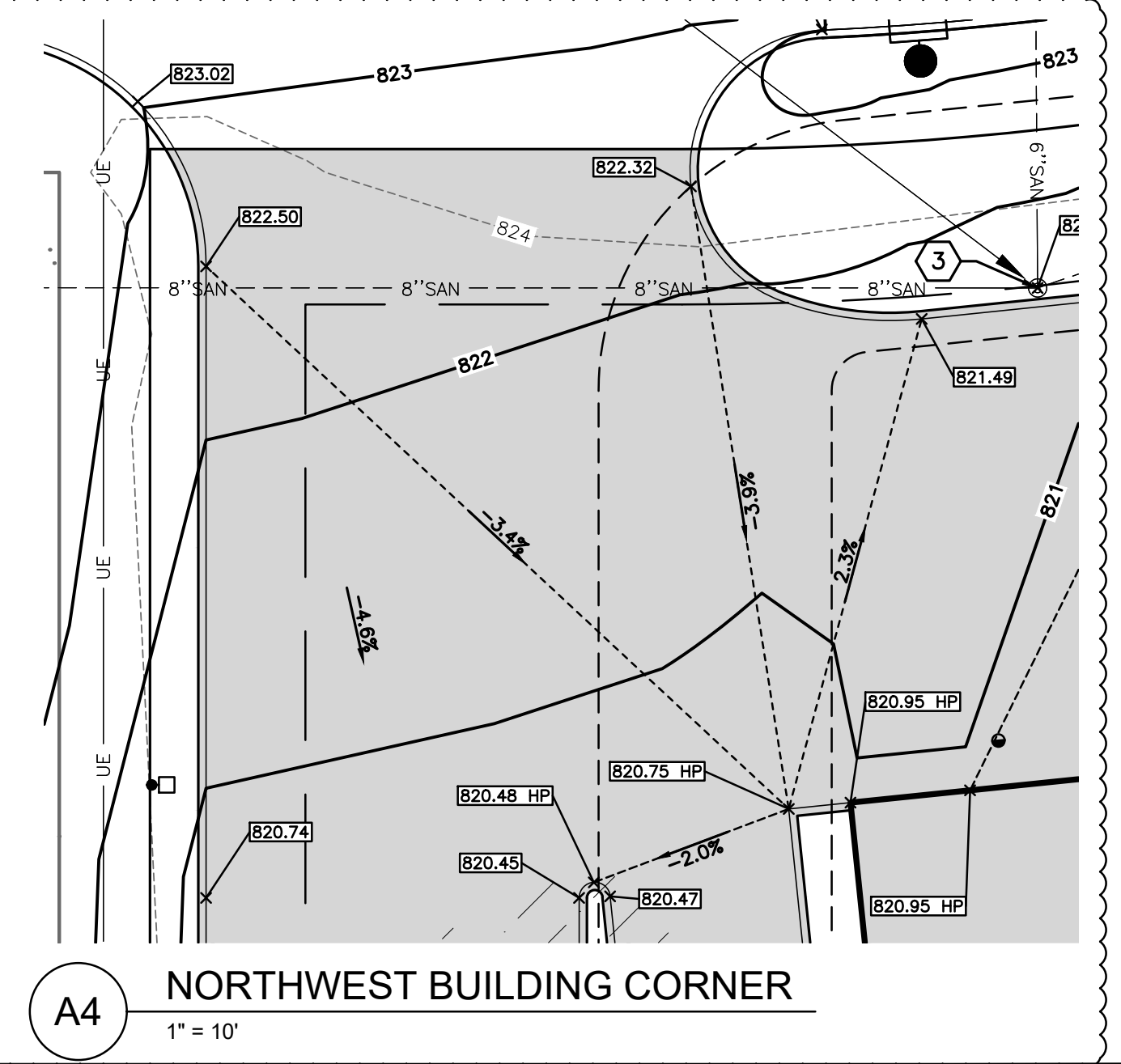
LEGEND

- — — — — PROPERTY LINE
- - - - - EXISTING 1' CONTOUR
- - - - - EXISTING 5' CONTOUR
- - - - - PROPOSED 1' CONTOUR
- - - - - PROPOSED 5' CONTOUR
- — — — — STORM SEWER
- — — — — SANITARY
- STORM MANHOLE
- STORM DRAINAGE BASIN
- STORM CLEANOUT
- SANITARY MANHOLE
- SANITARY CLEANOUT
- EXISTING DRAINAGE BASIN
- STORM STRUCTURE ID NUMBER
- FLOOD ROUTING ARROW
- 1.00% SLOPE LABEL
- ▨ 100-YR PONDING LIMITS (WITH ALL INLETS BLOCKED)
- XXX.XX SPOT ELEVATION
- - - - - PROPOSED GRADE BREAK LINE

GRADING PLAN KEYNOTES

1. 2' CURB CUT.
2. PROPOSED REDI ROCK RETAINING WALL.
3. ADJUST STRUCTURE TO PROPOSED GRADE.
4. PROPOSED GRASS SWALE AT 2.00% MINIMUM.

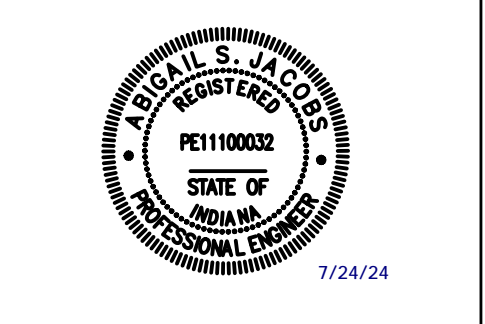
| IMPERVIOUS AREA SUMMARY | |
|-------------------------|-----------------------|
| LOT 10 | |
| LOT 10 | AREA (SQ. FT.) |
| ASPHALT PAVEMENT | 35,996 SQ. FT. |
| CONCRETE PAVEMENT | 648 SQ. FT. |
| CONCRETE SIDEWALK | 2,965 SQ. FT. |
| RETAINING WALL | 1,024 SQ. FT. |
| BUILDING | 11,772 SQ. FT. |
| TOTAL IMPERVIOUS | 52,405 SQ. FT. |



WOOLPERT
 ARCHITECTURE ENGINEERING & SURVEYING
 333 North Alabama Street
 Suite 200
 Indianapolis, IN 46204
 317.299.7500
 FAX: 317.291.5805

meijer
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 GRAND RAPIDS, MICHIGAN 49544
 (616) 453-6711

| REV. | DATE | DESCRIPTION |
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| 1 | 06/27/24 | PC TAC COMMENTS |
| 2 | 07/24/24 | ENGINEERING TAC COMMENTS |



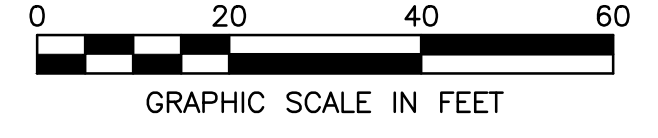
MEIJER STORE #628 OUTLOTS
 6010 PROMENADE SHOPS BOULEVARD
 NOBLESVILLE, INDIANA

SITE GRADING / DRAINAGE PLAN
 LOT 10

| | |
|-----------------|----------|
| ISSUED FOR: | |
| PERMIT | 05/22/24 |
| BID | |
| CONSTRUCTION | |
| RECORD | |
| PROJECT MANAGER | DESIGNER |
| BLS | ANR |

JOB NO.
10021169

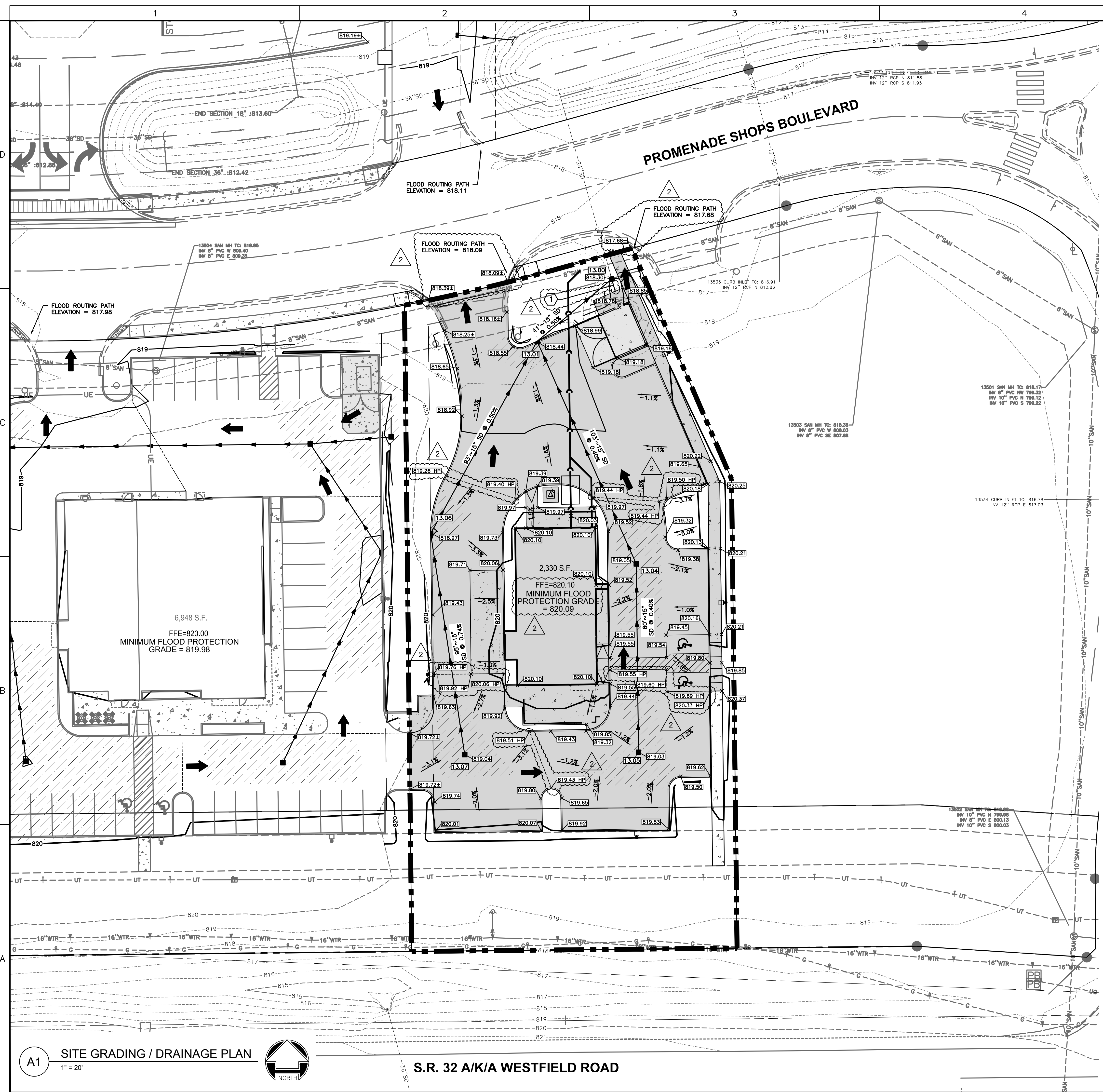
C-301



A1 SITE GRADING / DRAINAGE PLAN
 1" = 20'

A4 NORTHWEST BUILDING CORNER
 1" = 10'

Images: .xrefs: 10021169--TBLK.dwg; 10021169--x--p.dwg; 10021169--x--NEV survey.dwg; 10021169--GRA--NOTES.dwg
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GRADING NOTES

- CONTOURS SHOWN ARE FOR REFERENCE ONLY.
- PROVIDE POSITIVE DRAINAGE AT ALL TIMES TO ENSURE NO STANDING WATER WITHIN PAVEMENT, BUILDING PAD, OR GREEN AREAS.
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- RESTORE ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES, AND OTHER PUBLIC OR PRIVATE STRUCTURES THAT ARE DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO MATCH AT A MINIMUM EXISTING CONDITIONS.
- CONTRACTOR'S MANNER AND METHOD OF INGRESS AND EGRESS WITH RESPECT TO THE PROJECT AREAS SHALL IN NO WAY PROHIBIT OR DISTURB NORMAL PEDESTRIAN OR VEHICULAR TRAFFIC IN THE VICINITY AND IS SUBJECT TO REGULATION AND WRITTEN APPROVAL OF APPROPRIATE GOVERNING AGENCIES.
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- VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- UTILITIES SHALL END 5 FEET FROM THE BUILDING UNLESS NOTED OTHERWISE.
- PROTECT AND MAINTAIN CROSSINGS OF OTHER UTILITIES.
- ALL MATERIAL, SPECIFICATIONS, AND CONSTRUCTION METHODS SHALL BE IN CONFORMANCE WITH MEJER STANDARD SPECIFICATIONS AND THOSE OF THE APPROPRIATE UTILITY COMPANIES.
- BEFORE COMMENCING WORK, CONTRACTOR SHALL VERIFY ALL LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES.
- CONTRACTOR SHALL PERFORM FULL DEPTH REMOVAL AND REPLACEMENT OF EXISTING PAVEMENT PER MEJER REQUIREMENTS AT PROPOSED UTILITIES INSTALLATION IN EXISTING PAVED AREAS.
- CONTRACTOR TO REFERENCE CITY OF NOBLESVILLE CONSTRUCTION STANDARDS AT THE END OF THE PLAN SET FOR ADDITIONAL DETAILS.

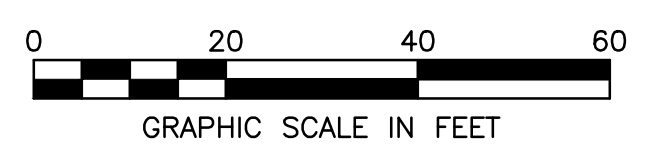
LEGEND

- PROPERTY LINE
- - - - - EXISTING 1' CONTOUR
- - - - - EXISTING 5' CONTOUR
- - - - - PROPOSED 1' CONTOUR
- - - - - PROPOSED 5' CONTOUR
- STORM SEWER
- SANITARY
- STORM MANHOLE
- STORM DRAINAGE BASIN
- STORM CLEANOUT
- SANITARY MANHOLE
- SANITARY CLEANOUT
- EXISTING DRAINAGE BASIN
- XX STORM STRUCTURE ID NUMBER
- FLOOD ROUTING ARROW
- 1.00% SLOPE LABEL
- 100-YR PONDING LIMITS (WITH ALL INLETS BLOCKED)
- XXX SPOT ELEVATION
- - - - - PROPOSED GRADE BREAK LINE

GRADING PLAN KEYNOTES

- PROPOSED GRASS SWALE AT 2.00% MINIMUM.

| IMPERVIOUS AREA SUMMARY | |
|-------------------------|-----------------------|
| LOT 13 | |
| LOT 13 | AREA (SQ. FT.) |
| ASPHALT PAVEMENT | 17,237 SQ. FT. |
| CONCRETE PAVEMENT | 1,740 SQ. FT. |
| CONCRETE SIDEWALK | 2,293 SQ. FT. |
| BUILDING | 2,330 SQ. FT. |
| TOTAL IMPERVIOUS | 23,600 SQ. FT. |



WOOLPERT
 ARCHITECTURE ENGINEERING & GEOGRAPHICAL INFORMATION SYSTEMS
 333 North Alabama Street
 Suite 200
 Indianapolis, IN 46204
 317.299.7500
 FAX: 317.291.5805

meijer
 2828 WALKER AVENUE
 GRAND RAPIDS, MICHIGAN 49544
 (616) 453-6711

| REV. | DATE | DESCRIPTION |
|------|----------|--------------------------|
| 1 | 06/27/24 | PC TAC COMMENTS |
| 2 | 07/24/24 | ENGINEERING TAC COMMENTS |



MEIJER STORE #628 OUTLOTS
 6010 PROMENADE SHOPS BOULEVARD
 NOBLESVILLE, INDIANA

SITE GRADING / DRAINAGE PLAN
 LOT 13

| | |
|-----------------|----------|
| ISSUED FOR: | |
| PERMIT | 05/22/24 |
| BID | |
| CONSTRUCTION | |
| RECORD | |
| PROJECT MANAGER | DESIGNER |
| BLS | ANR |

JOB NO.
10021169

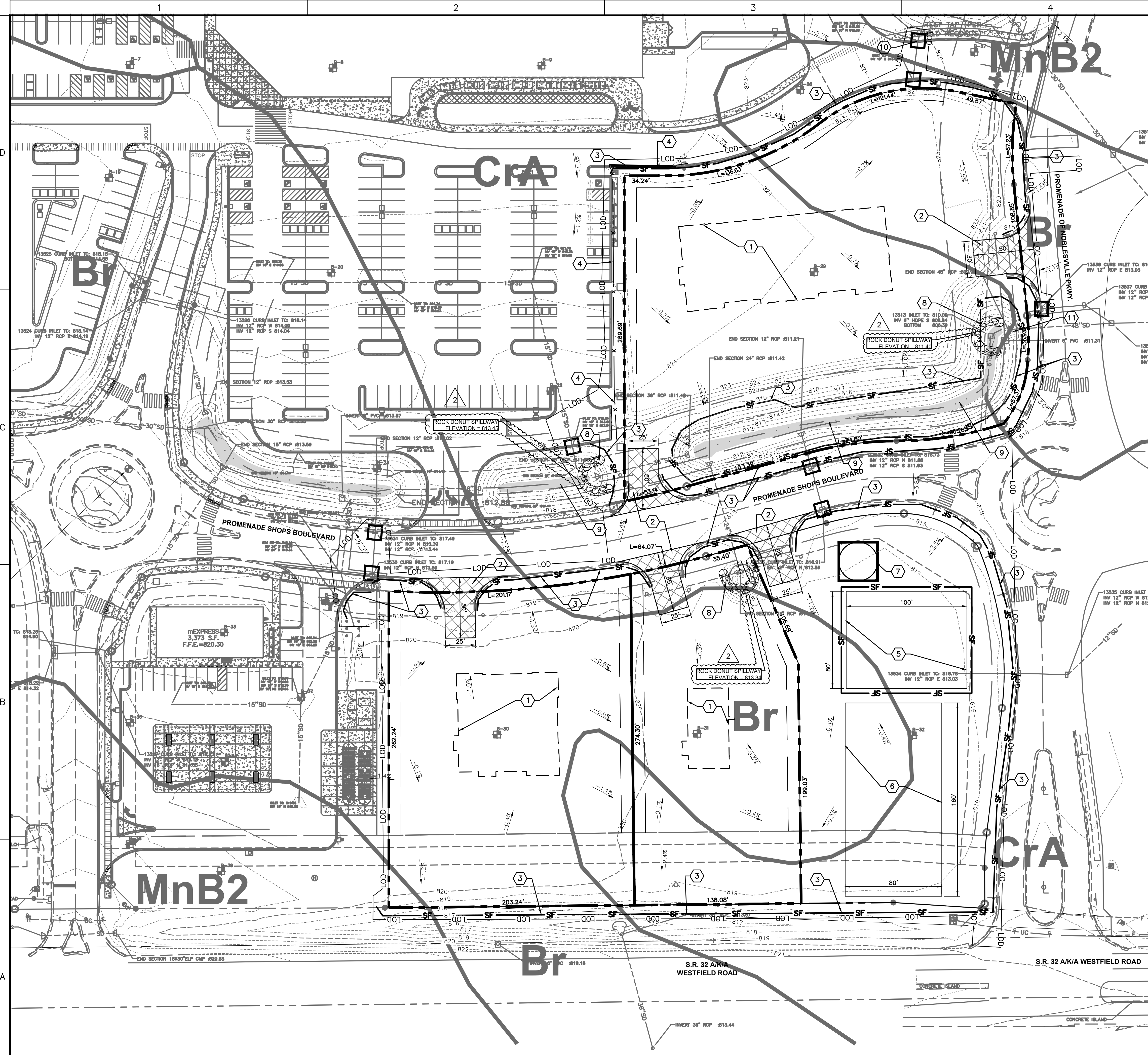
C-303

A1 SITE GRADING / DRAINAGE PLAN
 1" = 20'



S.R. 32 A/K/A WESTFIELD ROAD

Images: .\Xrefs: 10021169-TBLK.dwg; 10021169-x-NB survey.dwg; 10021169-ERO-NOTES.dwg; 10021169-p.dwg; 10021169-x-soils.dwg; 10021169-LOD.dwg
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LEGEND

| | | | |
|-----------|--------------------------------|------|--|
| ---799--- | EXISTING 1' CONTOUR | (IP) | INLET PROTECTION -TYPE 1 (PAVEMENT) *SEE NCS SHEET 28 OF 29. |
| ---800--- | EXISTING 5' CONTOUR | | UTILITY TO BE REMOVED |
| -SD- | EX. DITCH | → | PROPOSED STORM SEWER |
| --- | EX. STORM LINE | ⊙ | EXISTING STORM MANHOLE |
| ~~~~~ | EXISTING TREE LINE | ⊕ | EXISTING STORM HEADWALL |
| ⊙ | EXISTING DRAINAGE INLETS | ⊕ | ROCK DONUT |
| → | FLOW DIRECTION AND GRADE (EX.) | ⊕ | EXISTING WETLAND TO REMAIN |
| --- | SITE BOUNDARY | --- | SOIL TYPE BOUNDARY |
| --- | LOD | --- | SOIL TYPE |
| --- | SF | --- | TEMPORARY STABILIZED CONSTRUCTION ENTRANCE |

- ### KEYNOTES
- PROPOSED BUILDING FOOTPRINT.
 - TEMPORARY STABILIZED CONSTRUCTION ENTRANCE, MINIMUM 8" THICK. SEE NOBLESVILLE CONSTRUCTION STANDARDS (NCS) SHEET 27 OF 29.
 - SILT FENCE/SILT DIKE. SEE NOBLESVILLE CONSTRUCTION STANDARDS (NCS) SHEET 27 OF 29.
 - TEMPORARY CONSTRUCTION FENCING.
 - STOCKPILE AREA. SEE DETAIL A1a ON SHEET C-313.
 - POTENTIAL CONSTRUCTION STAGING MATERIAL STORAGE AREA (INCLUDES FUELING AREA, DUMPSTERS, CONCRETE WASHOUT, TRAILERS, PORT-O-LET, ETC.).
 - CONCRETE WASHOUT AREA. SEE DETAIL B1 ON SHEET C-312.
 - ROCK DONUT. SEE NOBLESVILLE CITY STANDARDS ON SHEET 28. TOP OF STONE ELEVATION MIN. 18" ABOVE DITCH FLOW LINE. SEE PLAN VIEW, THIS SHEET, FOR ELEVATION.
 - EXISTING WETLAND TO REMAIN. CONTRACTOR TO REMOVE TEMPORARY BMPs WITHIN WETLANDS UPON COMPLETION OF CONSTRUCTION AND RESTORE AREA TO PRECONSTRUCTION CONDITION.
 - NORTH OUTFALL: EXISTING STORM SEWER FLOWS NORTH APPROXIMATELY 46 FEET AND DISCHARGES TO AN EXISTING BASIN. BASIN OUTFLOW DISCHARGES THROUGH A 12" OUTLET PIPE ACROSS PROMENADE OF NOBLESVILLE PARKWAY VIA AN EXISTING STORM SEWER. THE EXISTING STORM SEWER FLOWS NORTHEAST THROUGH ADJACENT PROPERTY FOR APPROXIMATELY 698 FEET TO DISCHARGE INTO SLY RUN. SLY RUN FLOWS SOUTHEAST APPROXIMATELY 2.20 MILES TO CICERO CREEK.
 - SOUTH OUTFALL: DITCH OUTFLOW DISCHARGES THROUGH A 48" PIPE ACROSS PROMENADE OF NOBLESVILLE PARKWAY VIA AN EXISTING STORM SEWER. THE EXISTING STORM SEWER FLOWS EAST THROUGH ADJACENT PROPERTY FOR APPROXIMATELY 130 FEET TO DISCHARGE INTO AN EXISTING RETENTION POND. THE RETENTION POND OUTFLOW DISCHARGES NORTHWEST ACROSS PROMENADE OF NOBLESVILLE PARKWAY VIA AN EXISTING STORM SEWER. THE EXISTING STORM SEWER FLOWS NORTHWEST FOR APPROXIMATELY 245 FEET TO DISCHARGE INTO THE ON-SITE DETENTION BASIN. REFERENCE KEYNOTE 18 FOR ADDITIONAL OUTFALL INFORMATION FROM THE DETENTION BASIN TO CICERO CREEK.

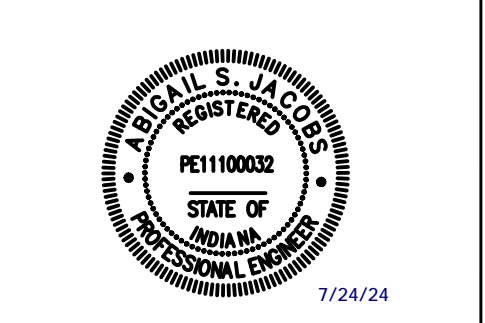
- ### BEST MANAGEMENT PRACTICES (BMPs) PHASE 1 IMPLEMENTATION SEQUENCING
- POST A COPY OF THE NOI AT THE CONSTRUCTION ENTRANCE ALONG WITH THE CONTACT INFORMATION OF THE PERSON RESPONSIBLE FOR IMPLEMENTING THE SWPPP. THE SWPPP SHOULD BE ON-SITE AND WEEKLY SITE REPORTS NEED TO BE AVAILABLE WITHIN 48 HOURS OF A REQUEST.
 - STAKE THE LIMITS OF DISTURBANCE.
 - BEGIN CLEARING AND GRUBBING ONLY THE MINIMUM AREA NECESSARY FOR INSTALLATION OF PHASE 1 BMPs. CLEAR AREAS REQUIRED FOR BMPs AS EACH BMP IS BEING INSTALLED.
 - INSTALL TEMPORARY STABILIZED CONSTRUCTION ENTRANCE(S).
 - PERIMETER CONTROLS AND OTHER PRACTICES INTENDED TO TRAP SEDIMENT SHALL BE IMPLEMENTED PRIOR TO GRADING AND WITHIN SEVEN (7) DAYS FROM THE START OF GRUBBING FOR PERIMETER CONTROLS AND PHASE 1 BMPs.
 - INSTALL PERIMETER CONTROLS.
 - INSTALL INLET PROTECTION TO EXISTING DRAINAGE STRUCTURES.
 - CONTRACTOR TO COORDINATE AND CONDUCT SWPPP PHASE 1 IMPLEMENTATION REVIEW MEETING IMMEDIATE AFTER DIVERSION DITCH INSTALLATION PRIOR TO BEGINNING MASS GRADING WORK.
 - DELINEATION OF WETLANDS TO BE BY SNOW FENCING IF APPLICABLE.
 - NOTE: THE CONTRACTOR MAY COMPLETE CONSTRUCTION ACTIVITIES CONCURRENTLY PROVIDED ALL PRECEDING BMPs AND STABILIZATION ACTIVITIES HAVE BEEN COMPLETED AND INSTALLED.

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333 North Alabama Street
 Suite 200
 Indianapolis, IN 46204
 317.299.7500
 FAX: 317.291.5805

meijer
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| REV. | DATE | DESCRIPTION |
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| 1 | 06/27/24 | PC TAC COMMENTS |
| 2 | 07/24/24 | ENGINEERING TAC COMMENTS |



MEIJER STORE #628 OUTLOTS
 6010 PROMENADE SHOPS BOULEVARD
 NOBLESVILLE, INDIANA

**OVERALL PHASE 1 STORMWATER
 POLLUTION PREVENTION PLAN**

| | |
|-----------------|----------|
| ISSUED FOR: | |
| PERMIT | 05/22/24 |
| BID | |
| CONSTRUCTION | |
| RECORD | |
| PROJECT MANAGER | DESIGNER |
| BLS | ANR |

JOB NO.
10021169



C-310

A1 PHASE 1 STORMWATER POLLUTION PREVENTION PLAN
 1" = 40'

GRAPHIC SCALE IN FEET

Images: . Xrefs: 10021169-TBLK.dwg; 10021169-x-NBY survey.dwg; 10021169-x-solis.dwg; 10021169-ER02-NOTES.dwg; 10021169-LOD.dwg
 Layout Tab Name: C-311. ERO 2 OVERALL
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| SUMMARY OF ACREAGE - LOTS 10, 12, & 13 | |
|---|---------|
| TOTAL PROJECT SITE AREA | 4.13 AC |
| PERMITTED DISTURBED AREA ON MEIJER PROPERTY | 4.13 AC |
| PERMITTED DISTURBED AREA ON OFF-SITE AREAS | 2.55 AC |
| TOTAL PERMITTED DISTURBED AREA FOR PROJECT | 6.68 AC |

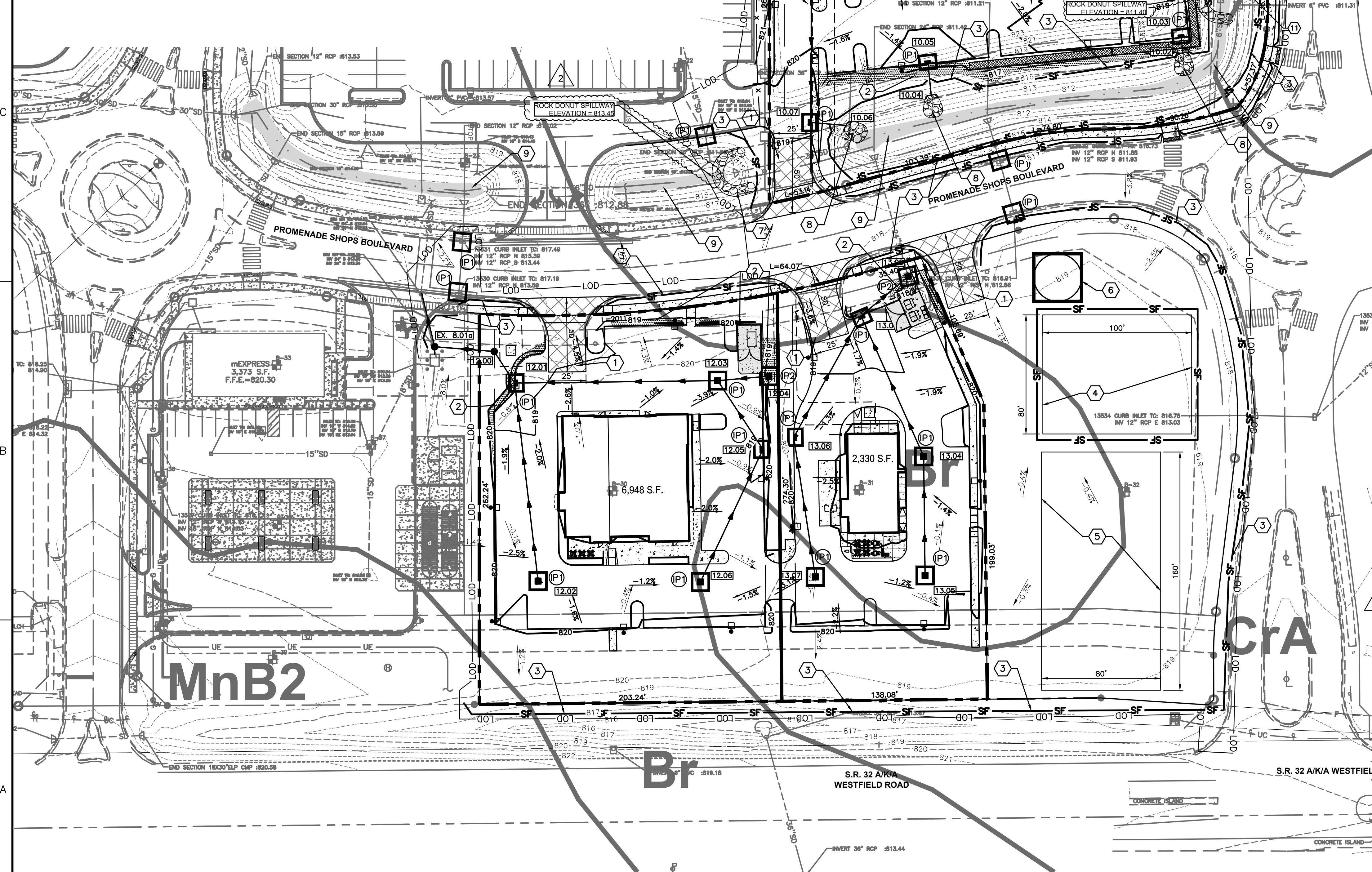
| SUMMARY OF LOT 10 | PRE-CONSTRUCTION | | POST-CONSTRUCTION | |
|-------------------------|------------------|--|-------------------|--|
| | OPEN SPACE | QUICK SERVE RESTAURANT, GENERAL RETAIL | OPEN SPACE | QUICK SERVE RESTAURANT, GENERAL RETAIL |
| SITE DESCRIPTION | | | | |
| CURVE NUMBER (CN) | 80 | 91 | | |
| IMPERVIOUS AREA (ACRES) | 0 AC | 1.24 AC | | |
| IMPERVIOUS AREA (%) | 0 % | 60.8 % | | |

| SUMMARY OF LOT 12 | PRE-CONSTRUCTION | | POST-CONSTRUCTION | |
|-------------------------|------------------|--|-------------------|--|
| | OPEN SPACE | QUICK SERVE RESTAURANT, GENERAL RETAIL | OPEN SPACE | QUICK SERVE RESTAURANT, GENERAL RETAIL |
| SITE DESCRIPTION | | | | |
| CURVE NUMBER (CN) | 80 | 92 | | |
| IMPERVIOUS AREA (ACRES) | 0 AC | 0.81 AC | | |
| IMPERVIOUS AREA (%) | 0 % | 66.4 % | | |

| SUMMARY OF LOT 13 | PRE-CONSTRUCTION | | POST-CONSTRUCTION | |
|-------------------------|------------------|--|-------------------|--|
| | OPEN SPACE | QUICK SERVE RESTAURANT, GENERAL RETAIL | OPEN SPACE | QUICK SERVE RESTAURANT, GENERAL RETAIL |
| SITE DESCRIPTION | | | | |
| CURVE NUMBER (CN) | 80 | 91 | | |
| IMPERVIOUS AREA (ACRES) | 0 AC | 0.54 AC | | |
| IMPERVIOUS AREA (%) | 0 % | 62.1 % | | |

| RIP-RAP OUTLET PROTECTION SPECIFICATION DIMENSIONS | | | | | | |
|--|----------------|----------------------------|----------------|----------------|------------------------------------|-------------------|
| STR. NO. | PIPE SIZE (IN) | AVG. RIP-RAP DIAMETER (IN) | THICKNESS (IN) | DISCHARGE (FT) | APRON WIDTH AT END OF RIP-RAP (FT) | APRON LENGTH (FT) |
| 10.02 | 15 | 8 | 18 | 4 | 6 | 9 |
| 10.04 | 15 | 8 | 18 | 4 | 6 | 9 |
| 10.06 | 15 | 8 | 18 | 4 | 6 | 9 |

SEE SHEET C-312 THROUGH C-314 FOR EROSION CONTROL NOTES



LEGEND

| | | | |
|-----------|-------------------------------------|------|---|
| ---799--- | EXISTING 1' CONTOUR | --- | SOIL TYPE BOUNDARY |
| ---800--- | EXISTING 5' CONTOUR | CrA | SOIL TYPE |
| ---799--- | PROPOSED 1' CONTOUR | --- | TEMPORARY STABILIZED CONSTRUCTION ENTRANCE |
| ---800--- | PROPOSED 5' CONTOUR | (P1) | INLET PROTECTION -TYPE 1 (PAVEMENT) *SEE NCS SHEET 28 OF 29 |
| - - - - - | EX. DITCH | (P2) | INLET PROTECTION -TYPE 2 (LAWN) *SEE NCS SHEET 28 OF 29 |
| - - - - - | EX. STORM LINE | --- | PROPOSED STORM SEWER |
| ~ ~ ~ ~ ~ | EXISTING TREE LINE | --- | EXISTING STORM MANHOLE |
| ⊕ | EXISTING DRAINAGE INLETS | --- | EXISTING STORM HEADWALL |
| -0.3% | FLOW DIRECTION AND GRADE (EX.) | --- | EROSION CONTROL BLANKET |
| -0.3% | FLOW DIRECTION AND GRADE (PROPOSED) | --- | ROCK DONUT |
| --- | SITE BOUNDARY | --- | END SECTION RIP-RAP |
| LOD | LIMITS OF DISTURBANCE | --- | EXISTING WETLAND TO REMAIN |
| SF | SILT FENCE/SILT DIKE | | |

- ### KEYNOTES
- TEMPORARY STABILIZED CONSTRUCTION ENTRANCE, MINIMUM. 8" THICK. SEE NOBLESVILLE CONSTRUCTION STANDARDS (NCS) SHEET 27 OF 29.
 - EROSION CONTROL BLANKET. SEE DETAIL NOBLESVILLE CONSTRUCTION STANDARDS (NCS) SHEET 28 OF 29.
 - SILT FENCE/SILT DIKE. SEE NOBLESVILLE CONSTRUCTION STANDARDS (NCS) SHEET 27 OF 29.
 - STOCKPILE AREA. SEE DETAIL A1a ON SHEET C-313.
 - POTENTIAL CONSTRUCTION STAGING MATERIAL STORAGE AREA (INCLUDES FUELING AREA, DUMPSTERS, CONCRETE WASHOUT, TRAILERS, PORT-O-LET, ETC.).
 - CONCRETE WASHOUT AREA. SEE DETAIL B5 ON SHEET C-312.
 - ROCK DONUT. SEE NOBLESVILLE CITY STANDARDS ON SHEET 28. TOP OF STONE ELEVATION MIN. 18" ABOVE DITCH FLOW LINE. SEE PLAN VIEW, THIS SHEET, FOR ELEVATION.
 - END SECTION RIP-RAP. SEE NOBLESVILLE CITY STANDARDS ON SHEET 28. PROJECT SPECIFIC RIP-RAP DIMENSIONS, SEE TABLE ON THIS SHEET.
 - EXISTING WETLAND TO REMAIN. CONTRACTOR TO REMOVE TEMPORARY BMPs WITHIN WETLANDS UPON COMPLETION OF CONSTRUCTION AND RESTORE AREA TO PRECONSTRUCTION CONDITION.
 - NORTH OUTFALL: EXISTING STORM SEWER FLOWS NORTH APPROXIMATELY 46 FEET AND DISCHARGES TO AN EXISTING BASIN. BASIN OUTFLOW DISCHARGES THROUGH A 12" OUTLET PIPE ACROSS PROMENADE OF NOBLESVILLE PARKWAY VIA AN EXISTING STORM SEWER. THE EXISTING STORM SEWER FLOWS NORTHEAST THROUGH ADJACENT PROPERTY FOR APPROXIMATELY 698 FEET TO DISCHARGE INTO SLY RUN. SLY RUN FLOWS SOUTHEAST APPROXIMATELY 2.20 MILES TO CICERO CREEK.
 - SOUTH OUTFALL: DITCH OUTFLOW DISCHARGES THROUGH A 48" PIPE ACROSS PROMENADE OF NOBLESVILLE PARKWAY VIA AN EXISTING STORM SEWER. THE EXISTING STORM SEWER FLOWS EAST THROUGH ADJACENT PROPERTY FOR APPROXIMATELY 130 FEET TO DISCHARGE INTO AN EXISTING RETENTION POND. THE RETENTION POND OUTFLOW DISCHARGES NORTHWEST ACROSS PROMENADE OF NOBLESVILLE PARKWAY VIA AN EXISTING STORM SEWER. THE EXISTING STORM SEWER FLOWS NORTHWEST FOR APPROXIMATELY 245 FEET TO DISCHARGE INTO THE ON-SITE DETENTION BASIN. REFERENCE KEYNOTE 18 FOR ADDITIONAL OUTFALL INFORMATION FROM THE DETENTION BASIN TO CICERO CREEK.

- ### BEST MANAGEMENT PRACTICES (BMPs) PHASE 2 IMPLEMENTATION SEQUENCING
- BEGIN MASS GRADING THE SITE. PROVIDE TEMPORARY STABILIZATION.
 - START CONSTRUCTION OF BUILDING PADS AND BUILDINGS. IMPLEMENT TEMPORARY STABILIZATION PER DETAIL D1 ON C-313.
 - INSTALL UTILITIES, STORM SEWERS, WATER SUPPLY LINES, SANITARY SEWERS, ETC.
 - INSTALL INLET PROTECTION MEASURES AT STORM SEWER INLETS AS EACH INLET STRUCTURE IS INSTALLED.
 - PREPARE SITE FOR PAVING, AND PAVE SITE.
 - COMPLETE GRADING, BUILDING CONSTRUCTION AND INSTALLATION OF PERMANENT STABILIZATION MEASURES ON ALL DISTURBED AREAS.
 - REMOVE ALL REMAINING TEMPORARY BMPs UPON APPROVAL OF MEIJER OR ITS DESIGNATED REPRESENTATIVE.
 - PERMANENTLY STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF TEMPORARY BMPs PER DETAIL D3 ON C-313.
 - UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL HYDRAULICALLY CLEAN THE STORM SEWERS TO THE SATISFACTION OF THE CITY ENGINEER. ALL SEDIMENT SHALL BE REMOVED FROM THE SYSTEM AND SHALL NOT BE FLUSHED DOWNSTREAM.
 - NOTIFY MEIJER OR ITS DESIGNATED REPRESENTATIVE OF FINAL SITE STABILIZATION.
 - CONTRACTOR TO PROVIDE STORMWATER AS-BUILTS PER CITY OF NOBLESVILLE REQUIREMENTS. SEE DETAIL B3 ON SHEET C-314 FOR DETAILS.
 - MEIJER OR ITS DESIGNATED REPRESENTATIVE SHALL SUBMIT NOTICE OF TERMINATION TO THE PERMITTING AGENCY.
 - NOTE: THE CONTRACTOR MAY COMPLETE CONSTRUCTION ACTIVITIES CONCURRENTLY PROVIDED ALL PRECEDING BMPs AND STABILIZATION ACTIVITIES HAVE BEEN COMPLETELY INSTALLED.

BENCHMARK:
 THE BASIS OF ELEVATIONS HEREON IS NAVD 88 PER OBSERVATIONS OF SELECTED STATIONS IN THE NATIONAL GEODEIC SURVEY CONTINUOUSLY OPERATING REFERENCE STATION (NGS CORs) NETWORK.
 CROSS CUT - SEE C-100 FOR LOCATION.
 ELEVATION = 820.02'

WOOLPERT
 ARCHITECTURE ENGINEERS & GEODETIC
 333 North Alabama Street
 Suite 200
 Indianapolis, IN 46204
 317.299.7500
 FAX: 317.291.5805

meijer
 2828 WALKER AVENUE
 GRAND RAPIDS, MICHIGAN 49544
 (616) 453-6711

| REV. | DATE | DESCRIPTION |
|------|----------|--------------------------|
| 1 | 06/27/24 | PC TAC COMMENTS |
| 2 | 07/24/24 | ENGINEERING TAC COMMENTS |



MEIJER STORE #628 OUTLOTS
 6010 PROMENADE SHOPS BOULEVARD
 NOBLESVILLE, INDIANA

OVERALL PHASE 2 STORMWATER
 POLLUTION PREVENTION PLAN

| | |
|---------------------|----------|
| ISSUED FOR: | |
| PERMIT | 05/22/24 |
| CONSTRUCTION RECORD | |
| PROJECT MANAGER | DESIGNER |
| BLS | ANR |

JOB NO.
10021169

C-311

A1 PHASE 2 STORMWATER POLLUTION PREVENTION PLAN
 1" = 40'

GRAPHIC SCALE IN FEET
 0 40 80 120

INDIANA 811
 Know what's below. Call before you dig.

CITY OF NOBLESVILLE AS-BUILT REQUIREMENTS:

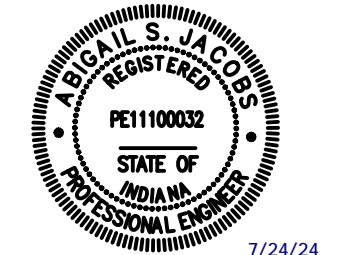
AFTER COMPLETION OF CONSTRUCTION AND BEFORE FINAL PROJECT ACCEPTANCE OF THE STORMWATER MANAGEMENT PLAN (THE ISSUANCE OF A "VERIFIED" NOT), A PROFESSIONALLY PREPARED AND CERTIFIED AS-BUILT DRAWINGS BY A PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR REGISTERED IN THE STATE OF INDIANA SHALL BE SUBMITTED TO THE CITY OF NOBLESVILLE FOR REVIEW...

- A. PIPE SIZE AND PIPE MATERIAL. B. INVERT ELEVATIONS, TOP OF CASTING ELEVATIONS, SWALE FLOW LINES, LOT ELEVATIONS, ETC. C. TOP RISE ELEVATIONS. D. PIPE STRUCTURE LENGTHS. E. BMP TYPES, DIMENSIONS, AND BOUNDARIES/EASEMENTS. F. "AS-PLANTED" PLANS FOR BMPS, AS APPLICABLE. G. DATA AND CALCULATIONS SHOWING DETENTION BASIN STORAGE VOLUME. H. DATA AND CALCULATIONS SHOWING BMP TREATMENT CAPACITY. I. CERTIFIED STATEMENT ON PLANS STATING THE COMPLETED STORM DRAINAGE SYSTEM AND STORMWATER MANAGEMENT FACILITIES SUBSTANTIALLY COMPLY WITH CONSTRUCTION PLANS AND THE STORMWATER MANAGEMENT PERMIT AS APPROVED BY THE CITY OF NOBLESVILLE.

B3 AS-BUILT REQUIREMENTS

Table with 3 columns: REV, DATE, DESCRIPTION. Row 1: 06/27/24 PC TAC COMMENTS. Row 2: 07/24/24 ENGINEERING TAC COMMENTS.

Table with 3 columns: REV, DATE, DESCRIPTION. Multiple rows for revision tracking.



7/24/24

MEIJER STORE #628 OUTLOTS 6010 PROMENADE SHOPS BOULEVARD NOBLESVILLE, INDIANA SWPPP DETAILS

Table with 2 columns: PERMIT, BID, CONSTRUCTION, RECORD. Includes dates and names (BLS, ANM).

JOB NO. 10021169

C-314

B. LARGE WASTE MATERIALS CREATED BY CUTTING, SAWING, DRILLING, OR OTHER OPERATIONS SHALL BE PROPERLY DISPOSED OF IN SUITABLE ON-SITE WASTE CONTAINERS. THE SITE SHALL BE CHECKED AT THE END OF THE DAY AT A MINIMUM... C. ALL Dewatering Activities shall be done in accordance to good erosion control practices... D. IF THE USE OF LIME IS USED TO STABILIZE THE SOIL OF THE SITE THEN ALL CONSTRUCTION EQUIPMENT USED SHALL BE CLEANED OF ALL EXCESS MATERIAL WITH WATER IN THE CONSTRUCTION STAGING AREA...

GENERAL NOTES

- 1. THE CONTRACTOR SHALL CONTROL WASTE, GARBAGE, DEBRIS, WASTEWATER, AND OTHER SUBSTANCES ON THE SITE IN SUCH A WAY THAT THEY SHALL NOT BE TRANSPORTED FROM THE CONSTRUCTION SITE... 2. PUBLIC OR PRIVATE ROADWAYS SHALL BE KEPT CLEAR OF ACCUMULATED SEDIMENT... 3. THIS EROSION CONTROL PLAN SHALL BE IMPLEMENTED ON ALL DISTURBED AREAS WITHIN THE CONSTRUCTION SITE...

A29 PROPOSED STOCKPILE LOCATION IS PROVIDED ON SHEETS C-310 - C-311. A30 PROPOSED CONSTRUCTION STAGING AREA IS SHOWN ON SHEETS C-310 - C-311. A31 THERE ARE NO IN-STREAM ACTIVITIES PROPOSED FOR THE OUTLOT DEVELOPMENTS. CONSTRUCTION COMPONENT B1 POTENTIAL POLLUTANT SOURCES DURING CONSTRUCTION ACTIVITIES INCLUDE SEDIMENT, CONCRETE WASTE WATER, TRASH, FOSIL FUELS, OIL, GREASE, PAINT, EXPOSURE OF THESE POLLUTANTS TO STORMWATER RUNOFF SHOULD BE MINIMIZED...

EROSION CONTROL MEASURES MAINTENANCE REQUIREMENTS

- A. FUELING, LUBRICATION, AND FLUIDS: ALL OPERATIONS INVOLVING THE ADDITION OF FLUIDS TO EQUIPMENT SHOULD BE DONE IN ONE LOCATION SO THAT SPILLS ARE LIMITED TO THAT SPECIFIC LOCATION... B. EQUIPMENT REPAIR, ESPECIALLY WHEN FLUIDS MUST BE REMOVED FROM THE EQUIPMENT OR THE POSSIBILITY OF FLUID SPILLS IS HIGH, SHOULD ALWAYS BE DONE OFFSITE AT A FACILITY THAT IS MORE SUITABLE THAN A CONSTRUCTION SITE...

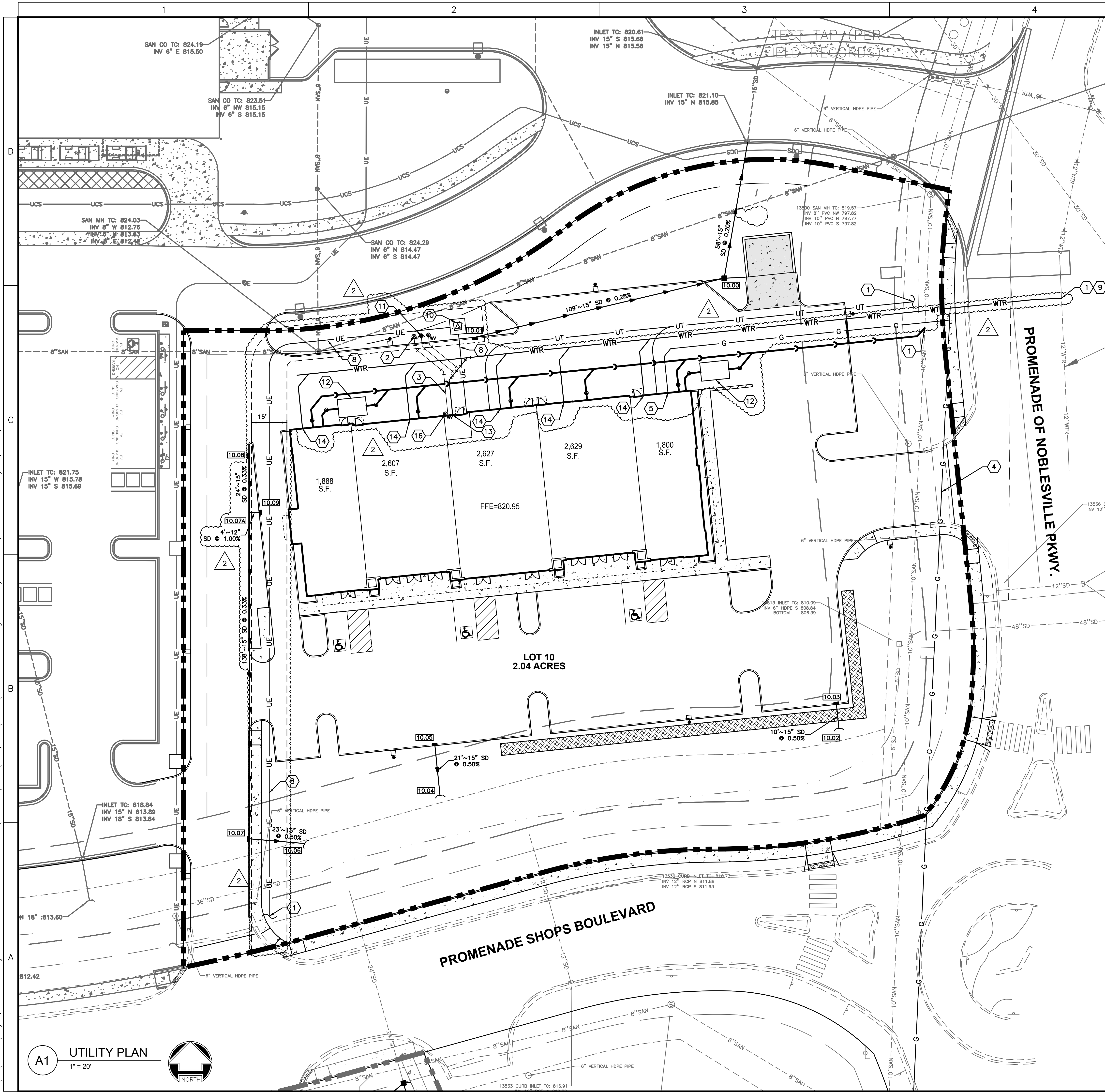
A1 PLAN INDEX ITEMS RELATED TO THE SWPPP ARE SHOWN AS NOTES ON THIS SHEET. A2 VICINITY MAP IS SHOWN ON SHEET C-001. A3 THIS PROJECT INVOLVES THE CONSTRUCTION OF THREE OUTLOT DEVELOPMENTS OF VARIOUS COMMERCIAL USES INCLUDING MEDICAL OFFICES, FAST CASUAL RESTAURANTS, AND GENERAL RETAIL... A4 LOT 10: LATITUDE N 40.044966, LONGITUDE W 86.067390... A5 PART OF BLOCKS "A" AND "B" IN THE PROMENADE SHOPS SUBDIVISION, PART OF THE SOUTHWEST 1/4 OF SECTION 34, TOWNSHIP 19 NORTH, RANGE 4 EAST OF THE 2ND PRINCIPAL MERIDIAN, HAMILTON COUNTY, INDIANA.

(B11) MONITORING AND MAINTENANCE GUIDELINES

Table with 3 columns: EROSION CONTROL MEASURE, MAINTENANCE FREQUENCY, INSTALLATION SEQUENCE. Rows include Temporary Construction Entrance, Silt Fence, Inlet Protection, Temporary Sediment Basin, Erosion Control Blanket, Seed, Sod & Landscape, Dust Control, Concrete Washout, Diversion Ditches, Rock Check Dam, Rock Donut, Rip Rap Outlet Protection, Removal of Inlet Protection, Removal of Silt Fence.

Images: \Kefs: 10021169-TBLK.dwg Layout Tab Name: C-314 Last Saved By: A.Ruebelman, 7/24/2024 10:00:59 AM G:\DE\Clients\Meijer\10021169 - Noblesville IN Outlots v.9 - Disciplines\Civil\Cadd\Prelim\10021169-ERODET.dwg Plotted By: Ruebelman, Alicia Plotted: July 25, 2024, 4:57:50 PM

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KEYNOTES

- CONNECT TO EXISTING UTILITY PER AGENCY REQUIREMENTS.
- REMOTE FIRE DEPARTMENT CONNECTION. FDC SHALL BE 5" STORZ AT 35-DEGREE DOWNWARD ANGLE AND NOT GREATER THAN 5' ABOVE FINISHED GRADE.
- FIRE DEPARTMENT CONNECTION SERVICE.
- GAS MAIN EXTENSION BY UTILITY COMPANY.
- GAS SERVICE AND METER.
- 15" STORM SEWER STUB TO FUTURE OUTLOT.
- NOT USED.
- ELECTRICAL SERVICE.
- CONTRACTOR TO VERIFY LOCATION OF WATER MAIN PRIOR TO START OF CONSTRUCTION.
- ELECTRIC TRANSFORMER PER UTILITY COMPANY REQUIREMENT.
- PROPOSED PRIVATE FIRE HYDRANT. ALL PROPOSED FIRE HYDRANTS SHALL BE FACTORY PAINTED IN THE COLOR "SAFETY RED" OR EQUIVALENT. SEE FIRE HYDRANT SPECIFICATIONS ON SHEET C-704 FOR ADDITIONAL DETAILS.
- GREASE INTERCEPTOR WITH SAMPLING BOX. SEE NCS SHEET 15 OF 29 AND ARCHITECTURAL PLANS FOR DETAILS.
- FIRE SERVICE ENTRANCE.
- DOMESTIC SERVICE ENTRANCE.
- IRRIGATION SERVICE ENTRANCE.
- WALL-MOUNTED POST INDICATOR VALVE WITH CONDUIT FOR FIRE DEPARTMENT MONITORING. SEE PLUMBING PLANS FOR ADDITIONAL DETAILS.
- NOT USED.
- PROVIDE 24" VERTICAL SEPARATION BETWEEN STORM/SANITARY CROSSING.

GENERAL NOTES

- VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- UTILITIES SHALL END 5 FEET FROM THE BUILDING UNLESS NOTED OTHERWISE.
- PROTECT AND MAINTAIN CROSSINGS OF OTHER UTILITIES.
- ALL DIMENSIONS ARE TO COLUMN LINE, CENTERLINE OF PIPE, CENTER OF MANHOLE, EDGE OF PAVEMENT OR BACK OF CURB WHERE APPLICABLE. DIMENSIONS TO COLUMN LINE ASSUME 9" THICK BUILDING WALL.
- ALL MATERIAL, SPECIFICATIONS, AND CONSTRUCTION METHODS SHALL BE IN CONFORMANCE WITH MEIJER STANDARD SPECIFICATIONS AND DETAILS AND THE CITY OF NOBLESVILLE.
- CONTRACTOR SHALL PERFORM FULL DEPTH REMOVAL AND REPLACEMENT OF EXISTING PAVEMENT PER MEIJER REQUIREMENTS AT PROPOSED UTILITIES INSTALLATION IN EXISTING PAVED AREAS.
- BEFORE COMMENCING WORK, CONTRACTOR SHALL VERIFY ALL LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES.

LEGEND

| | | | |
|------------|----------------------|---------|-------------------------------|
| ■ | CATCH BASIN | — WTR — | WATER SERVICE |
| — | CURB INLET | ▲ | FIRE HYDRANT |
| ● | MANHOLE | ⊕ | WATER VALVE |
| ○ | CLEANOUT | ⊕ | TEE |
| XX'~XX" SD | STORM SEWER | — G — | GAS SERVICE |
| --- | UNDERDRAIN | — UT — | UNDERGROUND TELEPHONE SERVICE |
| ⊠ | STORM STRUCTURE I.D. | — UE — | UNDERGROUND ELECTRIC SERVICE |
| — | SANITARY SEWER | □ | LIGHT POLE |
| ⊠ | SANITARY SEWER I.D. | | |

SANITARY SEWER NOTES

- ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.

GAS NOTES

- GAS COMPANY WILL PROVIDE GAS MAIN EXTENSION, SERVICE TAP, METER, REGULATOR, AND INSTALL THE NEW SERVICE LINE TO THE METER.

WATER NOTES

- INSTALL WATER MAIN WITH A MINIMUM OF 5 FEET OF COVER.
- ON SITE HYDRANTS SHALL FACE THE BUILDING.
- PROVIDE A MINIMUM OF EIGHTEEN (18) INCHES OF VERTICAL SEPARATION AND TEN (10) FEET OF HORIZONTAL SEPARATION BETWEEN THE WATER MAIN AND ALL SANITARY AND STORM SEWERS.
- PROVIDE THRUST BLOCKS AT ALL WATER MAIN BENDS, PLUGS AND TEES IF REQUIRED BY MUNICIPALITY.
- HYDRANTS LOCATED IN CURB ISLAND OR GREEN SPACE SHALL BE LOCATED 5' FROM BACK OF CURB OR EDGE OF PAVEMENT (TYP.).
- INSTALL CONCRETE PADS FOR ALL HYDRANT VALVES IN NON-PAVED AREAS.
- EXISTING WATER MAINS AND ALL HYDRANTS REQUIRE TESTING. CONTRACTOR TO COORDINATE WITH COUNTY.

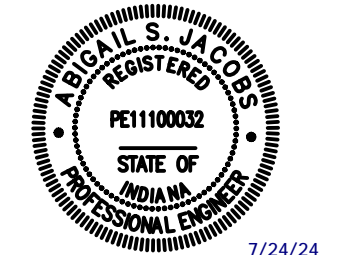
STORM SEWER NOTES

- INSTALL UNDERDRAINS AT ALL PROPOSED CATCH BASINS.
- ALL UNDERDRAINS ARE 4" DIAMETER AT MINIMUM SLOPE OF 0.50% UNLESS OTHERWISE NOTED.
- END SECTIONS ARE INCLUDED IN PIPE LENGTHS SHOWN.
- PROVIDE INLET FILTER FOR ALL CATCH BASIN INLETS.
- PROVIDE RIP RAP AT ALL END SECTIONS UNLESS OTHERWISE NOTED.

WOOLPERT
 ARCHITECTURE ENGINEERING & SURVEYING
 333 North Alabama Street
 Suite 200
 Indianapolis, IN 46204
 317.299.7500
 FAX: 317.291.5805

meijer
 2828 WALKER AVENUE
 GRAND RAPIDS, MICHIGAN 49544
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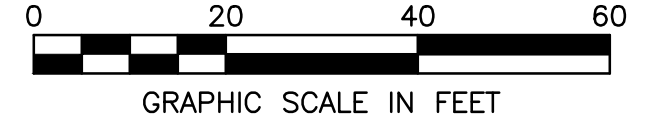


MEIJER STORE #628 OUTLOTS
 6010 PROMENADE SHOPS BOULEVARD
 NOBLESVILLE, INDIANA

UTILITY PLAN
LOT 10

| | |
|-----------------|----------|
| ISSUED FOR: | |
| PERMIT | 05/22/24 |
| BID | |
| CONSTRUCTION | |
| RECORD | |
| PROJECT MANAGER | DESIGNER |
| BLS | ANR |

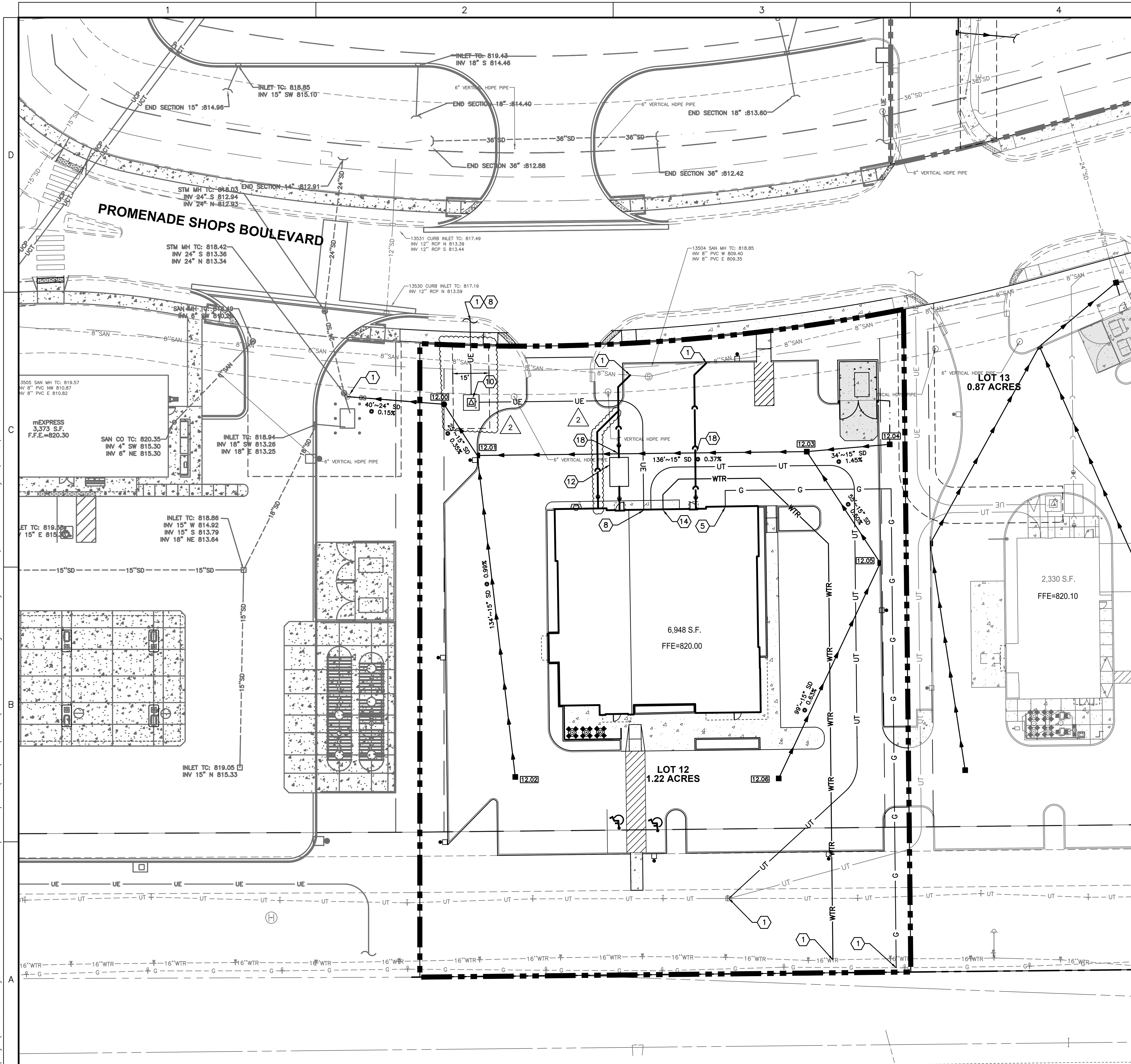
JOB NO.
10021169



A1 **UTILITY PLAN**
 1" = 20'

C-401

Images: .\Xrefs: 10021169-TBLX.dwg; 10021169-p.dwg; 10021169-x-nbv survey.dwg; 10021169-UTL-NOTES.dwg
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KEYNOTES

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- REMOTE FIRE DEPARTMENT CONNECTION. FDC SHALL BE 5" STORZ AT 35-DEGREE DOWNWARD ANGLE AND NOT GREATER THAN 5' ABOVE FINISHED GRADE.
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- GAS SERVICE AND METER.
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- GREASE INTERCEPTOR WITH SAMPLING BOX. SEE NCS SHEET 15 OF 29 AND ARCHITECTURAL PLANS FOR DETAILS.
- FIRE SERVICE ENTRANCE.
- DOMESTIC SERVICE ENTRANCE.
- IRRIGATION SERVICE ENTRANCE.
- WALL-MOUNTED POST INDICATOR VALVE WITH CONDUIT FOR FIRE DEPARTMENT MONITORING. SEE PLUMBING PLANS FOR ADDITIONAL DETAILS.
- NOT USED.
- PROVIDE 24" VERTICAL SEPARATION BETWEEN STORM/SANITARY CROSSING.

GENERAL NOTES

- VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
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- PROTECT AND MAINTAIN CROSSINGS OF OTHER UTILITIES.
- ALL DIMENSIONS ARE TO COLUMN LINE, CENTERLINE OF PIPE, CENTER OF MANHOLE, EDGE OF PAVEMENT OR BACK OF CURB WHERE APPLICABLE. DIMENSIONS TO COLUMN LINE ASSUME 9" THICK BUILDING WALL.
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LEGEND

- CATCH BASIN
- CURB INLET
- MANHOLE
- CLEANOUT
- XX'-YY" SD STORM SEWER
- UNDERDRAIN
- STORM STRUCTURE I.D.
- SANITARY SEWER
- SANITARY SEWER I.D.
- WTR WATER SERVICE
- ▲ FIRE HYDRANT
- ⊕ WATER VALVE
- ⊕ TEE
- GAS SERVICE
- UNDERGROUND TELEPHONE SERVICE
- UNDERGROUND ELECTRIC SERVICE
- LIGHT POLE

SANITARY SEWER NOTES

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GAS NOTES

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WATER NOTES

- INSTALL WATER MAIN WITH A MINIMUM OF 5 FEET OF COVER.
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- ALL UNDERDRAINS ARE 4" DIAMETER AT MINIMUM SLOPE OF 0.50% UNLESS OTHERWISE NOTED.
- END SECTIONS ARE INCLUDED IN PIPE LENGTHS SHOWN.
- PROVIDE INLET FILTER FOR ALL CATCH BASIN INLETS.
- PROVIDE RIP RAP AT ALL END SECTIONS UNLESS OTHERWISE NOTED.

WOOLPERT
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 333 North Alabama Street
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MEIJER STORE #628 OUTLOTS
 6010 PROMENADE SHOPS BOULEVARD
 NOBLESVILLE, INDIANA

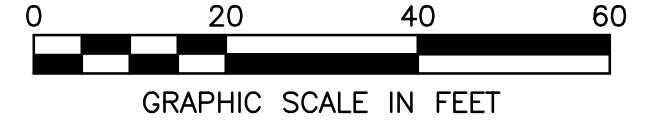
UTILITY PLAN
LOT 12

| | |
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| ISSUED FOR: | |
| PERMIT | 05/22/24 |
| BID | |
| CONSTRUCTION | |
| RECORD | |
| PROJECT MANAGER | DESIGNER |
| BLS | ANR |

JOB NO.
10021169

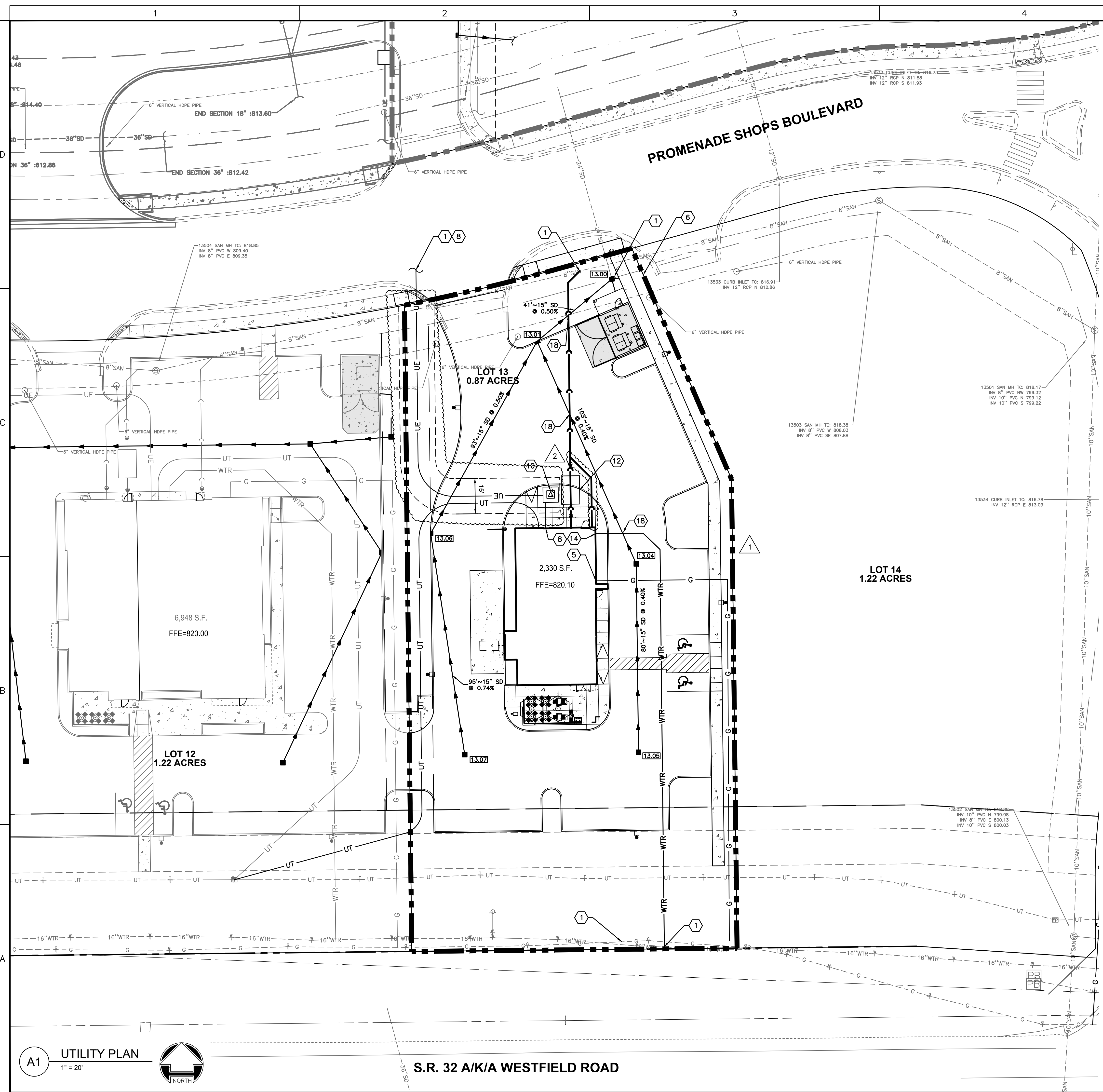
C-402

A1 **UTILITY PLAN**
 1" = 20'



S.R. 32 A/K/A WESTFIELD ROAD

Images: .\Xrefs: 10021169-TBLX.dwg; 10021169-p.dwg; 10021169-x-NB survey.dwg; 10021169-UTL-NOTES.dwg
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KEYNOTES

- CONNECT TO EXISTING UTILITY PER AGENCY REQUIREMENTS.
- REMOTE FIRE DEPARTMENT CONNECTION. FDC SHALL BE 5' STORZ AT 35-DEGREE DOWNWARD ANGLE AND NOT GREATER THAN 5' ABOVE FINISHED GRADE.
- FIRE DEPARTMENT CONNECTION SERVICE.
- GAS MAIN EXTENSION BY UTILITY COMPANY.
- GAS SERVICE AND METER.
- 15" STORM SEWER STUB TO FUTURE OUTLOT.
- NOT USED.
- ELECTRICAL SERVICE.
- CONTRACTOR TO VERIFY LOCATION OF WATER MAIN PRIOR TO START OF CONSTRUCTION.
- ELECTRIC TRANSFORMER PER UTILITY COMPANY REQUIREMENT.
- PROPOSED PRIVATE FIRE HYDRANT. ALL PROPOSED FIRE HYDRANTS SHALL BE FACTORY PAINTED IN THE COLOR "SAFETY RED" OR EQUIVALENT. SEE FIRE HYDRANT SPECIFICATIONS ON SHEET C-704 FOR ADDITIONAL DETAILS.
- GREASE INTERCEPTOR WITH SAMPLING BOX. SEE NCS SHEET 15 OF 29 AND ARCHITECTURAL PLANS FOR DETAILS.
- FIRE SERVICE ENTRANCE.
- DOMESTIC SERVICE ENTRANCE.
- IRRIGATION SERVICE ENTRANCE.
- WALL-MOUNTED POST INDICATOR VALVE WITH CONDUIT FOR FIRE DEPARTMENT MONITORING. SEE PLUMBING PLANS FOR ADDITIONAL DETAILS.
- NOT USED.
- PROVIDE 24" VERTICAL SEPARATION BETWEEN STORM/SANITARY CROSSING.

GENERAL NOTES

- VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- UTILITIES SHALL END 5 FEET FROM THE BUILDING UNLESS NOTED OTHERWISE.
- PROTECT AND MAINTAIN CROSSINGS OF OTHER UTILITIES.
- ALL DIMENSIONS ARE TO COLUMN LINE, CENTERLINE OF PIPE, CENTER OF MANHOLE, EDGE OF PAVEMENT OR BACK OF CURB WHERE APPLICABLE. DIMENSIONS TO COLUMN LINE ASSUME 9" THICK BUILDING WALL.
- ALL MATERIAL, SPECIFICATIONS, AND CONSTRUCTION METHODS SHALL BE IN CONFORMANCE WITH MEIER STANDARD SPECIFICATIONS AND DETAILS AND THE CITY OF NOBLESVILLE.
- CONTRACTOR SHALL PERFORM FULL DEPTH REMOVAL AND REPLACEMENT OF EXISTING PAVEMENT PER MEIER REQUIREMENTS AT PROPOSED UTILITIES INSTALLATION IN EXISTING PAVED AREAS.
- BEFORE COMMENCING WORK, CONTRACTOR SHALL VERIFY ALL LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES.

LEGEND

| | | | |
|------------|----------------------|---------|-------------------------------|
| ■ | CATCH BASIN | — WTR — | WATER SERVICE |
| — | CURB INLET | ▲ | FIRE HYDRANT |
| ● | MANHOLE | ⊕ | WATER VALVE |
| ○ | CLEANOUT | ⊕ | TEE |
| XX'~XX' SD | STORM SEWER | — G — | GAS SERVICE |
| --- | UNDERDRAIN | — UT — | UNDERGROUND TELEPHONE SERVICE |
| XX | STORM STRUCTURE I.D. | — UE — | UNDERGROUND ELECTRIC SERVICE |
| — | SANITARY SEWER | □ □ | LIGHT POLE |
| — | SANITARY SEWER I.D. | | |

SANITARY SEWER NOTES

- ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.

GAS NOTES

- GAS COMPANY WILL PROVIDE GAS MAIN EXTENSION, SERVICE TAP, METER, REGULATOR, AND INSTALL THE NEW SERVICE LINE TO THE METER.

WATER NOTES

- INSTALL WATER MAIN WITH A MINIMUM OF 5 FEET OF COVER.
- ON SITE HYDRANTS SHALL FACE THE BUILDING.
- PROVIDE A MINIMUM OF EIGHTEEN (18) INCHES OF VERTICAL SEPARATION AND TEN (10) FEET OF HORIZONTAL SEPARATION BETWEEN THE WATER MAIN AND ALL SANITARY AND STORM SEWERS.
- PROVIDE THRUST BLOCKS AT ALL WATER MAIN BENDS, PLUGS AND TEES IF REQUIRED BY MUNICIPALITY.
- HYDRANTS LOCATED IN CURB ISLAND OR GREEN SPACE SHALL BE LOCATED 5' FROM BACK OF CURB OR EDGE OF PAVEMENT (TYP.).
- INSTALL CONCRETE PADS FOR ALL HYDRANT VALVES IN NON-PAVED AREAS.
- EXISTING WATER MAINS AND ALL HYDRANTS REQUIRE TESTING. CONTRACTOR TO COORDINATE WITH COUNTY.

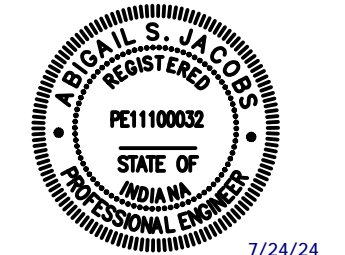
STORM SEWER NOTES

- INSTALL UNDERDRAINS AT ALL PROPOSED CATCH BASINS.
- ALL UNDERDRAINS ARE 4" DIAMETER AT MINIMUM SLOPE OF 0.50% UNLESS OTHERWISE NOTED.
- END SECTIONS ARE INCLUDED IN PIPE LENGTHS SHOWN.
- PROVIDE INLET FILTER FOR ALL CATCH BASIN INLETS.
- PROVIDE RIP RAP AT ALL END SECTIONS UNLESS OTHERWISE NOTED.

WOOLPERT
 ARCHITECTURE ENGINEERING & SURVEYING
 333 North Alabama Street
 Suite 200
 Indianapolis, IN 46204
 317.299.7500
 FAX: 317.291.5805

meijer
 2828 WALKER AVENUE
 GRAND RAPIDS, MICHIGAN 49544
 (616) 453-6711

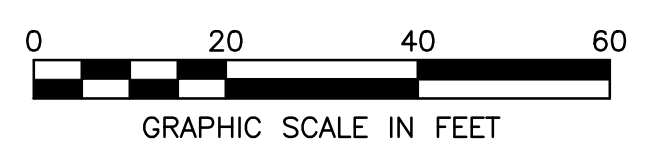
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| 2 | 07/24/24 | ENGINEERING TAC COMMENTS |



MEIJER STORE #628 OUTLOTS
 6010 PROMENADE SHOPS BOULEVARD
 NOBLESVILLE, INDIANA

UTILITY PLAN
LOT 13

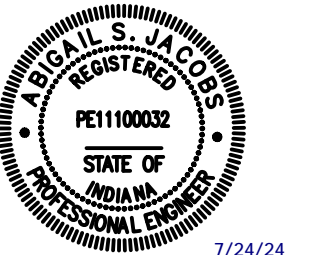
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| CONSTRUCTION | |
| RECORD | |
| PROJECT MANAGER | DESIGNER |
| BLS | ANR |
| JOB NO. 10021169 | |
| C-403 | |



A1 **UTILITY PLAN**
 1" = 20'

S.R. 32 A/K/A WESTFIELD ROAD

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|------|----------|--------------------------|
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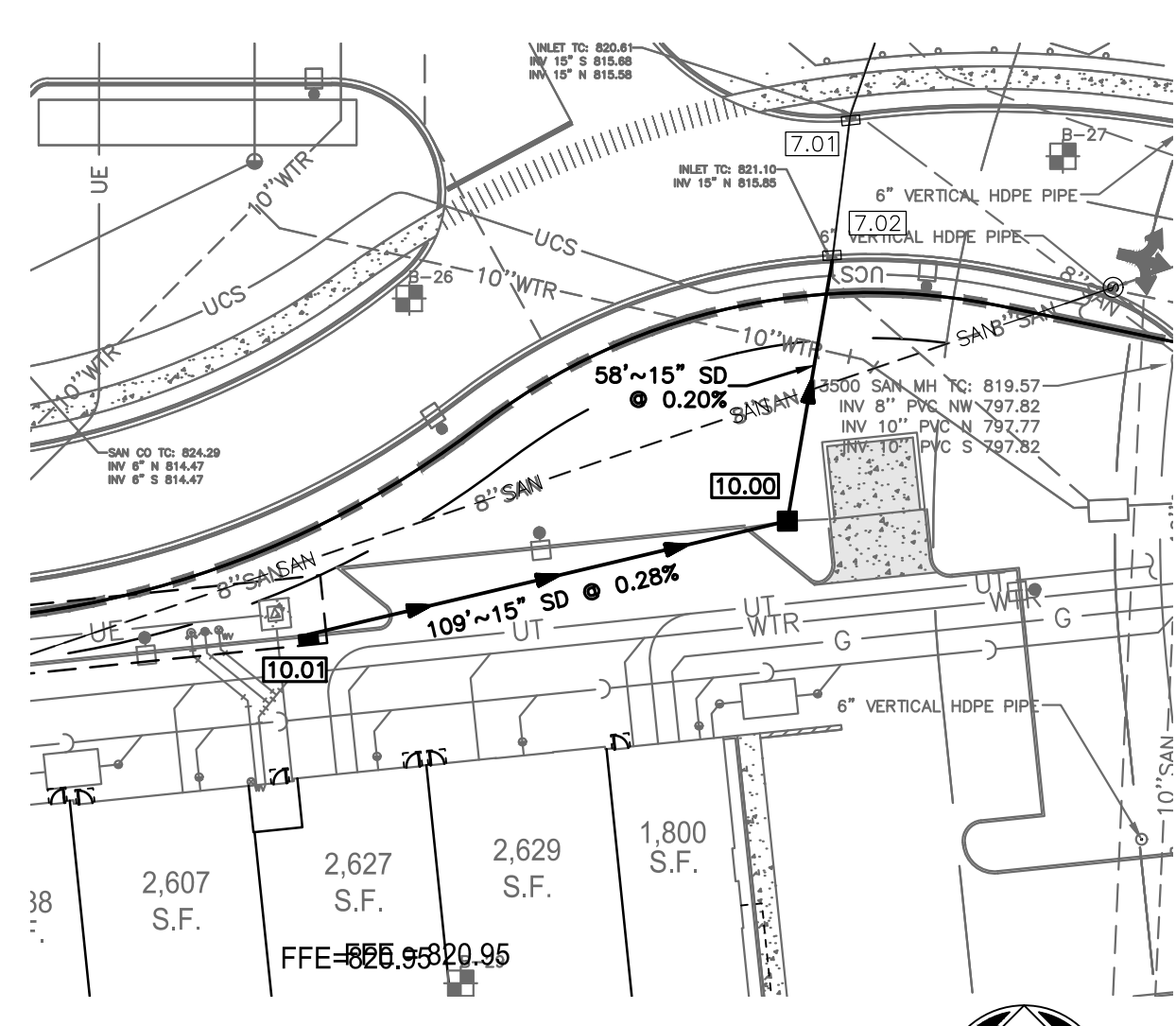
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6010 PROMENADE SHOPS BOULEVARD
NOBLESVILLE, INDIANA

STORM SEWER PROFILES
LOT 10

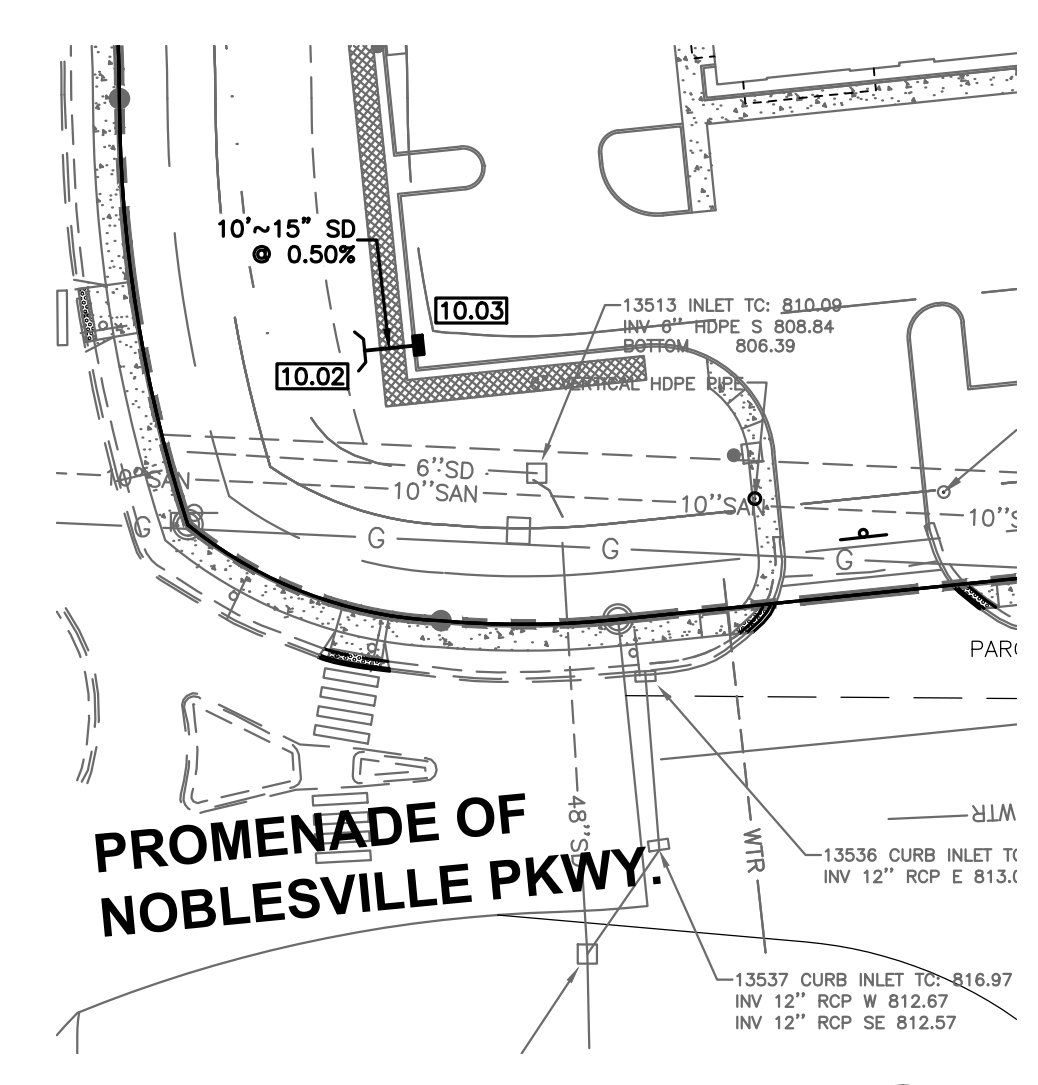
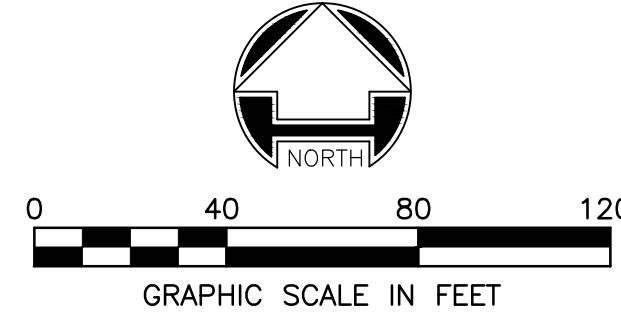
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| RECORD | |
| PROJECT MANAGER | DESIGNER |
| BLS | ANR |

JOB NO.
10021169

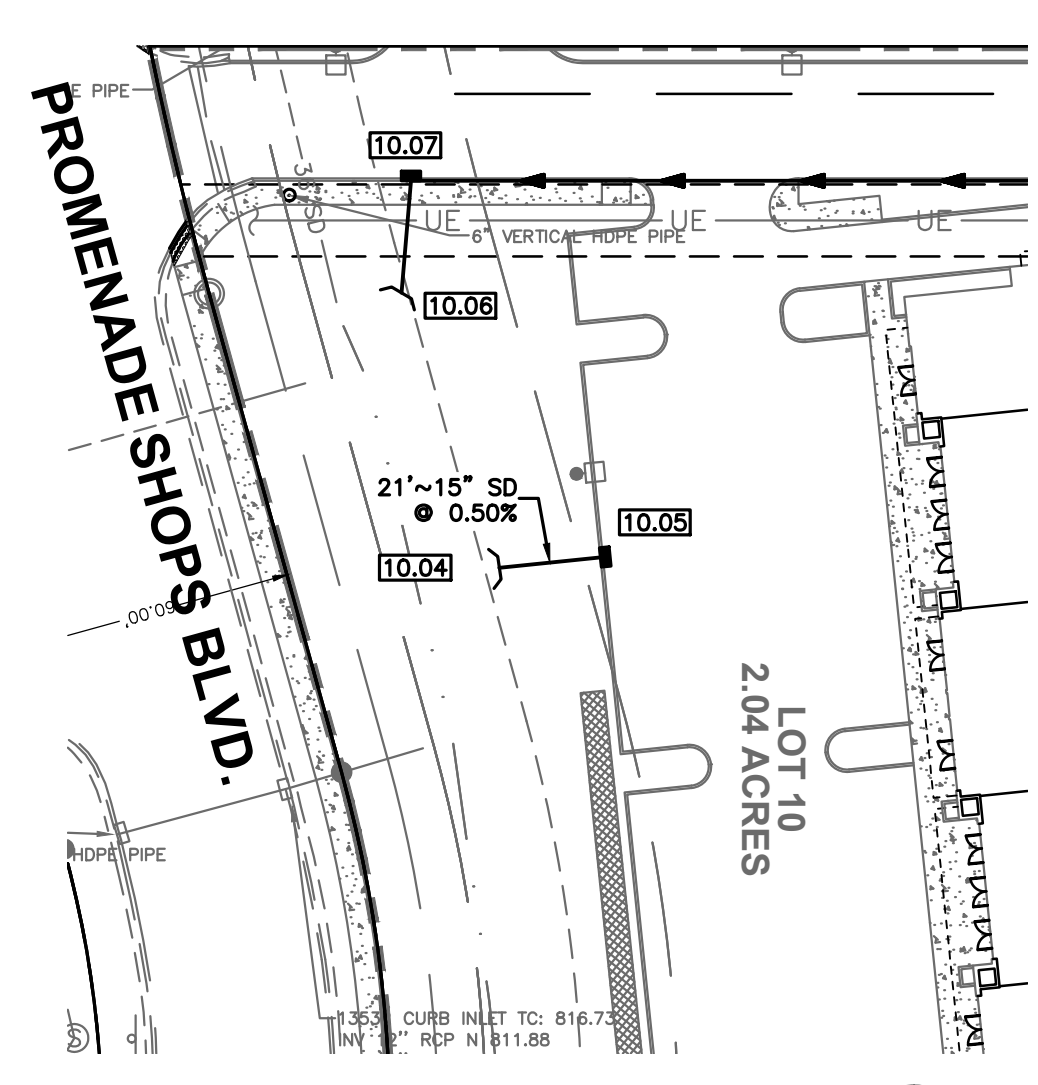
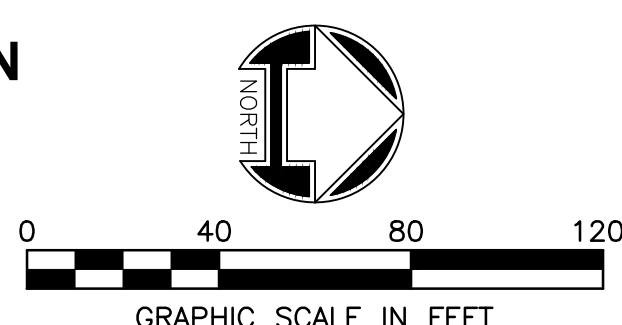
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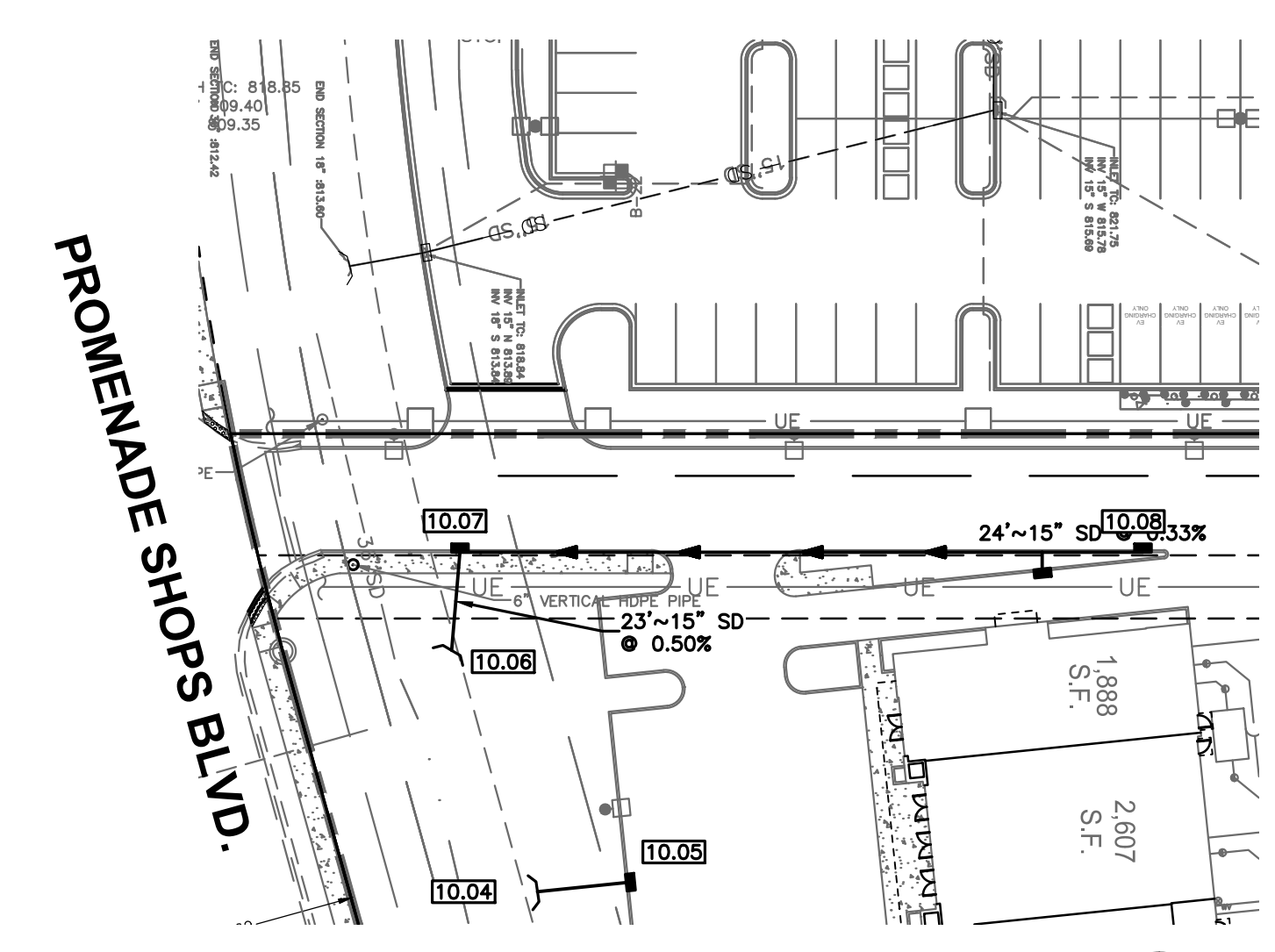
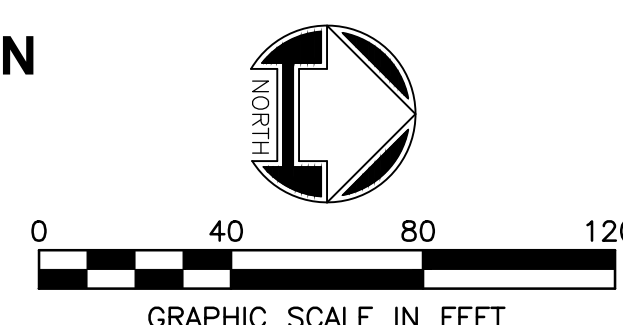
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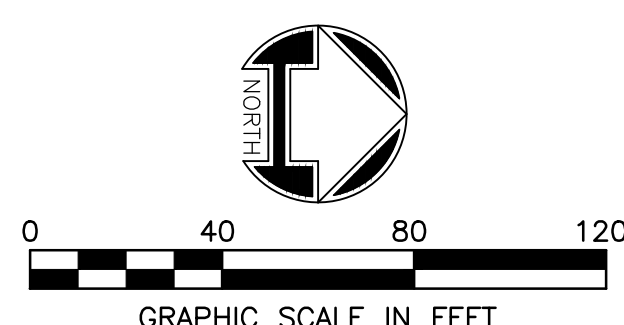
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PLAN



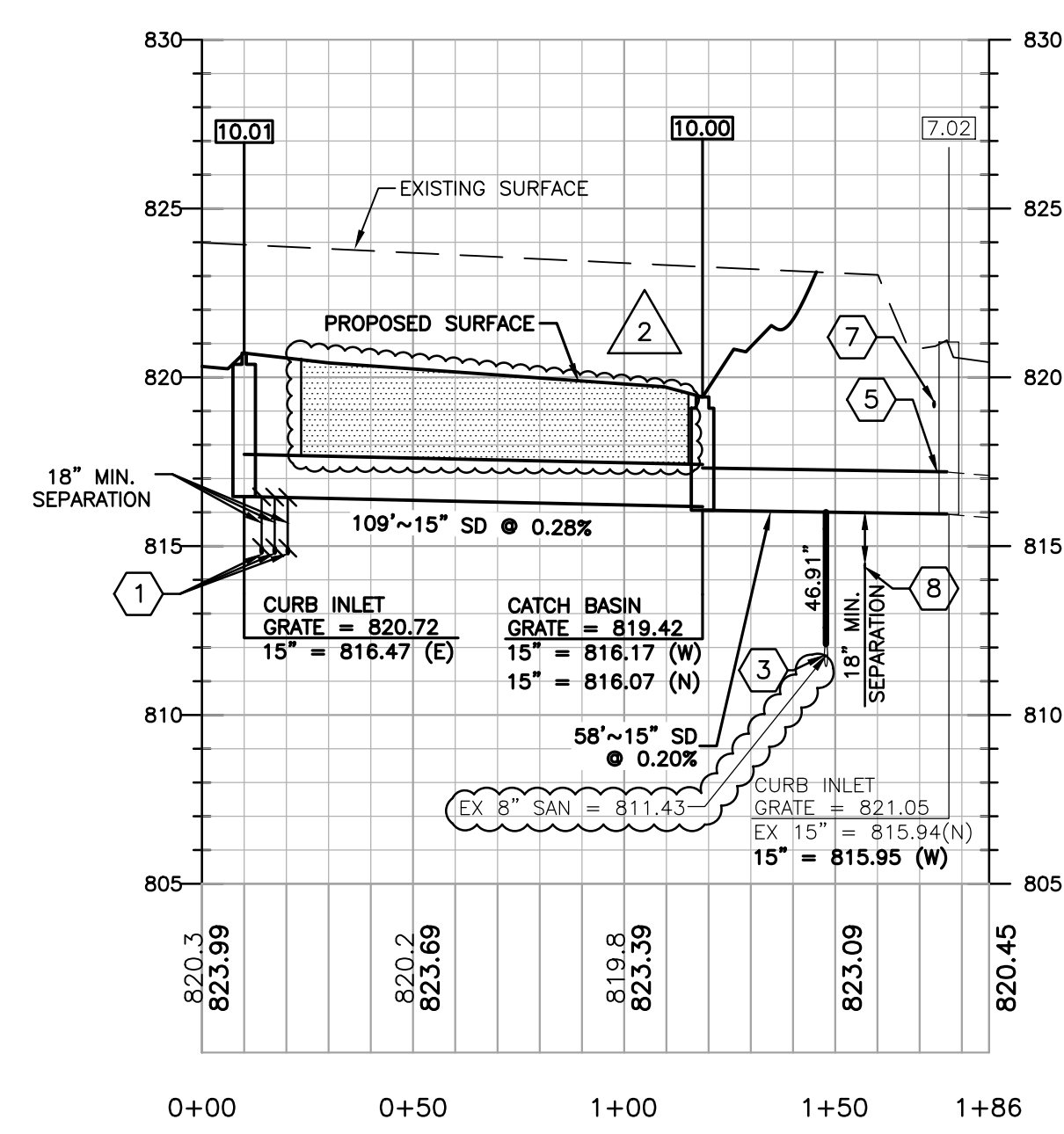
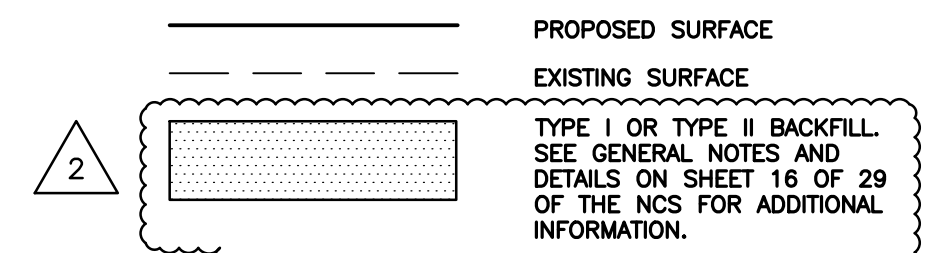
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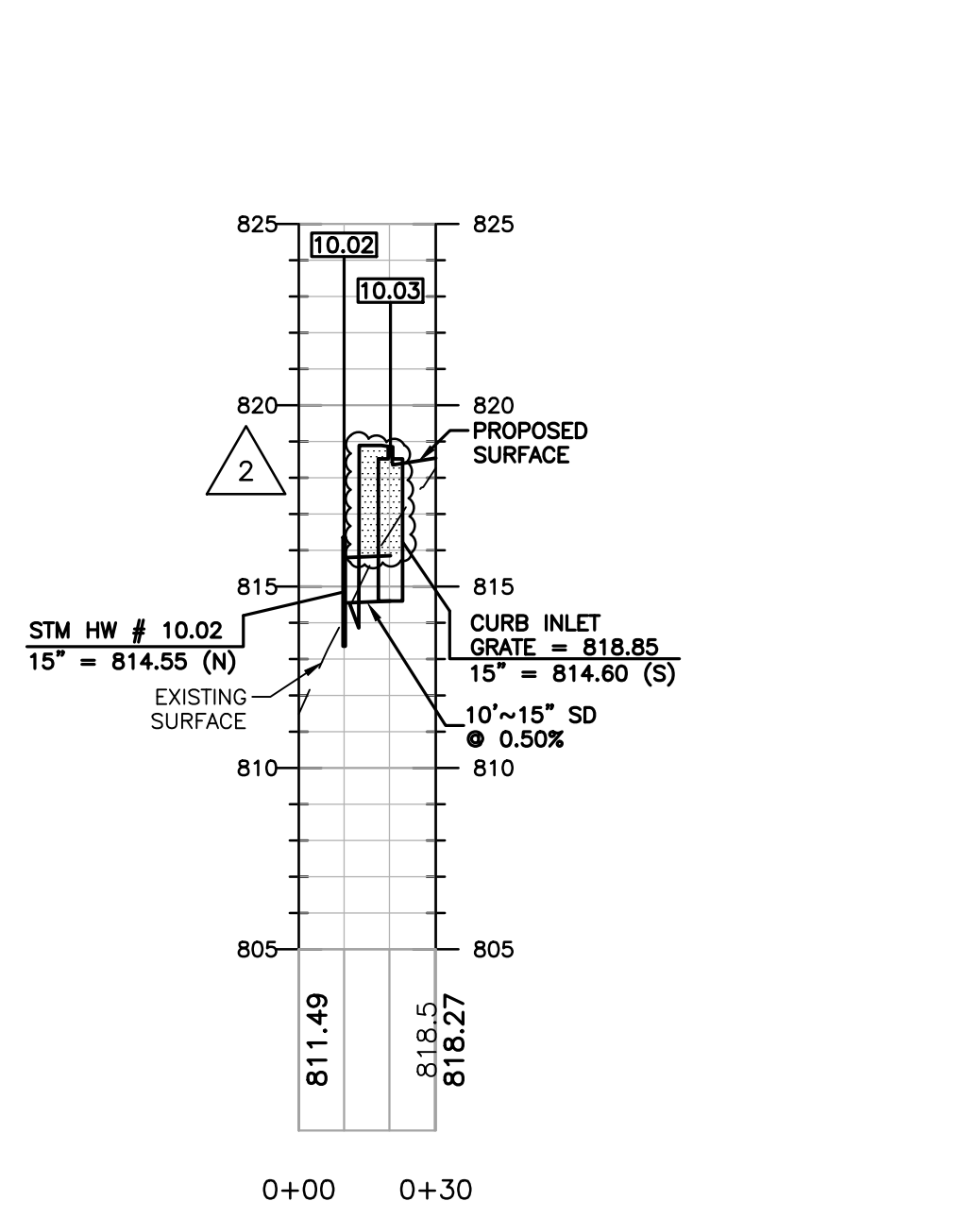
KEYNOTES

1. PROPOSED WATER SERVICE CROSSING
2. PROPOSED GAS LINE CROSSING
3. EXISTING 8" SANITARY SEWER CROSSING
4. PROPOSED ELECTRIC SERVICE CROSSING
5. CONNECT TO EXISTING STORM SYSTEM PER AGENCY REQUIREMENTS
6. PROPOSED 6" SANITARY LATERAL CROSSING
7. PROPOSED TELECOM CROSSING
8. EXISTING WATER SERVICE CROSSING

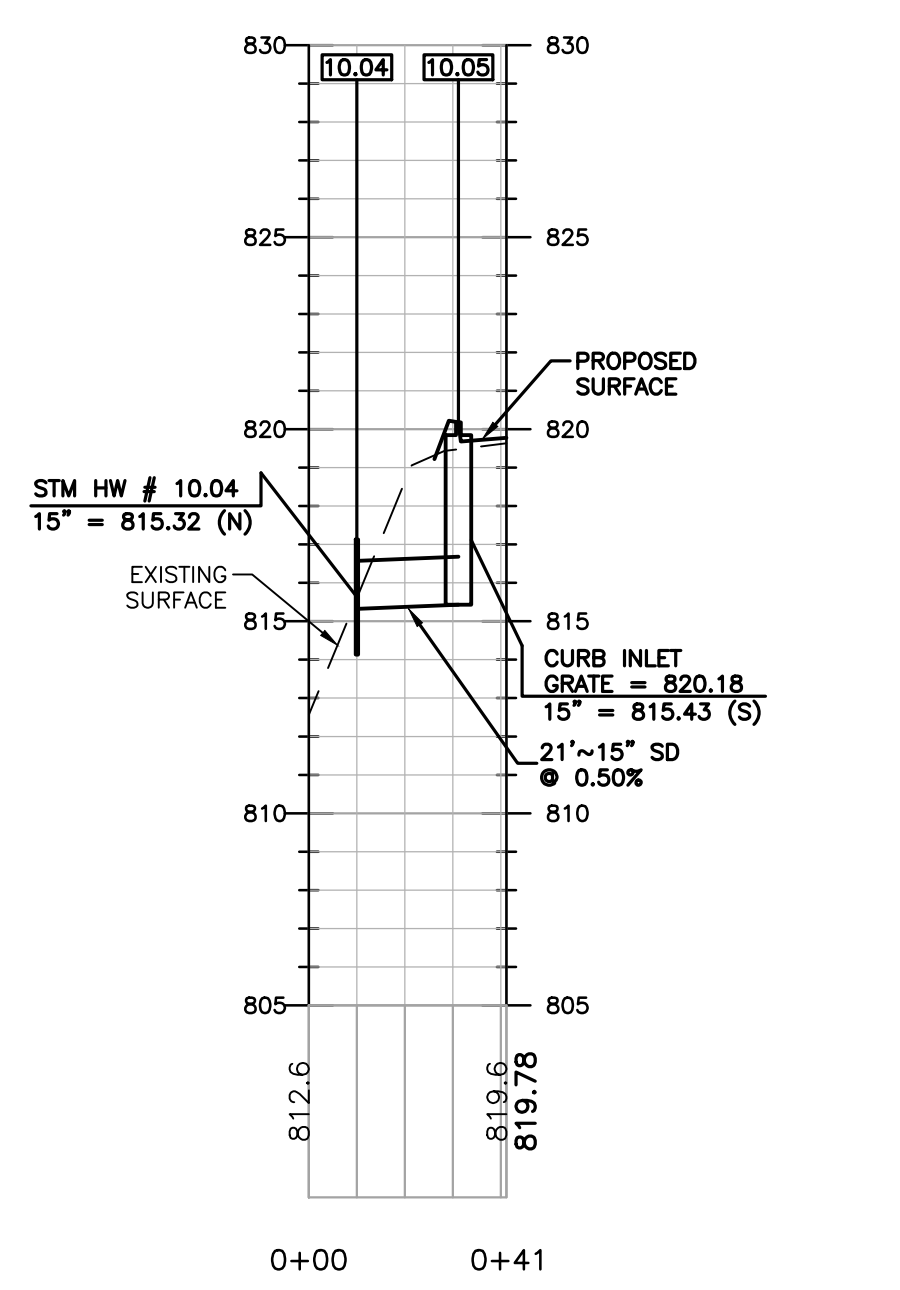
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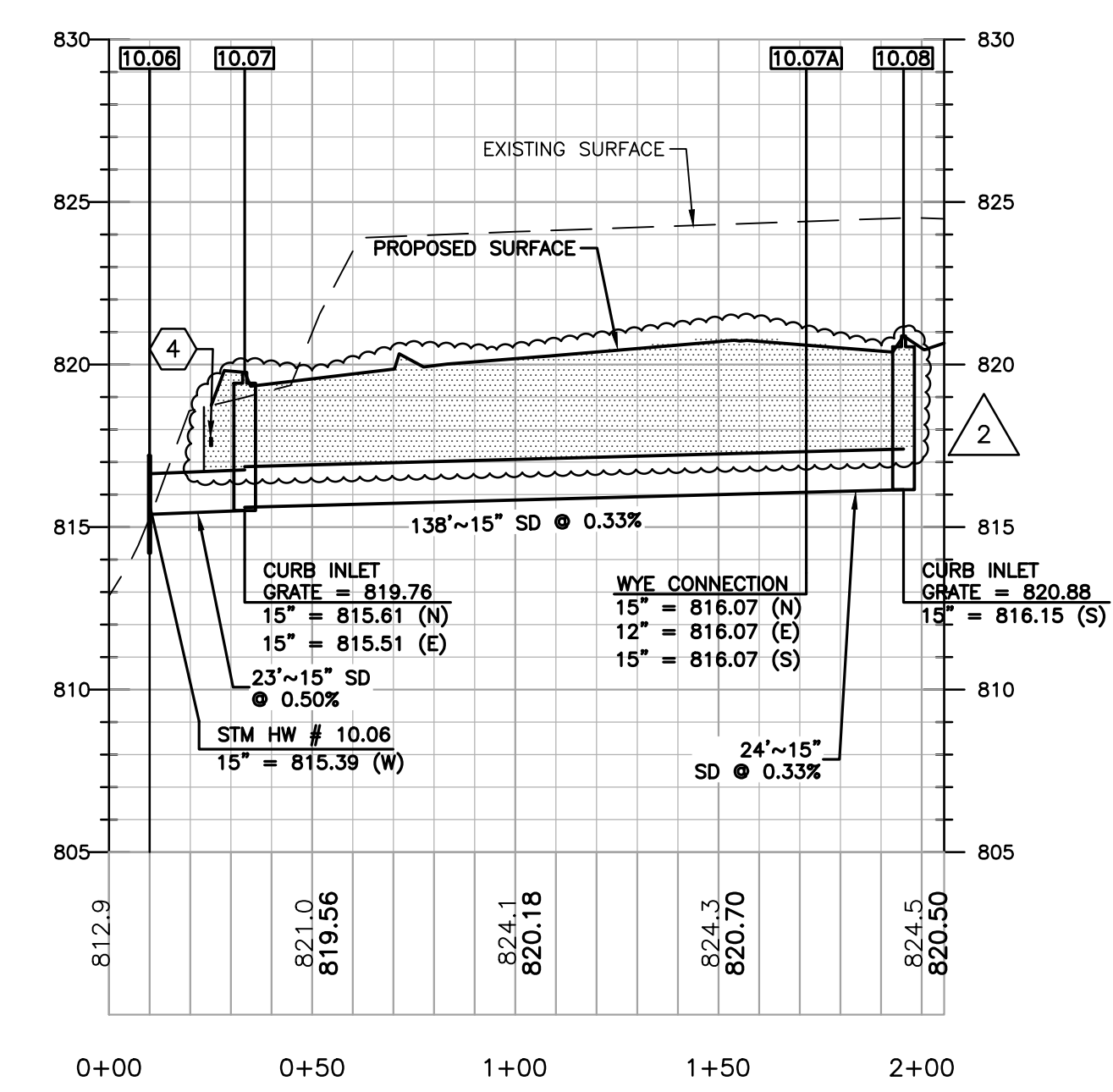
STM 10.01 - EX. STM 7.02



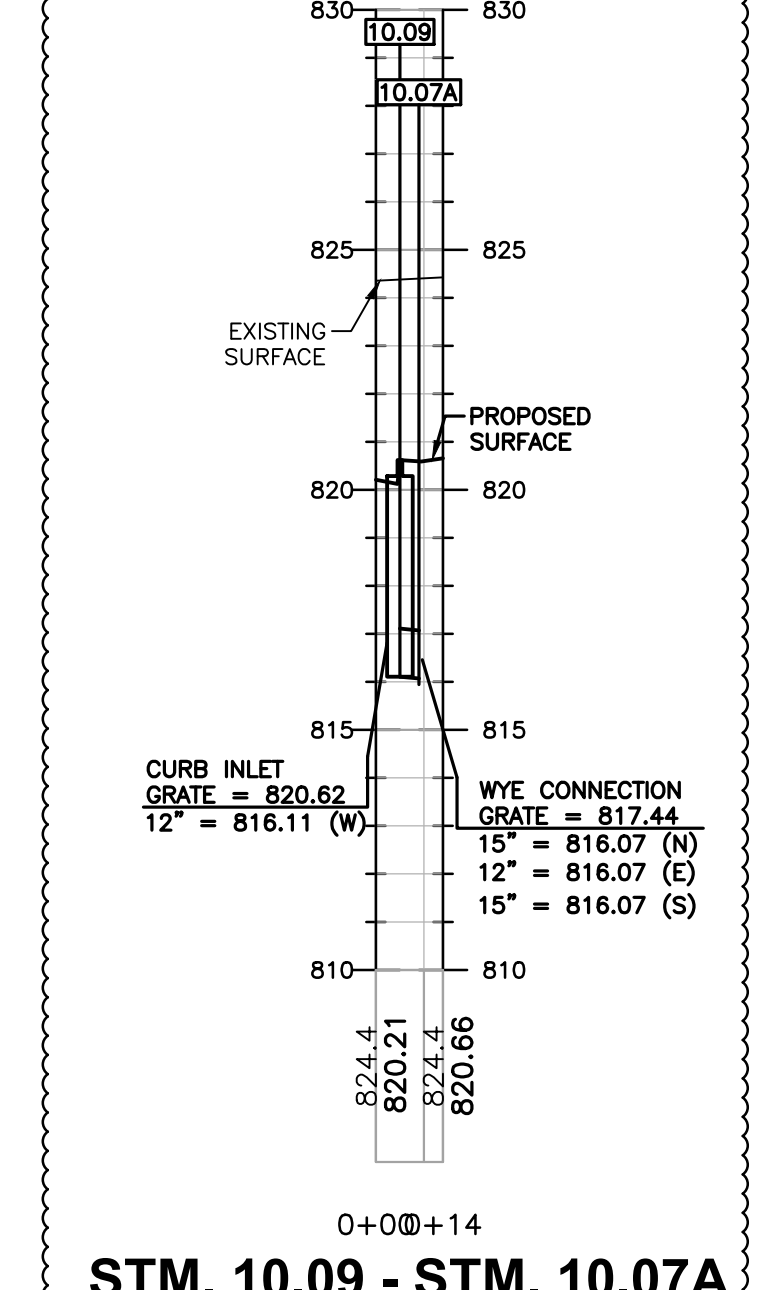
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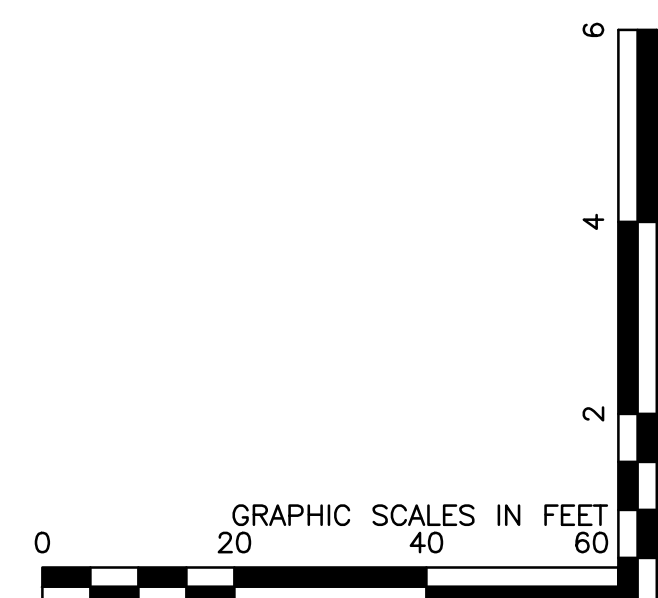
STM 10.04 - STM 10.05



STM 10.06 - STM 10.08



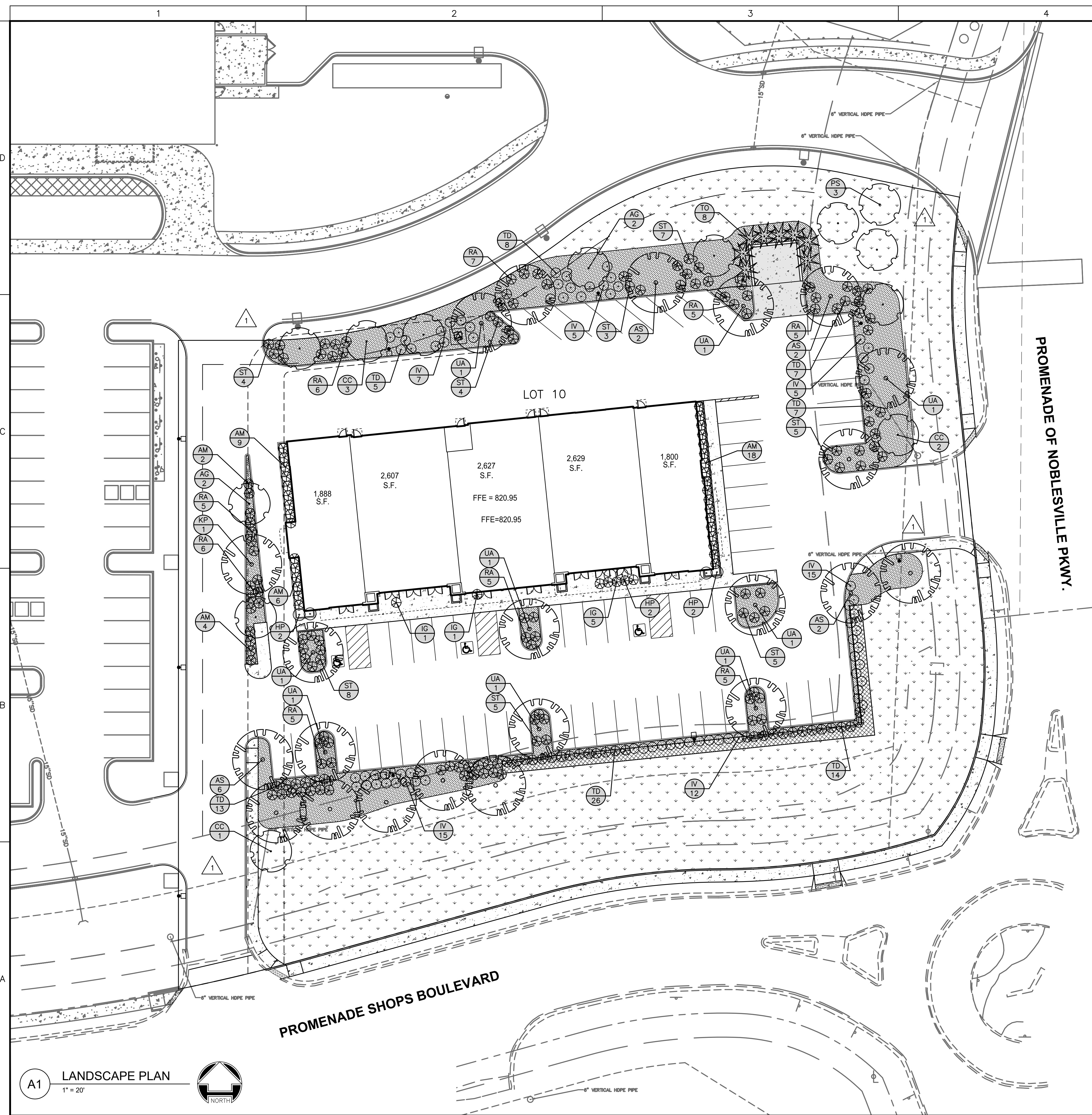
STM. 10.09 - STM. 10.07A



A1 STORM SEWER PROFILES
1" = 40' HORIZONTAL, 1" = 5' VERTICAL

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LANDSCAPE NOTES

- COORDINATE PLACEMENT OF PLANTS WITH UTILITY LOCATIONS AND SIGHT LINES TO BUILDING. MAKE ADJUSTMENTS AS REQUIRED TO AVOID PLANTING OVER THE UTILITIES AND/OR WITHIN SIGHT LINES TO ALL MEIJER BUILDING SIGNAGE.
- THE CENTER OF LARGE ISLANDS IS TO BE SIX INCHES HIGHER THAN TOP OF CURB. ENSURE ALL ISLANDS ARE SLOPED FOR POSITIVE DRAINAGE.
- ALL AREAS THAT REQUIRE SEEDING SHALL RECEIVE 4" MINIMUM TOPSOIL, UNLESS NOTED OTHERWISE.
- SEED ALL AREAS INDICATED ON THE LANDSCAPE PLAN, THE SOIL EROSION CONTROL PLAN AND ALL DISTURBED AREA. REVIEW AREAS OF SEEDING WITH CONSTRUCTION MANAGER PRIOR TO ANY SEEDING. ANY AREAS DISTURBED BY THE CONTRACTOR WHICH ARE BEYOND THE LIMITS OF GRADING AND EARTHWORK SHALL BE SEEDED AT NO ADDITIONAL COST TO THE OWNER.
- TOPSOIL SHALL BE TESTED AND AMENDED AS NECESSARY DURING FINAL GRADING AND PREPARATION FOR SEEDING BY CONTRACTOR.
- APPLY STARTER FERTILIZER (16-32-4) AT 250 POUNDS/ACRE TO SEEDED AREAS.
- ALL LANDSCAPE ISLANDS SHALL BE NATURAL COLOR, DYE-FREE, 3" DEEP SHREDDED HARDWOOD MULCH EXCEPT AS NOTED. PLACE MULCH OVER WEED BARRIER FABRIC AND TREAT WITH PRE-EMERGENT HERBICIDE.
- SEE SHEET C-602 FOR PLANT SCHEDULE.
- ALL LANDSCAPING SHALL BE INSTALLED A MINIMUM OF 4' FROM THE EDGE OF PAVEMENT WHERE A VEHICLE WILL OVERHANG A LANDSCAPE BED.

LAWN AREA SEED MIXTURE (TYPE A)

| COMMON NAME | PROPT BY WEIGHT | PERCENT PURITY | PERCENT GERMINATION |
|---------------------|-----------------|----------------|---------------------|
| KENTUCKY BLUE GRASS | 20% | 95% | 85% |
| TALL FESCUE | 70% | 95% | 85% |
| PERENNIAL RYE GRASS | 10% | 95% | 85% |

APPLICATION RATE: 8 LBS/1000 FT²

NON-LAWN AREA (TYPE B)

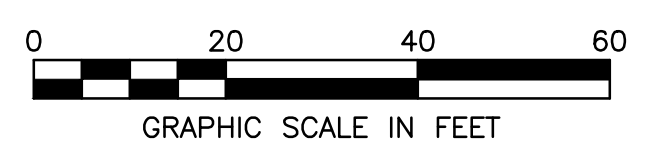
| COMMON NAME | PROPT BY WEIGHT | PERCENT PURITY | PERCENT GERMINATION |
|---------------------|-----------------|----------------|---------------------|
| KENTUCKY BLUE GRASS | 30% | 95% | 85% |
| KENTUCKY 31 FESCUE | 40% | 95% | 85% |
| PERENNIAL RYE GRASS | 30% | 95% | 85% |

APPLICATION RATE: 5 LBS/1000 FT²

A4 GRASS SEED SCHEDULE
NTS

- SEED MIXTURE TYPE A (24,214 SF)
- SHREDDED HARDWOOD MULCH TO 3" DEPTH, UNLESS NOTED OTHERWISE. SEE SPECIFICATIONS

A5 LANDSCAPING LEGEND
NTS



WOOLPERT
ARCHITECTURE ENGINEERING & GEOGRAPHICAL INFORMATION SYSTEMS

333 North Alabama Street
Suite 200
Indianapolis, IN 46204
317.299.7500
FAX: 317.291.5805

meijer
2828 WALKER AVENUE
GRAND RAPIDS, MICHIGAN 49544
(616) 453-6711

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| 2 | 07/24/24 | ENGINEERING TAC COMMENTS |



MEIJER STORE #628 OUTLOTS
6010 PROMENADE SHOPS BOULEVARD
NOBLESVILLE, INDIANA

LANDSCAPE PLAN
LOT 10

ISSUED FOR:

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| PERMIT | 05/22/24 |
| BID | |
| CONSTRUCTION | |
| RECORD | |

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| PROJECT MANAGER | DESIGNER |
| BLS | ANR |

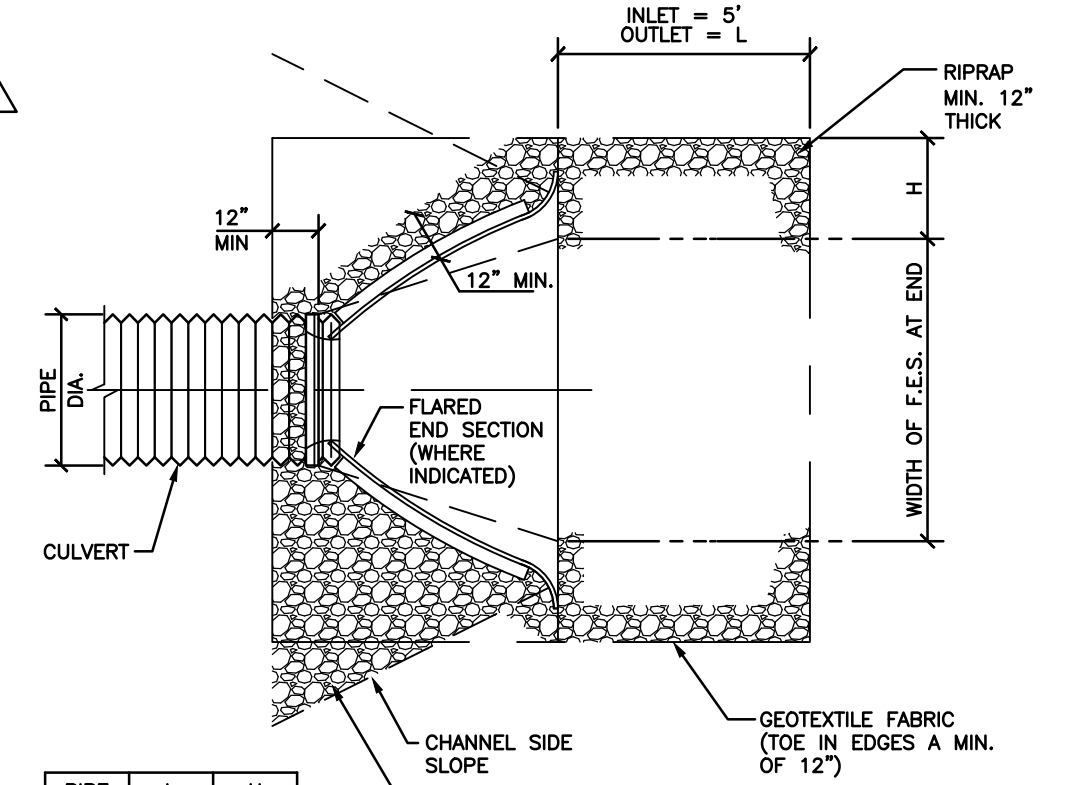
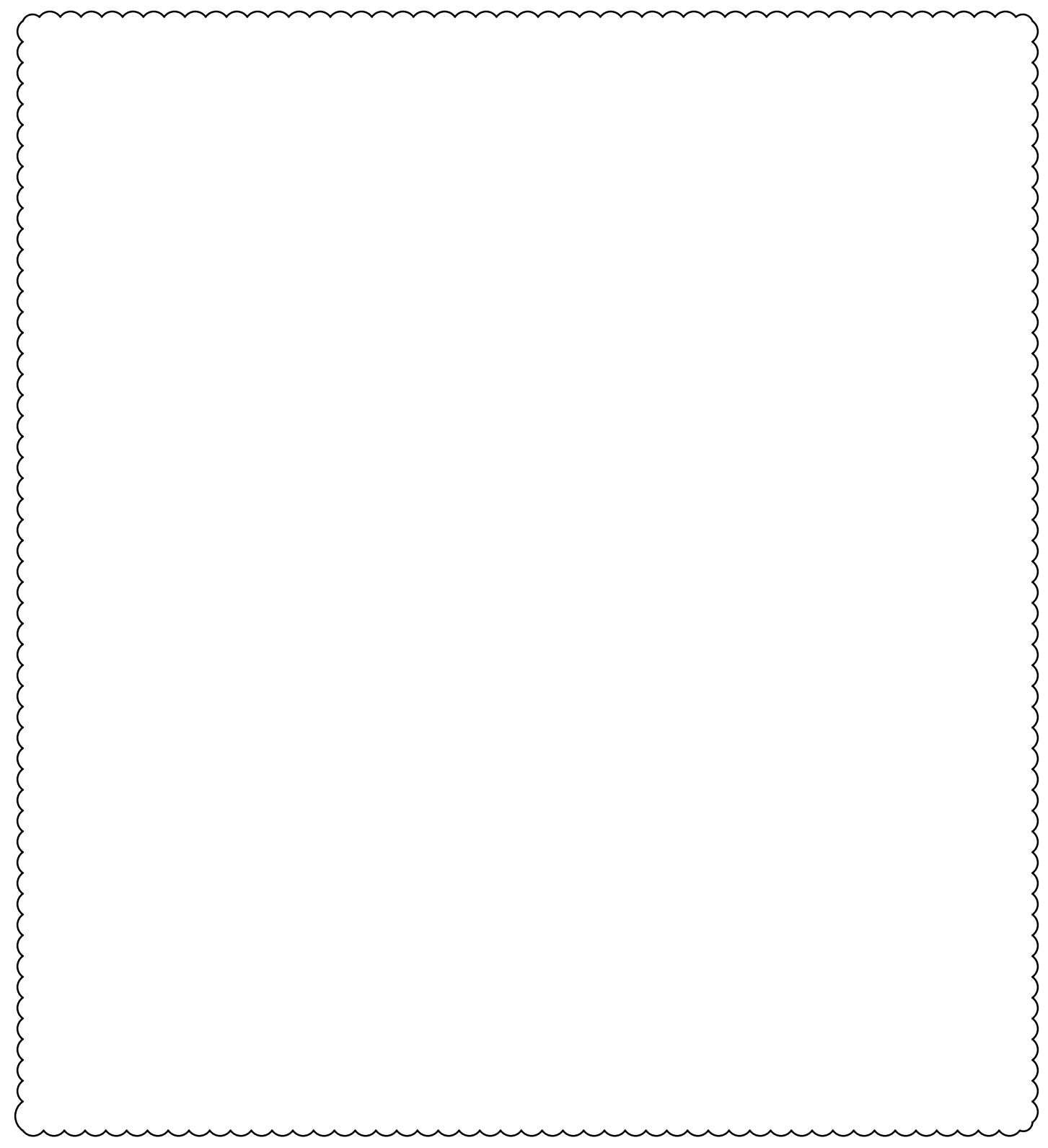
JOB NO.
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C-600

A1 LANDSCAPE PLAN
1" = 20'



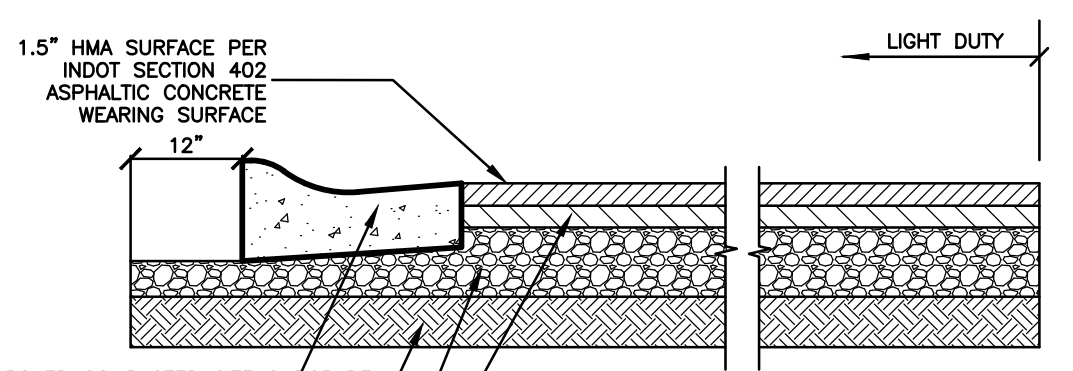
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| PIPE DIA (FEET) | L (FEET) | H (FEET) |
|-----------------|----------|----------|
| 12 | | |
| 15 | 5 | 2 |
| 18 | | |
| 21 | | |
| 24 | 10 | 4 |
| 30 | | |
| 36 | | |
| 42 | | |
| 48 | 15 | 6 |
| 54 | | |
| 60 | | |
| 66 | | |
| 72 | 20 | 8 |
| 78 | | |
| 84 | | |

- NOTES:**
- "H" PROVIDES FOR RIPRAP UP TO THE MIDPOINT OF THE AVERAGE PIPE DIAMETER IN THE GROUPING.
 - "L" FOLLOWS MINIMUM APRON LENGTHS BASED ON EMPIRICAL FORMULA U.S.E.P.A. 1976 $L=3Q/D^{3/2}$ FOR TAILWATERS GREATER THAN 0.50 (D=DIAMETER).
 - FOR UNDERDRAINS THAT OUTLET DIRECTLY ONTO SLOPED SURFACES, AN END TREATMENT SHALL BE PROVIDED IN ACCORDANCE WITH MDOT STANDARD DRAWING R-80-E FOR A CONCRETE END SECTION OR EQUIVALENT DOT STANDARD DRAWING/SPECIFICATION. A REMOVABLE, SERVICEABLE RODENT SCREEN SHALL BE PROVIDED. PROVIDE A TIED CONCRETE BLOCK MAT, 4'x4', CENTERED ON THE OUTLET, WITH THE TOP OF THE MAT MATCHING THE SLOPE OF THE ADJACENT SURFACE. THE BLOCK MAT SHALL BE DESIGNED FOR A MINIMUM DISCHARGE VELOCITY OF 10 FPS.

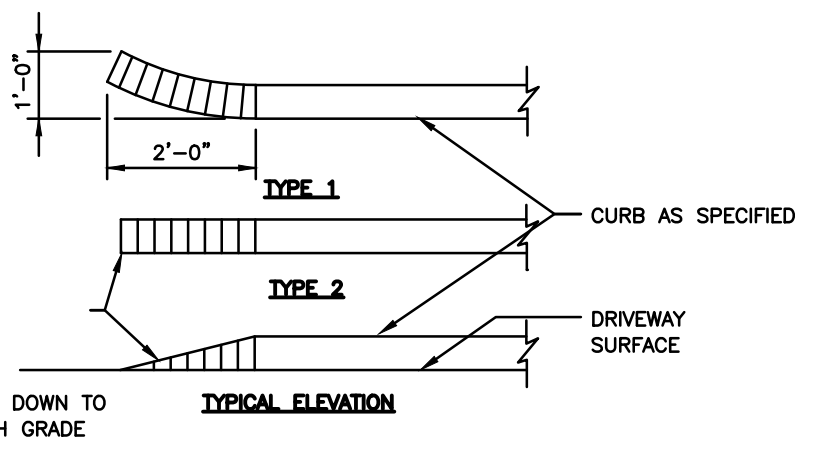
D2 RIP RAP END TREATMENT DETAIL



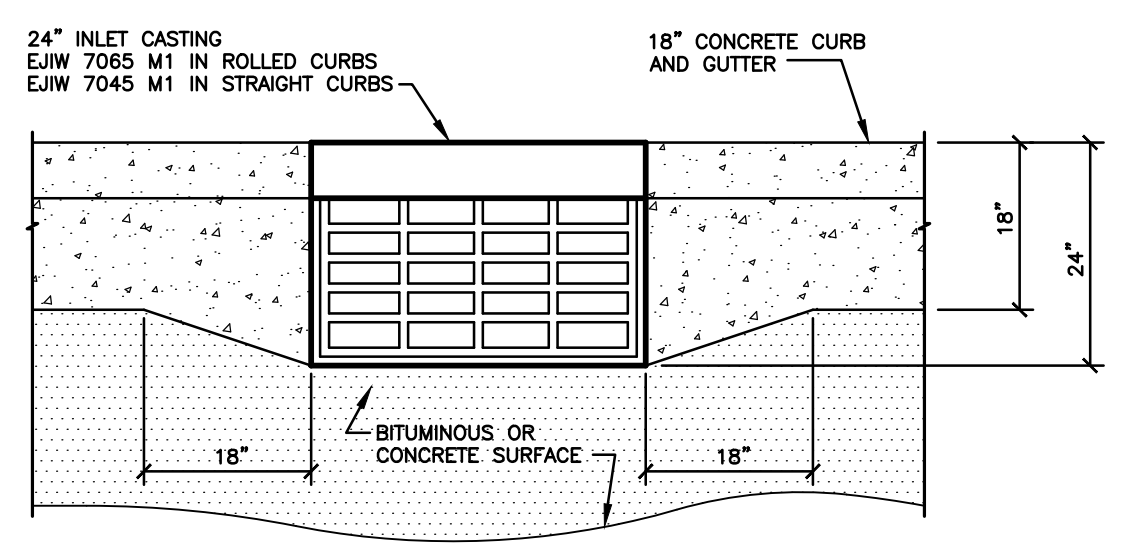
APPROVED COMPACTED SITE SUBGRADE
 6" INDOT NO. 53 AGGREGATE BASE INCLUDING UNDER AND 1' BEYOND CURB
 2" HMA BASE PER INDOT SECTION 402 ASPHALTIC CONCRETE LEVELING COARSE
 TACK COAT - 0.10-0.12/SY (TYP.)

- NOTES:**
- ALL ITEM NUMBERS REFER TO STATE OF INDIANA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD CONSTRUCTION.
 - THE SURFACE FOR BOTH TYPES CAN BE COMPLETED AT THE SAME TIME. ALL PAVEMENT JOINTS SHOULD BE SQUARE WITHOUT FEATHERING.
 - SEE SPECIFICATIONS FOR MODIFICATIONS TO STANDARD BITUMINOUS D.O.T. MIXES.

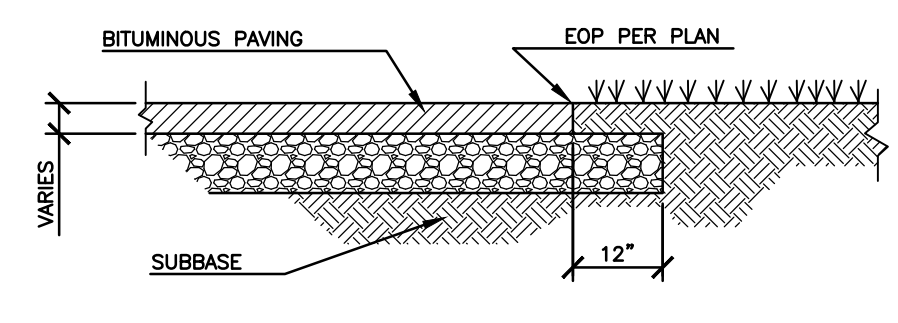
D3 LIGHT DUTY / HEAVY DUTY PAVEMENT SECTION



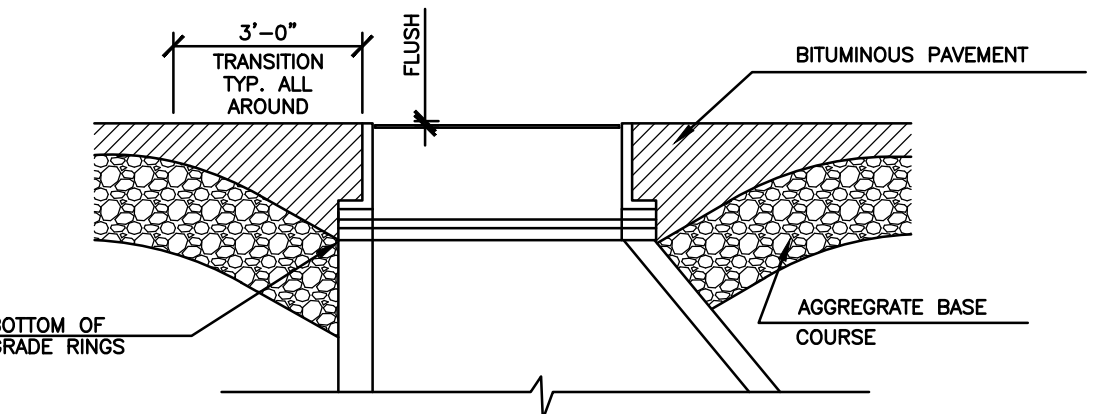
C3 CURB TAPER



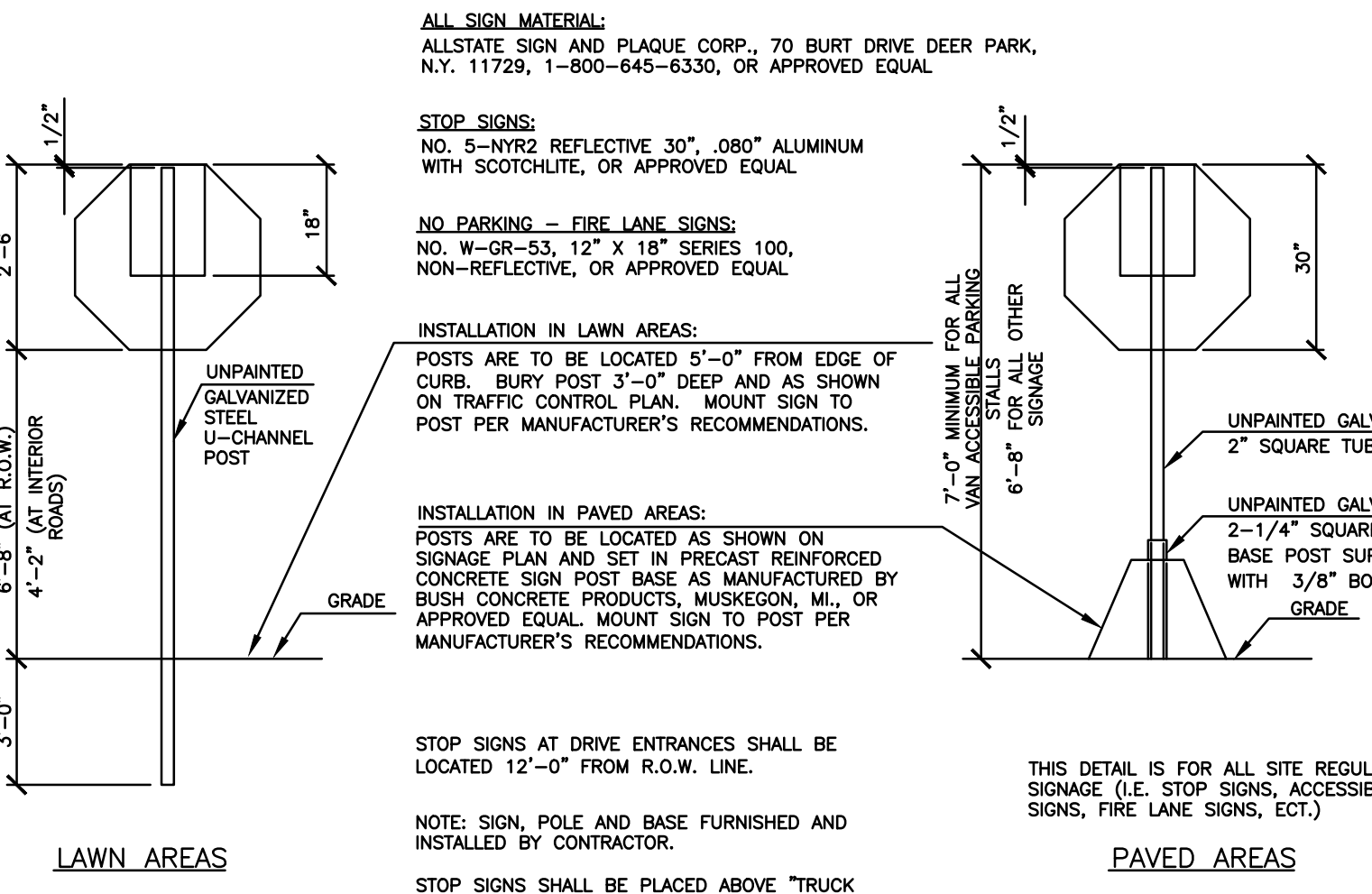
D5 CURB TRANSITION DETAIL



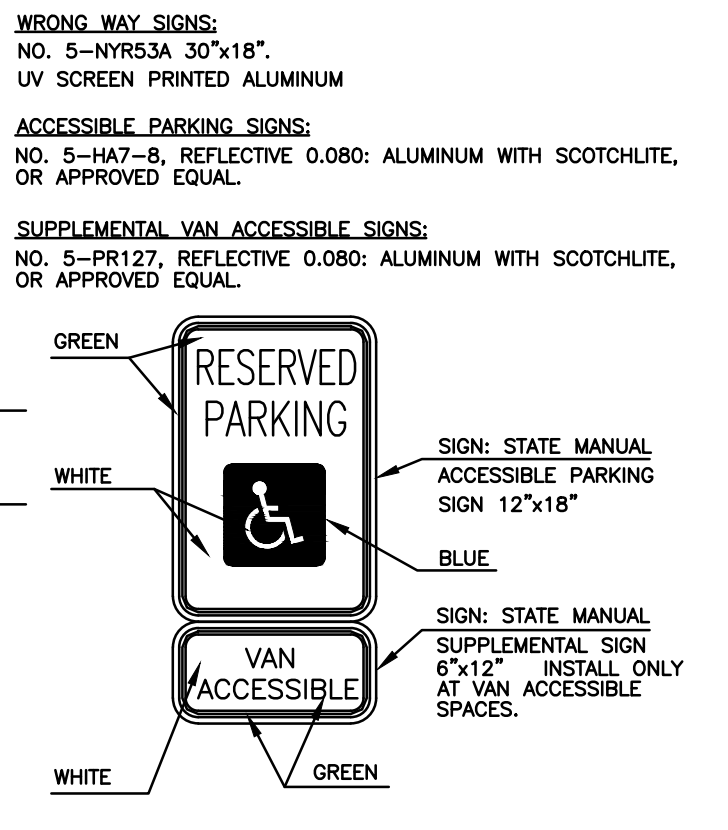
C5 BITUMINOUS PAVEMENT EDGE DETAILS



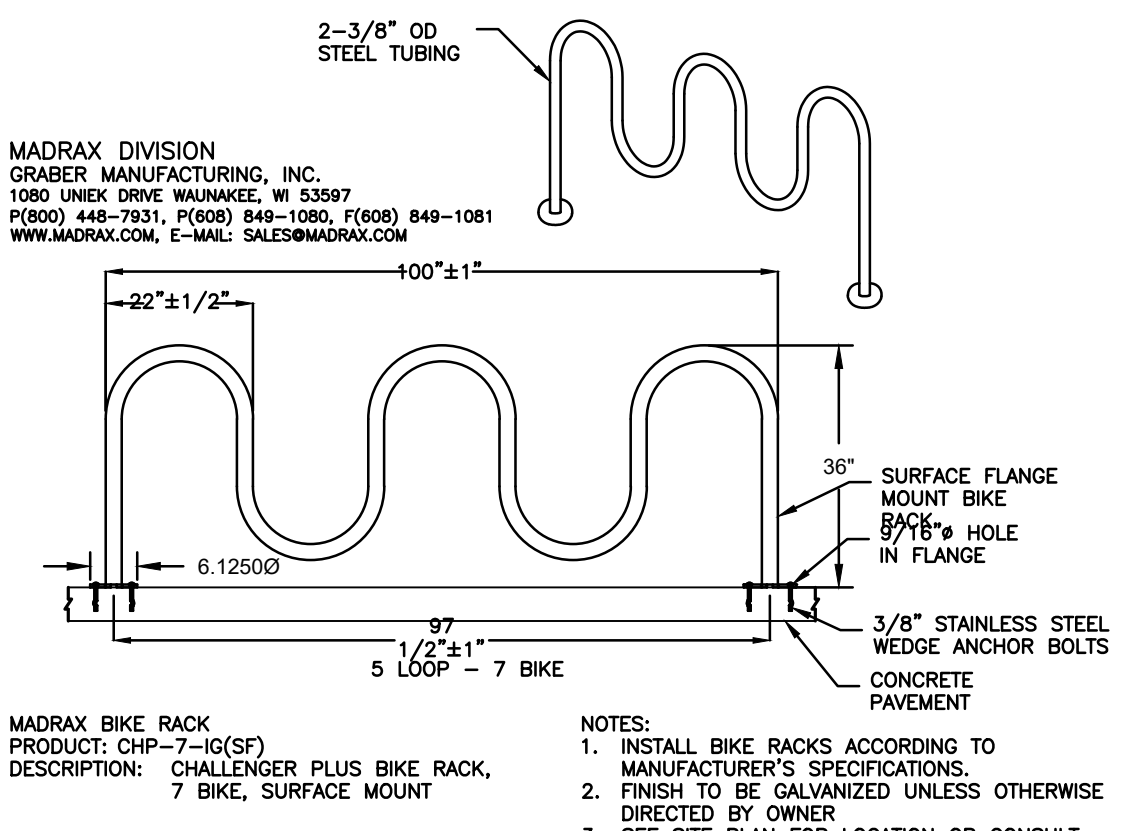
B5 TYPICAL BITUMINOUS PAVEMENT AT MH AND CB



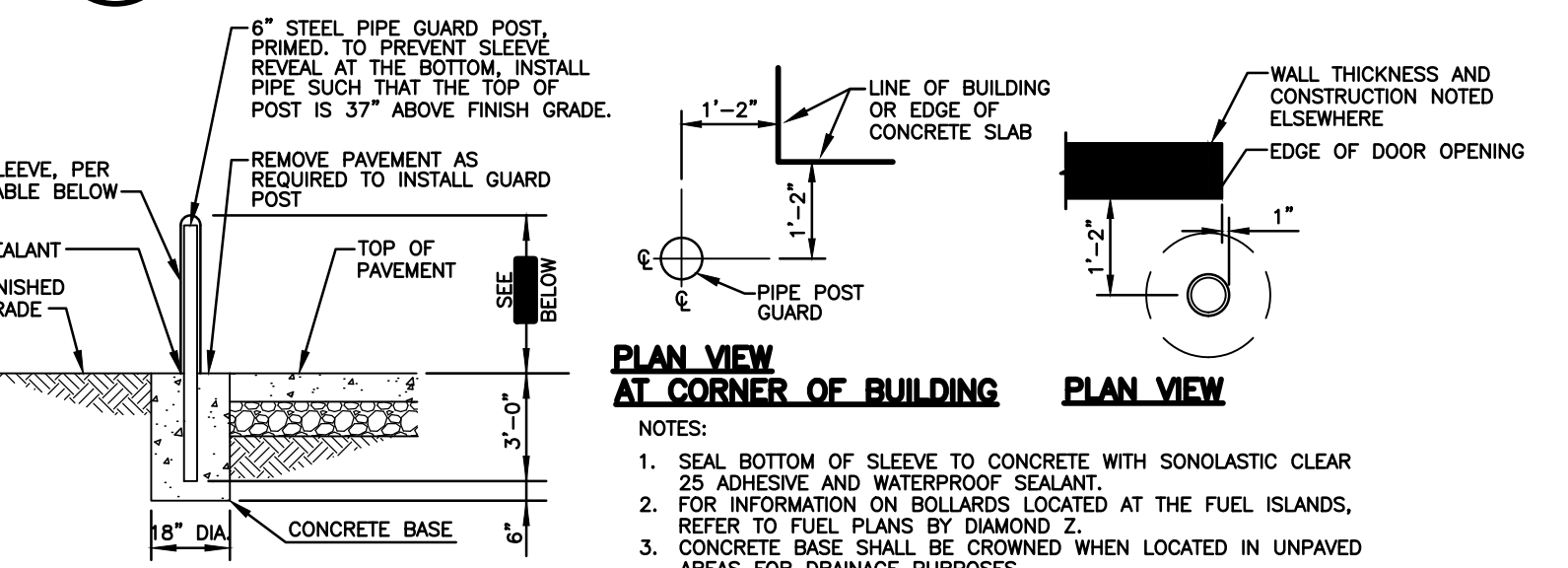
B1 TRAFFIC CONTROL SIGNAGE



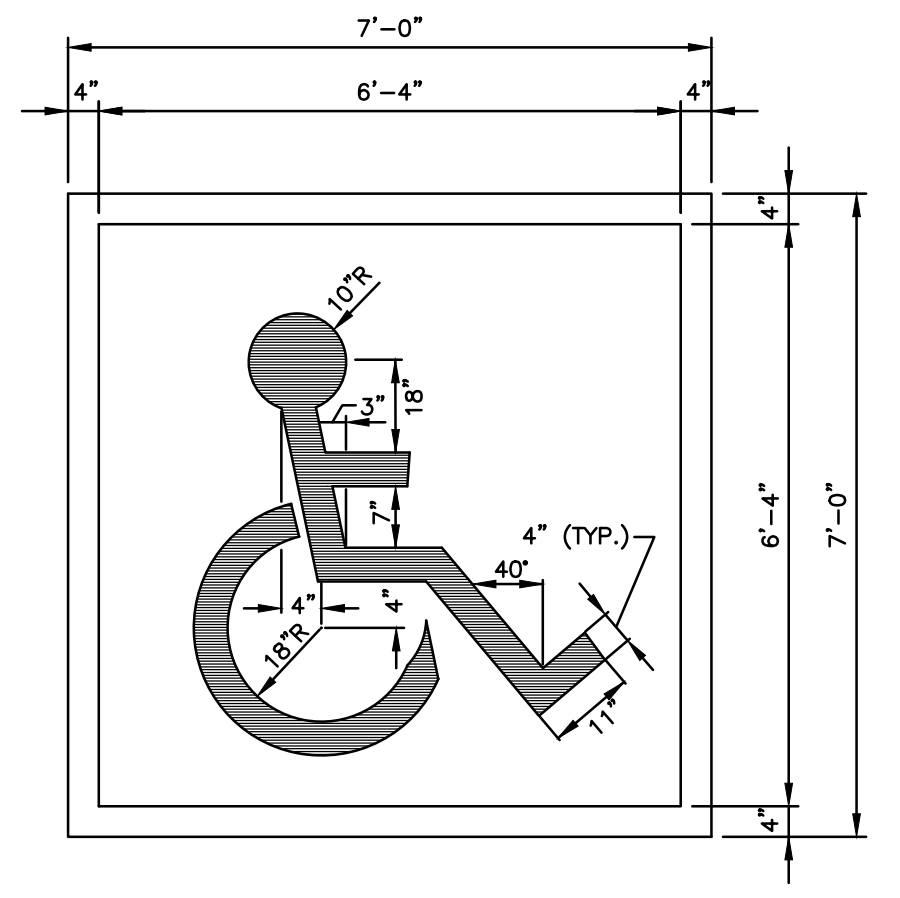
A2 ADA PAVEMENT SYMBOL



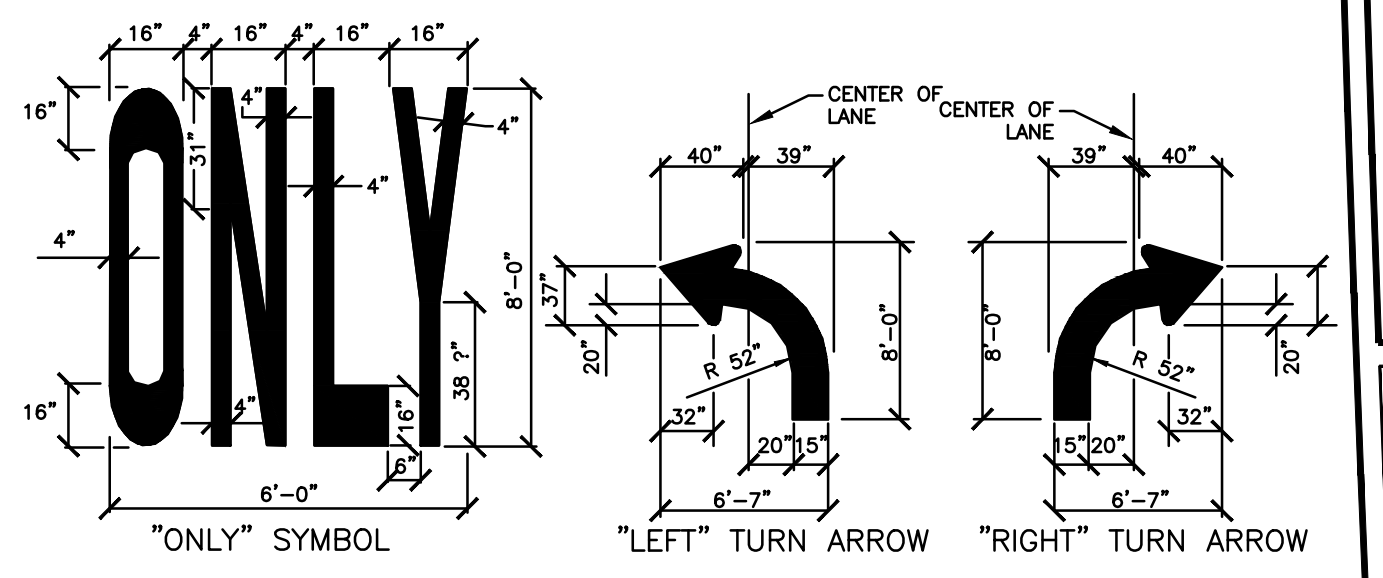
B3 BIKE RACK DETAIL



A1 GUARD POST AND BOLLARD DETAIL



A3 PEDESTRIAN CROSSWALK STRIPING PLAN



A5 PAVEMENT MARKING DETAILS

| REV. | DATE | DESCRIPTION |
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 ARCHITECTURE | ENGINEERING | GEOGRAPHICAL
 333 North Alabama Street
 Suite 200
 Indianapolis, IN 46204
 317.299.7500
 FAX: 317.291.5805

meijer
 2828 WALKER AVENUE
 GRAND RAPIDS, MICHIGAN 49544
 (616) 453-6711



MEIJER STORE #628 OUTLOTS
 6010 PROMENADE SHOPS BOULEVARD
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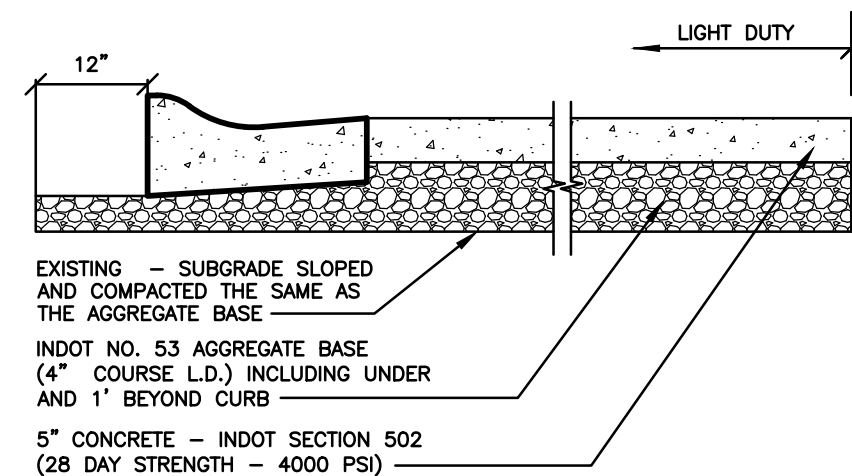
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| RECORD | | |
| PROJECT MANAGER | DESIGNER | |
| BLS | ANM | |

JOB NO.
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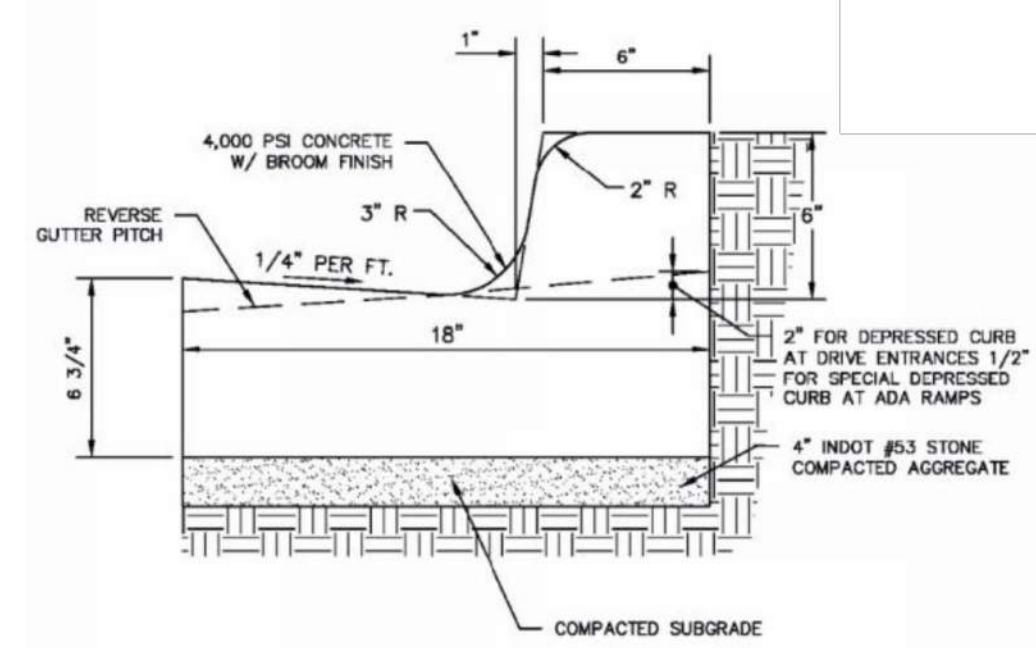
C-701

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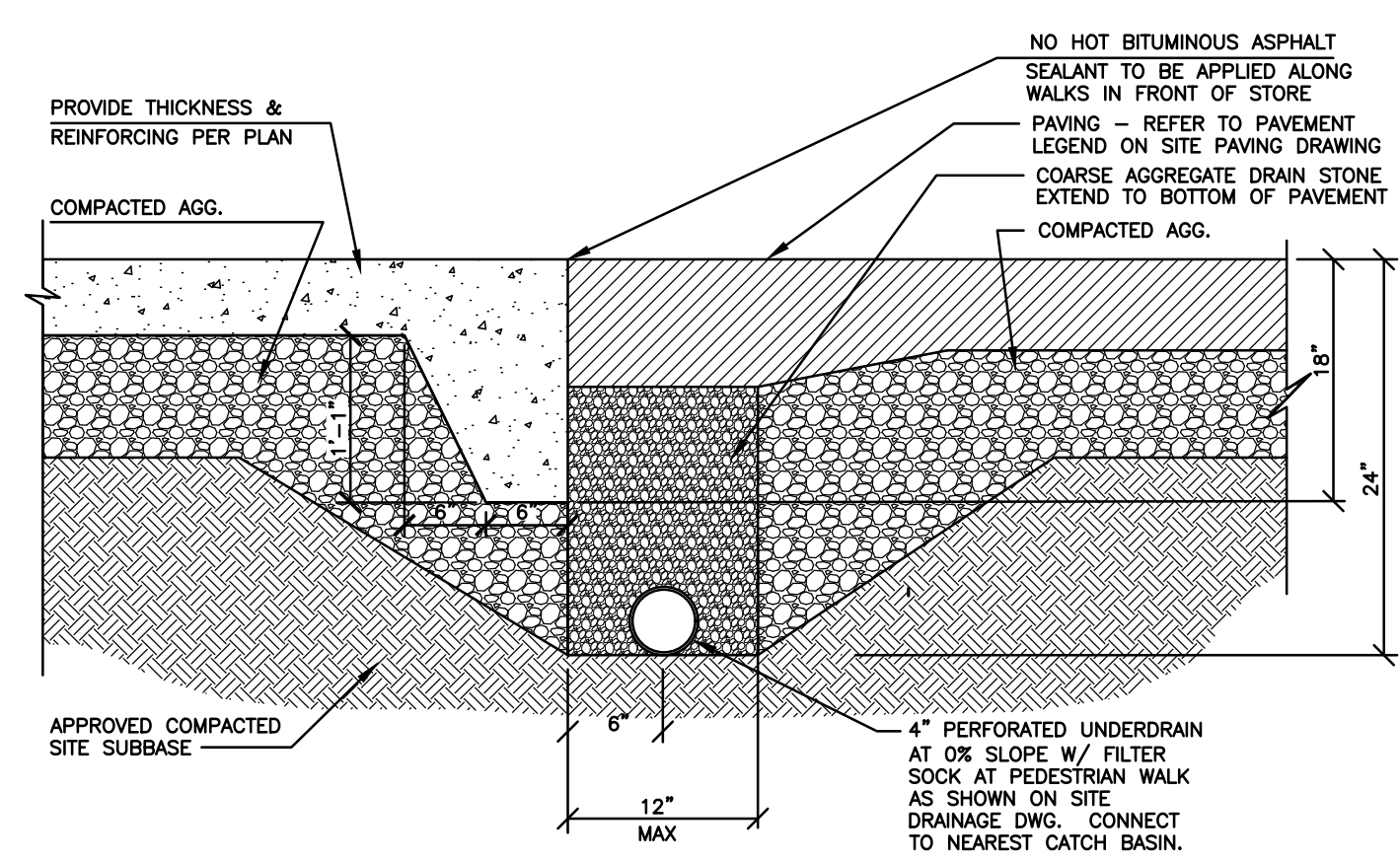


D1 LIGHT DUTY CONCRETE PAVEMENT SECTION
NTS

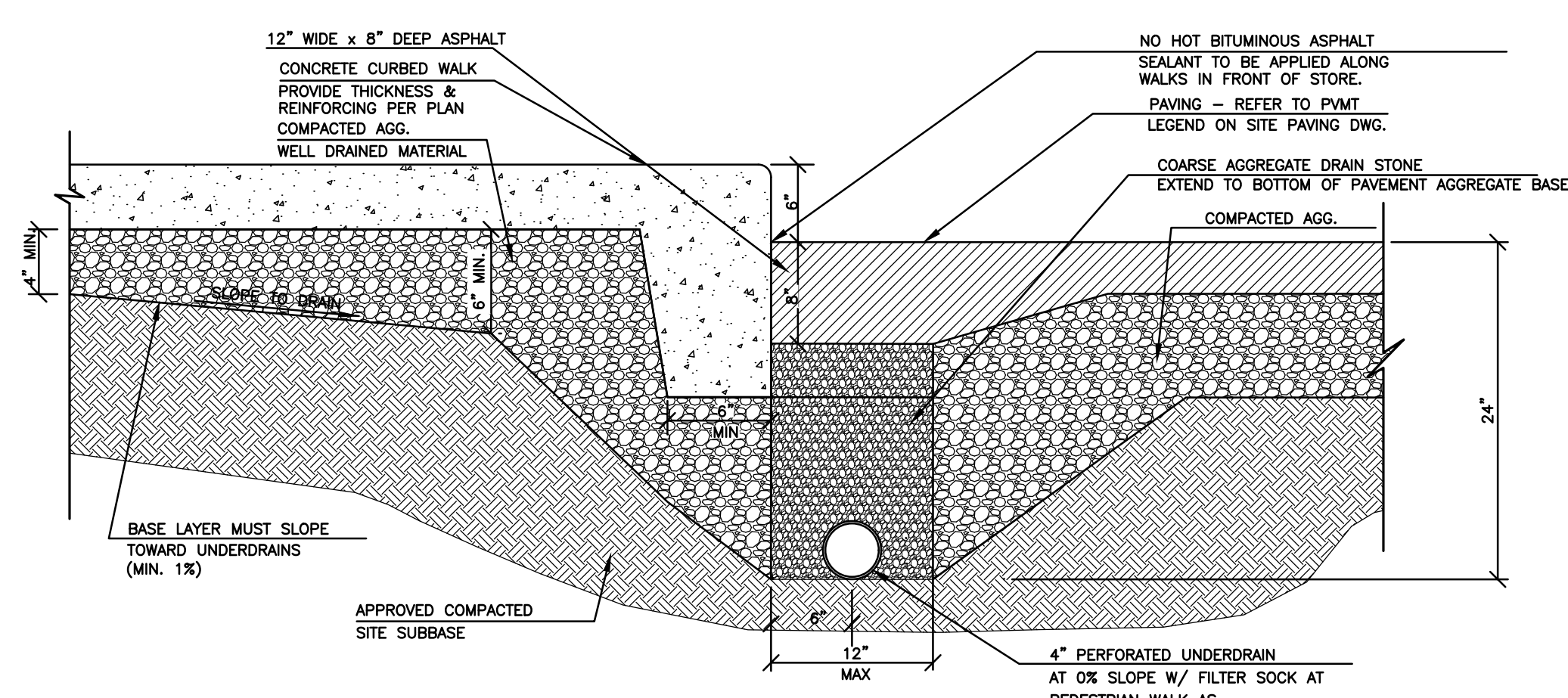
EXISTING - SUBGRADE SLOPED AND COMPACTED THE SAME AS THE AGGREGATE BASE
 INDOT NO. 53 AGGREGATE BASE (4" COURSE L.D.) INCLUDING UNDER AND 1" BEYOND CURB
 5" CONCRETE - INDOT SECTION 502 (28 DAY STRENGTH - 4000 PSI)
 NOTES:
 1) ALL ITEM NUMBERS REFER TO STATE OF INDIANA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD CONSTRUCTION.
 2) THE POURING FOR BOTH TYPES CAN BE COMPLETED AT THE SAME TIME. ALL PAVEMENT JOINTS SHOULD BE IN CONFORMANCE WITH DETAIL PROVIDED ON THIS SHEET.
 3) SEE SPECIFICATIONS FOR MODIFICATIONS TO STANDARD CONCRETE D.O.T. MIXES.



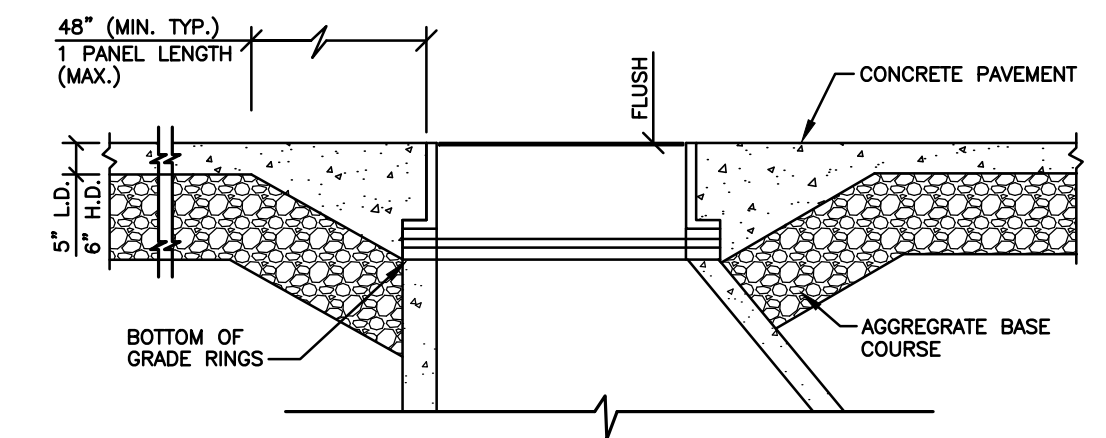
C1 STRAIGHT CURB AND GUTTER
NTS



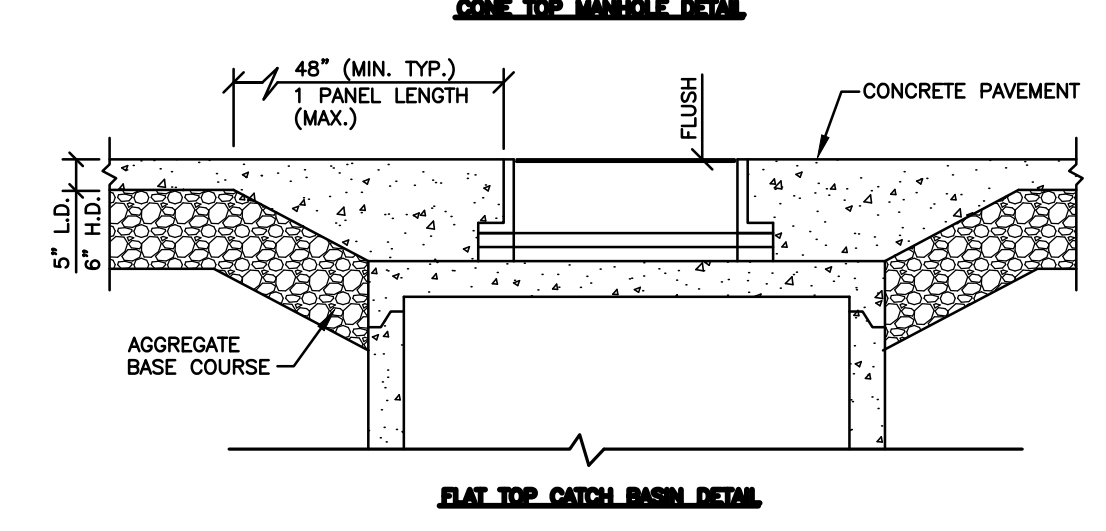
B1 UNDERDRAIN AT BUILDING FRONT SIDEWALK
NTS



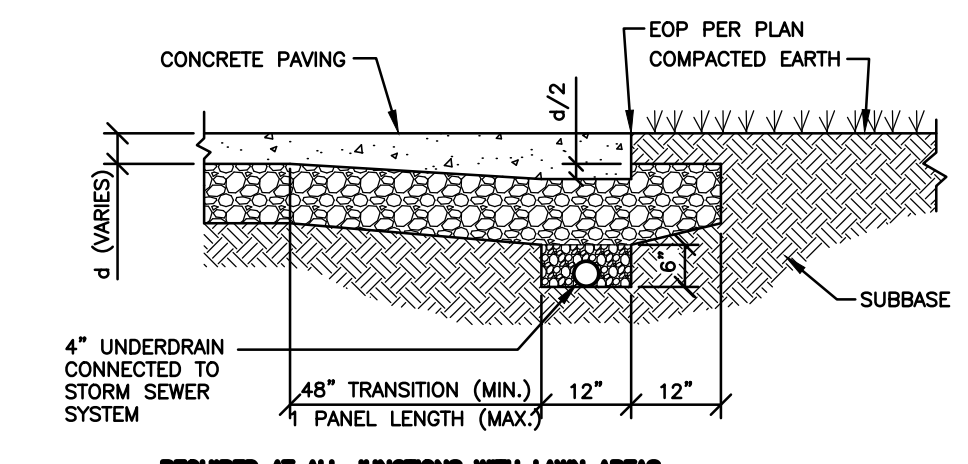
A1 CONCRETE CURB WALK
NTS



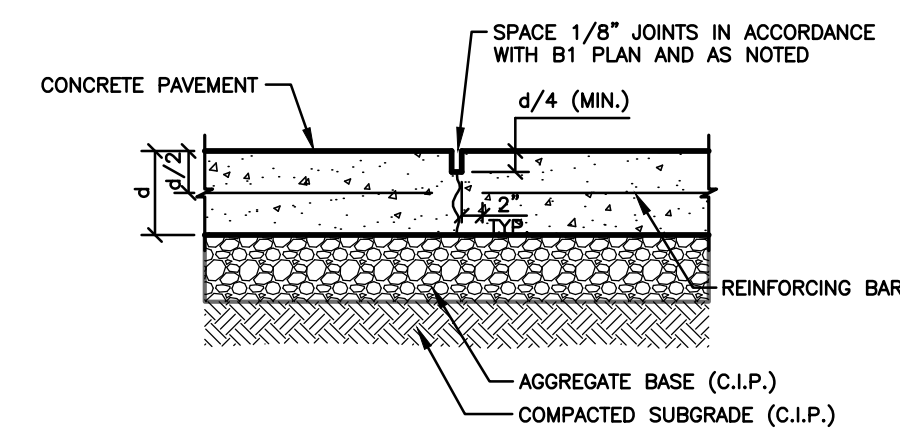
D3 TYPICAL CONCRETE PAVEMENT AT MH AND CB
NTS



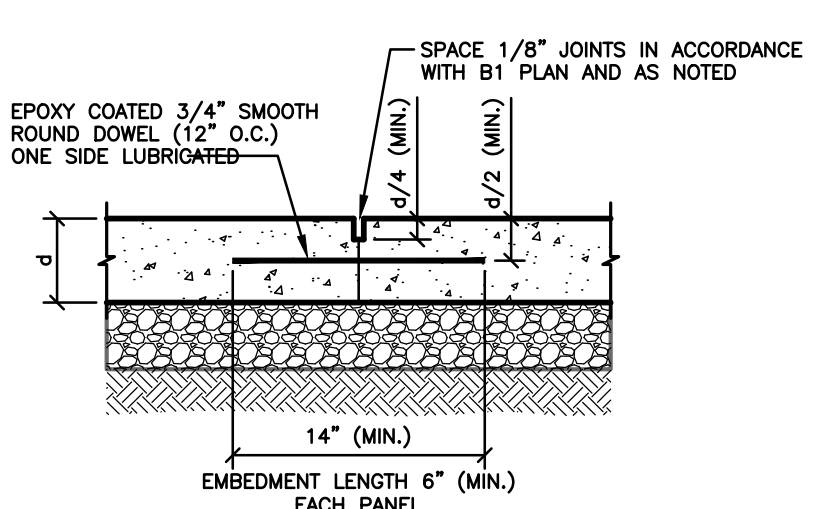
B4a EXPANSION JOINT
NTS



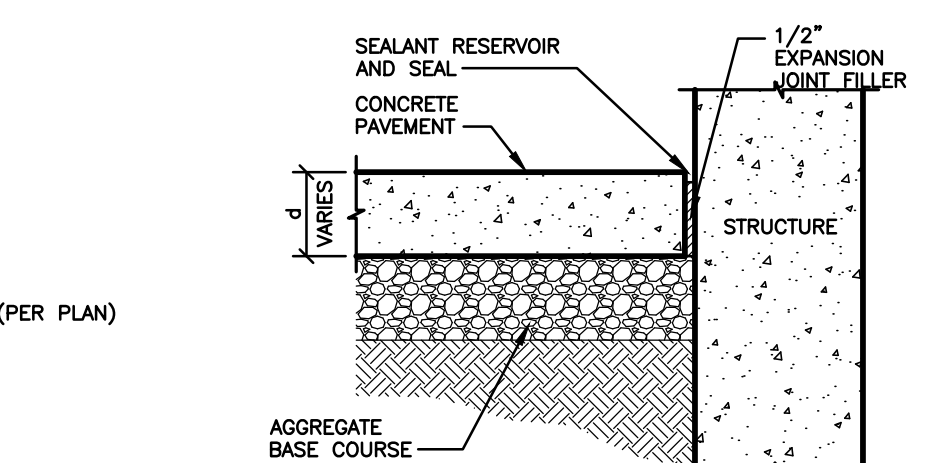
C5a CONCRETE PAVEMENT EDGE DETAIL
NTS



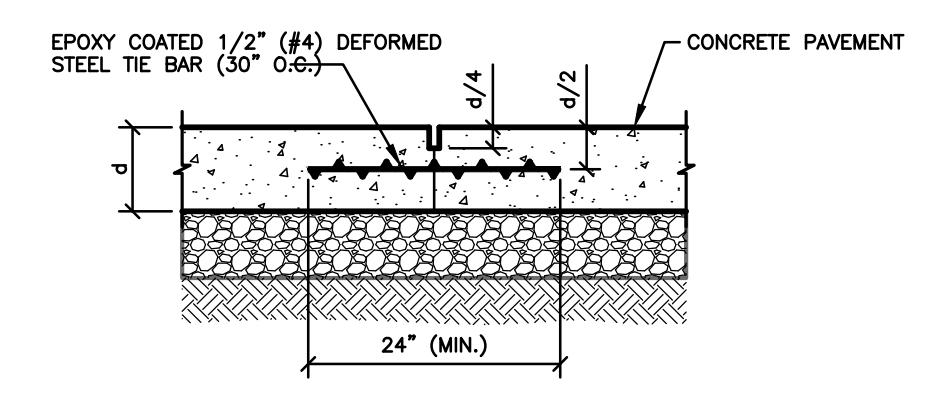
B3 CONTRACTION JOINT (UNDOWELED)
NTS



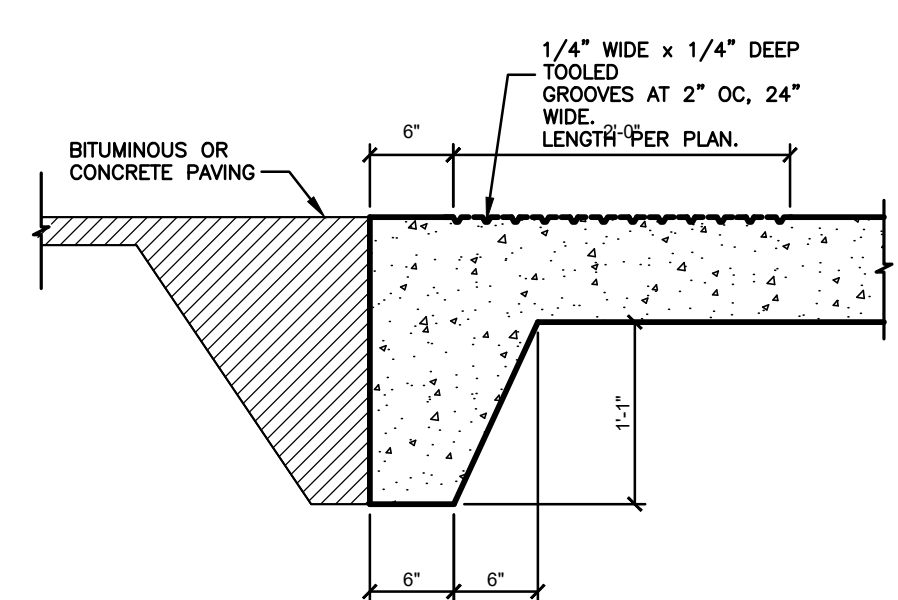
A3 DOWELED BUTT JOINT
NTS



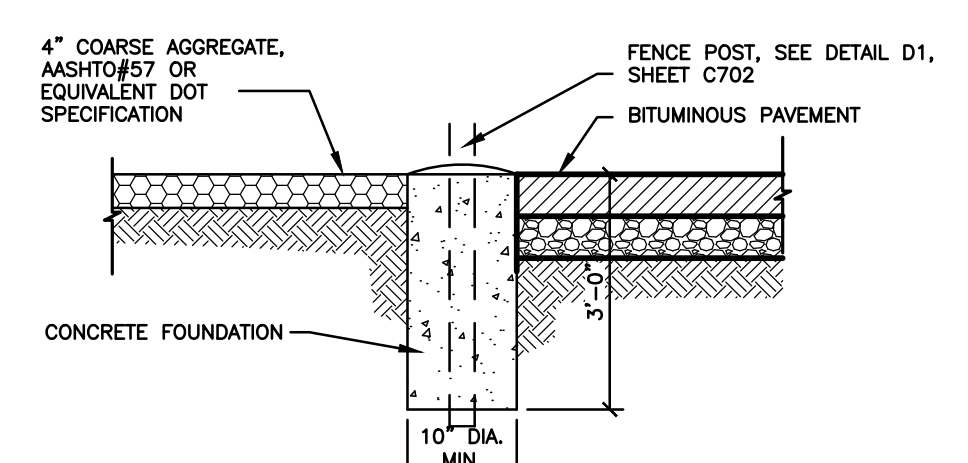
B4 CONCRETE PAVEMENT EDGE
NTS



A4 TIED BUTT JOINT
NTS

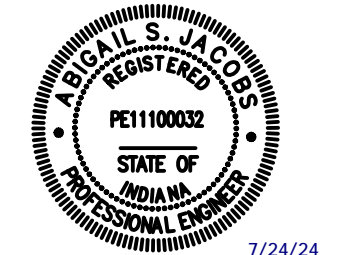


B5 CONCRETE GROOVE DETAIL
NTS



A5 TYP. FENCE POST DETAIL
NTS

| REV. | DATE | DESCRIPTION |
|------|----------|--------------------------|
| 1 | 06/27/24 | PC TAC COMMENTS |
| 2 | 07/24/24 | ENGINEERING TAC COMMENTS |



MEIJER STORE #628 OUTLOTS
 6010 PROMENADE SHOPS BOULEVARD
 NOBLESVILLE, INDIANA

CONCRETE PAVING DETAILS

| | |
|-----------------|----------|
| ISSUED FOR: | |
| PERMIT | 05/22/24 |
| BID | |
| CONSTRUCTION | |
| RECORD | |
| PROJECT MANAGER | DESIGNER |
| BLS | ANM |

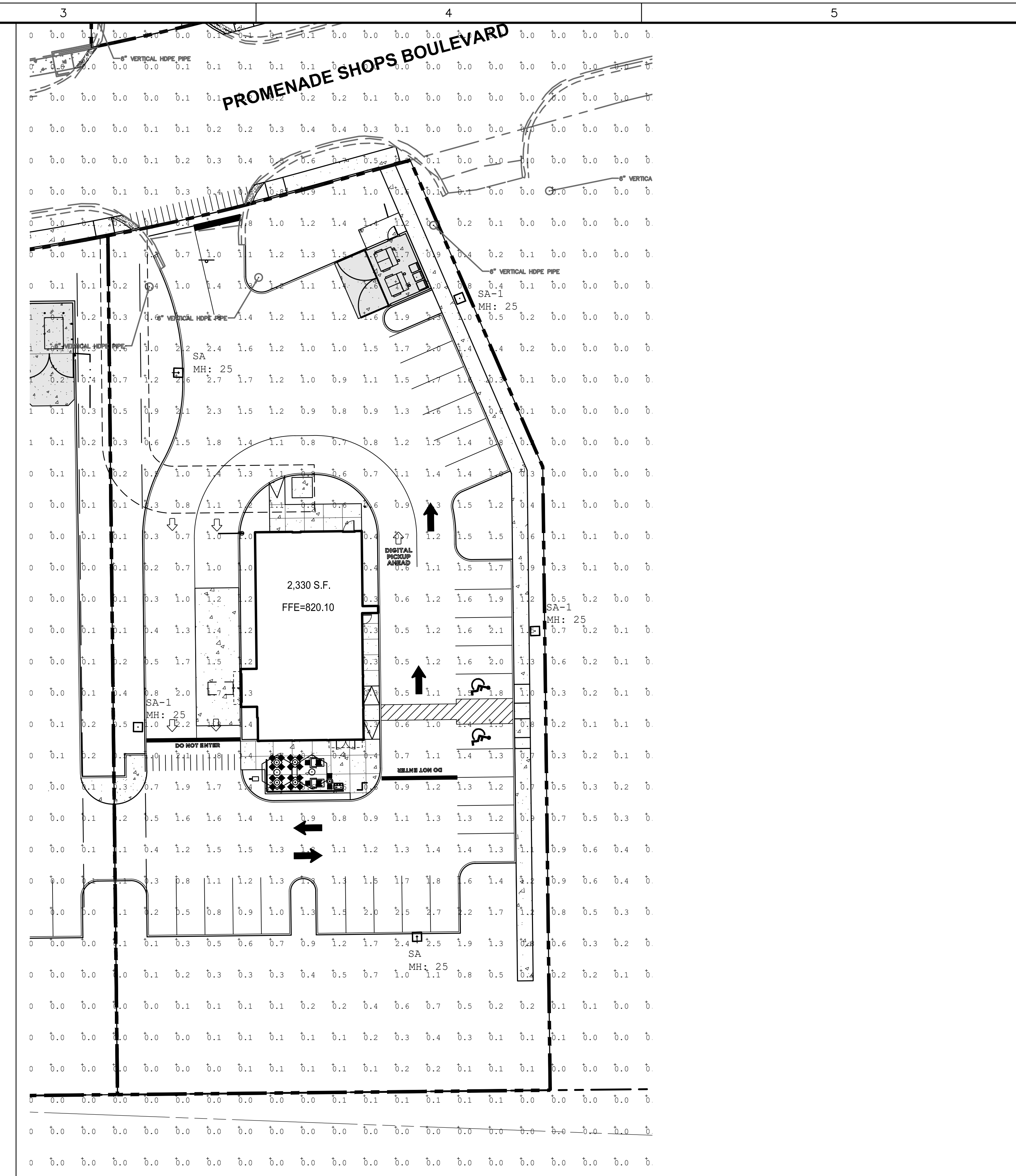
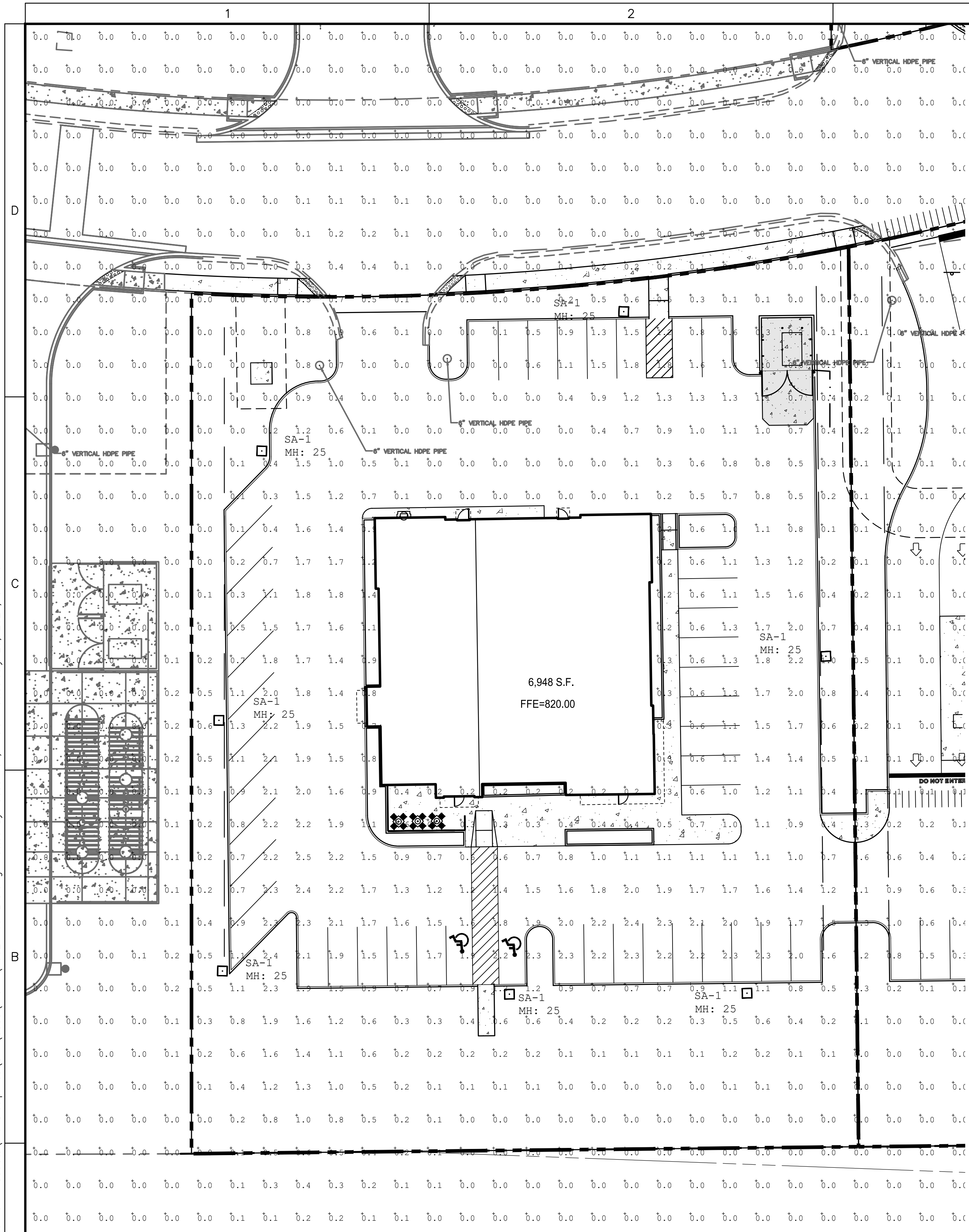
JOB NO.
10021169

C-703

WOOLPERT
 ARCHITECTURE | ENGINEERING | GEOGRAPHIC
 333 North Alabama Street
 Suite 200
 Indianapolis, IN 46204
 317.299.7500
 FAX: 317.291.5805

meijer
 2828 WALKER AVENUE
 GRAND RAPIDS, MICHIGAN 49544
 (616) 453-6711

Images: . Xrefs: 10021169-TBLK.dwg; 10021169-p.dwg; 10021169-x-NB survey.dwg; Meijer NBV southeast outlot-photometrics.dwg; Meijer NBV north outlot-photometrics.dwg; Meijer NBV southwest outlot-photometrics.dwg
 Layout Tab Name: C-801
 Last Saved By: A.Reedy, 7/24/2024 10:15:31 AM
 G:\DE\Clients\Meijer\10021169 Meijer NBV OL - Noblesville IN Outlots\4.0 Disciplines\Civil\Cadd\Prelim\10021169-ITG.dwg Plotted By: Ruebelman, Alicia Plotted: July 25, 2024, 5:06:04 PM



A1 LIGHTING PLAN
1" = 20'



| CALCULATION SUMMARY | | | | | |
|---------------------|------|-----|-----|---------|---------|
| LABEL | AVG | MAX | MIN | AVG/MIN | MAX/MIN |
| LOT 12 | 0.78 | 2.5 | 0.0 | N.A. | N.A. |

| LUMINAIRE SCHEDULE | | | | |
|--------------------|-----|--|-------------|-------|
| LABEL | QTY | DESCRIPTION | LUM. LUMENS | LLF |
| SA-1 | 7 | SITE LIGHT ARM MOUNTED, TYPE 3, 8,000 LUMEN LED, 22.5' POLE, HOUSE-SIDE SHIELD | 7714 | 0.891 |

C5 LUMINAIRE SCHEDULE
NTS

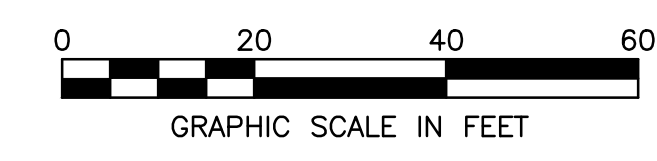
A1 LIGHTING PLAN
1" = 20'



| CALCULATION SUMMARY | | | | | |
|---------------------|------|-----|-----|---------|---------|
| LABEL | AVG | MAX | MIN | AVG/MIN | MAX/MIN |
| LOT 13 | 0.99 | 2.7 | 0.0 | N.A. | N.A. |

| LUMINAIRE SCHEDULE | | | | |
|--------------------|-----|--|-------------|-------|
| LABEL | QTY | DESCRIPTION | LUM. LUMENS | LLF |
| SA | 2 | SITE LIGHT ARM MOUNTED, TYPE 3, 11,000 LUMEN LED, 22.5' POLE | 10992 | 0.891 |
| SA-1 | 3 | SITE LIGHT ARM MOUNTED, TYPE 3, 8,000 LUMEN LED, 22.5' POLE, HOUSE-SIDE SHIELD | 7714 | 0.891 |

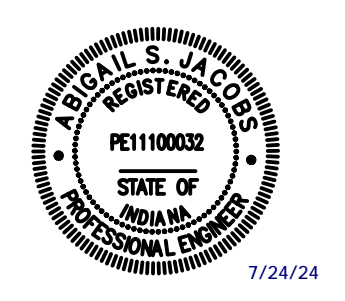
C5 LUMINAIRE SCHEDULE
NTS



WOOLPERT
ARCHITECTURE | ENGINEERING | GEOGRAPHICAL
 333 North Alabama Street
 Suite 200
 Indianapolis, IN 46204
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| REV. | DATE | DESCRIPTION |
|------|----------|--------------------------|
| 1 | 06/27/24 | PC TAC COMMENTS |
| 2 | 07/24/24 | ENGINEERING TAC COMMENTS |



MEIJER STORE #628 OUTLOTS
6010 PROMENADE SHOPS BOULEVARD
NOBLESVILLE, INDIANA

LIGHTING PLAN
LOTS 12 AND 13

| | |
|--------------|----------|
| ISSUED FOR: | |
| PERMIT | 05/22/24 |
| BID | |
| CONSTRUCTION | |
| RECORD | |

| | |
|-----------------|----------|
| PROJECT MANAGER | DESIGNER |
| BLS | ANR |

JOB NO.
10021169

C-801

