

Agenda Item #1

Case Number	BZNA-0040-2019 / BZNA-0056-2019	Property Size	4.44 AC
Address	10400 Pleasant Street	Zoning	I-1/PD Pleasant Street Commercial Park
Owner	Roudy5, LLC (Brad Roudebush)	Reviewer	Rina Neeley
Applicant	Eye 4 Group (Kristen Dobbs)	BZA Meeting	May 6, 2019

Requested Action:

- a) UDO § 11.C.1.E.7.a – Variance of Development Standards to permit the use of cabinet signs for wall signs instead of individually mounted channels for an internally accessed multi-tenant building.
- b) UDO § 11.C.1.E.3 – Variance of Development Standards to permit an increase in the amount of wall signs allowed for an internally accessed multi-tenant building.

Recommendation:

- a) Deny Variance of Development Standards application to permit the use of cabinet signs for wall signs. See Findings of Facts for Denial on page 7.
- b) Approve Variance of Development Standards application to permit an increase in the amount of wall signs allowed. See Findings of Facts for Approval on page 7 and Conditions of Approval on page 7.

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ANALYSIS

The subject site is located on the north side of Pleasant Street about 1,800 feet west of Union Chapel Road. The property is zoned I-1 Light Industrial and is part of the Pleasant Street Commercial Park Planned Development. The petitioner's property contains one multi-tenant building and an associated parking lot built in 2017. The property is surrounded by industrial and commercial uses to the west and south, an agricultural field to the north and undeveloped industrial property to the east (see Exhibits 2 and 3).

Number of Wall Signs

The petitioner is requesting a variance of development standards to permit an increase in the amount of wall signs allowed for internally accessed multi-tenant buildings within an integrated development (Exhibit 4). In order to understand this request, it is important to know that internally accessed multi-tenant buildings are defined in UDO § 11.A.2 as:

A single building occupied by two or more tenants in whom individual business entrances are accessed internally through a single exterior access point or limited exterior access points.

There are currently seven (7) tenant spaces or suites in the building. Five of the suites are accessed from the interior lobby area at the east side of the building. Berk & Bell Salon and Mammoth Barber, suites 185 and 190 respectively, also have exterior access doors at the rear of the building and customers use both the internal and external doors. Suites 160 and 270, Studio 105 and Dance Magic, also have exterior doors that would be considered secondary or emergency egress doors (refer to Table A for a full list of suites, access doors and signage). Since the building has tenant space that is accessed from an interior lobby, the building is considered an internally accessed multi-tenant building. Per UDO § 11.C.1.E.3 Internally Accessed Multi-Tenant Buildings within an Integrated Development are allowed:

- One (1) wall sign is allowed per street frontage identifying the building; and
- One (1) ground sign is allowed per frontage for lots with a minimum of one hundred (100) feet in width and a building setback of a minimum of thirty-five (35) feet from the adjacent street right-of-way.

The building currently has three (3) existing permitted wall signs. Four of the tenants without wall signs, including two tenant spaces without street frontage, have requested signage on the building. In reviewing the permit applications for the existing wall signs and the building permits for the tenant spaces (Exhibit 7), there were several errors made that resulted in the approval of three wall signs for an internally accessed multi-tenant building within an integrated development, when only one wall sign is allowed based on the building type:

- The building was represented as an externally accessed multi-tenant building on the sign permit applications.
- The building type was discovered when the petitioner applied for sign permits for the tenants that have internal access from the lobby at the east side of the building.
- More than one staff person reviewed the sign applications for this property at different times.
- The staff that reviewed the sign applications did not review the commercial building permit for the building and was not aware that the building was an internally accessed multi-tenant building within an integrated development.
- Per UDO § 11.C.1.E.3.c, the only wall sign allowed is a sign identifying the building. The building is known as Midland Building East. A sign permit was filed for a wall sign to identify the building, only sign permits for individual tenant spaces were filed and approved.

Table A – List of Tenants/Suites

Suite No	Tenant / Business Name	Suite Size (SF)	Entrance		Sign (SF)
			Exterior	Interior	
130	Three Kings Athletics	7,760	M/S	---	142
155	Yoga Office	350	M	---	---
160	Studio 105	3,986	S	M	54
180	Yoo Direct Health & Integrative Soft Tissue	1,665	---	M	---
185	Berk & Bell Salon	760	M	M	---
190	Mammoth Barber	611	M	M	---
270	Dance Magic Studios	9,326	2S	M	72

M = Main Entrance S = Secondary Entrance or Emergency Egress

The subject site is unique because of the design of the building, with multiple exterior doors and tall windows that have the appearance of doorways. The building design makes it appear to be an externally accessed multi-tenant building. Since the building appears to be an externally accessed multi-tenant building, an increase in the number of wall signs for the building would be appropriate. It is recommended that the building have the following signage per the Proposed Sign Exhibit (Exhibit 8):

- Two (2) wall signs located above the second-floor windows on the south elevation. The total sum of both wall signs shall not exceed 276 square feet.
- Six (6) wall signs located above the first floor windows on the south elevation. These signs are intended to identify tenants within the building. Each sign shall not exceed 56 square feet. Each sign shall not exceed 5 feet in height.
- The building shall have a directory wall sign not to exceed eight (8) square feet at each entrance to the interior lobby at the east side of the building.

Type of Wall Signs

The petitioner is requesting a variance to permit the use of cabinet or box signs for a wall sign instead of individual channel letters. Cabinet/Box signs are defined in UDO § 11.A.2 as:

A sign with text and symbols printed on a single-piece of plastic acrylic, wood or metal made up of a single-face and back or two faces that are mounted in a cabinet or box that houses the lighting sources and equipment.

The applicant has submitted two versions of the proposed signs (Exhibit 5) for the project site. The first set of submitted plans show illuminated fabricated cabinets painted opaque black to match the existing building awnings with translucent vinyl graphics. The revised set of sign plans show a rectangular raceway painted black to match the existing building awnings with ½ inch thick illuminated acrylic letters. While the revised sign plans state that the individual channel letters are raceway-mounted, the sign has the appearance of a cabinet or box sign rather than individual channel letters. See a graphic comparison of the proposed sign in Image 1 to the example of a raceway-mounted channel letter sign in Image 2:

Image 1 – Proposed Sign

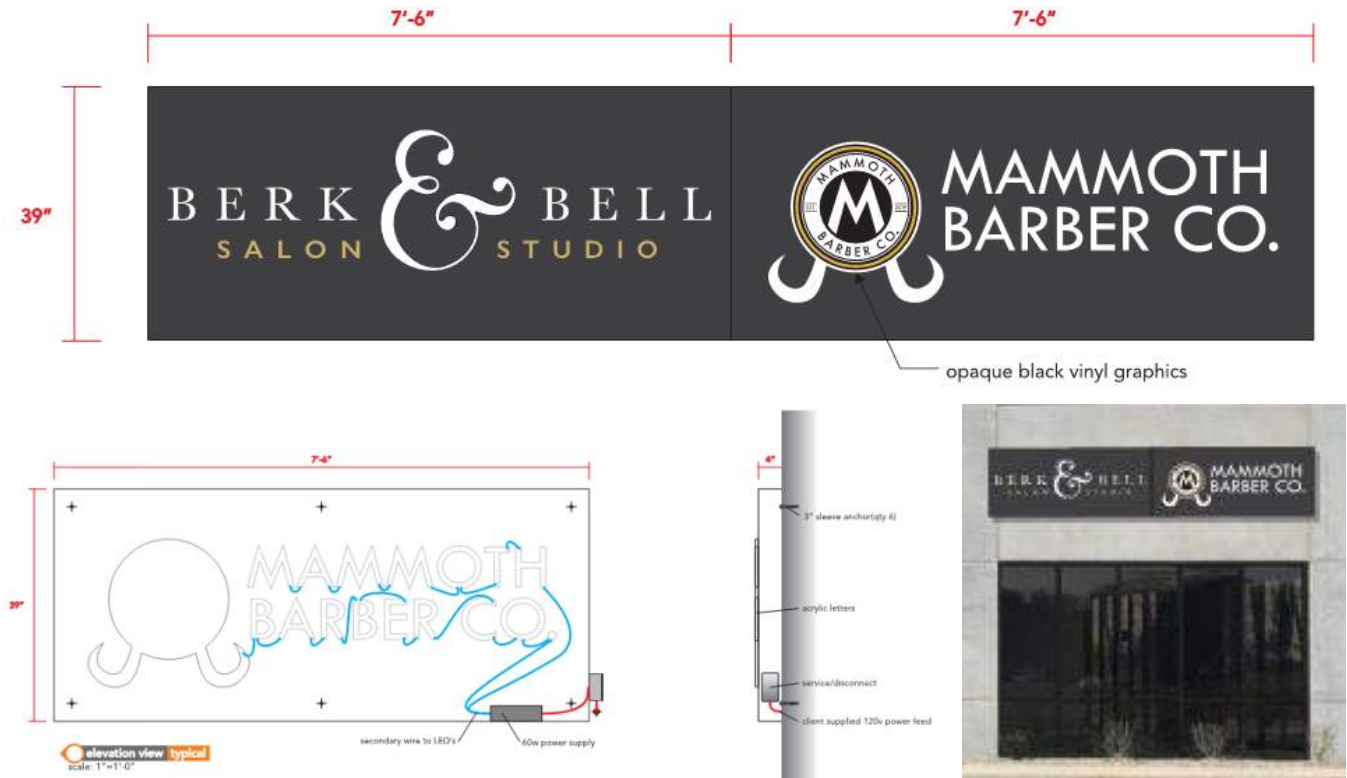


Image 2 – Example of Raceway-Mounted Individual Channel Letters



The applicant has requested the variance on behalf of the property owner, who is concerned about the potential damage to the building from individually mounted channel letter signs from the natural overturn of tenant space. The use of a cabinet or box sign instead of individually mounted channel letters would minimize the potential damage to the building façade since there specific, set points where

the sign would be affixed the wall, however this would also apply to raceway mounted individual channel letters. Another advantage to cabinet or box signs is that any future tenant would only need to change the sign face instead of having individual letters installed. Unfortunately, cabinet or box signs are prohibited per UDO § 12.C.5.M. There are a few existing cabinet signs within the City, including the property to the west of the project site, also known as 10330 Pleasant Street. A historical review of sign permits back to 2006 did not result in any permits authorizing the installation of cabinet or box signs on the neighboring property.

There are no unique characteristics of the project site or building that would support the approval of the variance request to install cabinet or box signs instead of individual channel letters. The approval of a variance to allow cabinet or box signs at this property may set a precedence for allowing the use of cabinet or box signs, a prohibited sign per the UDO, with the approval of a variance. The property owner's concerns about potential damage to the building façade with the change of signage could be resolved by installing individual channel letters mounted on a raceway, however it would need to meet the intent of the individual channel letter sign and not have the appearance of a cabinet or box sign.

VARIANCE OF DEVELOPMENT STANDARDS FINDINGS

AGENDA ITEM #1:

If the Board should decide to APPROVE the requested variance to permit an increase in the amount of wall signs allowed, please use the following findings of fact:

The Noblesville Board of Zoning Appeals is authorized to approve or deny variances of use from the terms of the zoning ordinance. **The BZA may impose reasonable conditions as part of its approval. A Variance of Development Standards may be approved only upon a determination in writing that the following three (3) conditions are met (see Indiana Code § 36-7-4-918.5):**

1. The approval will not be injurious to the public health, safety, morals, and general welfare of the community:

It is likely that this variance will NOT be injurious to the public health, safety, morals, and general welfare of the community. The building appears to be a multi-tenant building with external access doors. It is not anticipated that the increase in the number of wall signs for this building will be injurious to public health, safety, morals, and general welfare of the community.

2. The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner:

It is likely that the use and value of real estate adjacent to the subject site will NOT be affected in a substantially adverse manner by allowing the requested variance. Nearby property owners may remonstrate against this petition if they believe this request will have significant adverse effects on adjacent properties.

3. The strict application of the terms of the zoning ordinance will constitute an unnecessary hardship if applied to the property for which the variance is sought:

The strict application of the terms of the zoning ordinance WILL result in practical difficulties in the use of the property because the building has a combination of tenants with exterior and interior access. Typically, if this building was a multi-tenant building with exterior access, all tenants would be allowed a wall sign. The tenants of this building suites should not be penalized with a limitation on their signage by classifying the building as a multi-tenant building with interior access because one tenant space does not have an exterior access door and the other four suites with interior lobby access having exterior secondary or emergency egress doors. The building was designed to maximize efficiency of the lot. This was done by including parking around the entire building instead of a large parking lot in front of the building.

If the Board should decide to DENY the requested variance to permit the use of cabinet signs for wall signs, please use the following findings of fact:

The Noblesville Board of Zoning Appeals is authorized to approve or deny variances of use from the terms of the zoning ordinance. **The BZA may impose reasonable conditions as part of its approval. A Variance of Development Standards may be approved only upon a determination in writing that the following three (3) conditions are met (see Indiana Code § 36-7-4-918.5):**

1. The approval will not be injurious to the public health, safety, morals, and general welfare of the community:

It is likely that this variance will NOT be injurious to the public health, safety, morals, and general welfare of the community. Cabinet signs are prohibited sign type material by the current UDO. The approval of cabinet signs may set a precedence for allowing the use of cabinet signs, a prohibited sign per the UDO, with the approval of a variance.

2. The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner:

It is likely that the use and value of real estate adjacent to the subject site will NOT be affected in a substantially adverse manner by allowing the requested variance. Nearby property owners may remonstrate against this petition if they believe this request will have significant adverse effects on adjacent properties.

3. The strict application of the terms of the zoning ordinance will constitute an unnecessary hardship if applied to the property for which the variance is sought:

The strict application of the terms of the zoning ordinance WILL NOT result in practical difficulties in the use of the property because the applicant can conform with the current regulations of the UDO by installing wall signs made of individual channel letters mounted on a raceway attached to the building. This would allow for a minimum number of hardware required to fasten the sign to the building façade per the building owner's concern.

RECOMMENDATIONS

AGENDA ITEM #1:

APPROVE the requested Variance of Development Standards to permit an increase in the amount of wall signs allowed based upon the following findings of fact:

- The approval will not be injurious to the public health, safety, morals, and general welfare of the community;
- The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner; and
- The strict application of the terms of the zoning ordinance will constitute an unnecessary hardship if applied to the property for which the variance is sought.

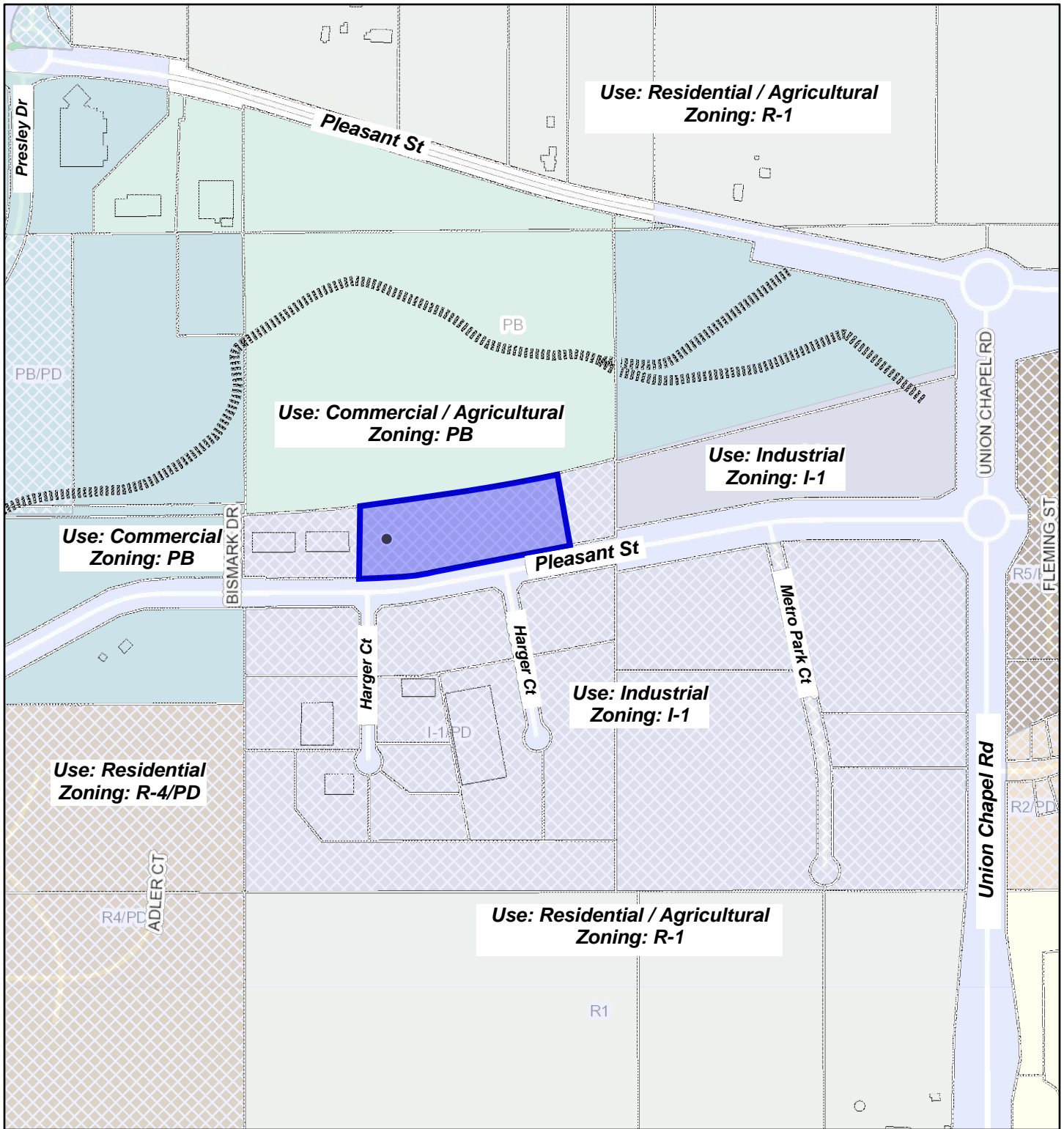
and DENY the requested Variance of Development Standards to permit the use of cabinet signs for wall signs based upon the following findings of fact:

- The approval will not be injurious to the public health, safety, morals, and general welfare of the community;
- The strict application of the terms of the zoning ordinance will constitute an unnecessary hardship if applied to the property for which the variance is sought.

With the following specific conditions:

1. The building shall be considered an externally accessed multi-tenant building for the purposes of sign regulations.
2. The building shall have a maximum of two (2) wall signs located above the second floor windows on the south elevation. The total sum of both wall signs shall not exceed 276 square feet.
3. The building shall also have a maximum of six (6) wall signs located above the first floor windows on the south elevation. These signs are intended to identify tenants within the building. Each sign shall not exceed 56 square feet. Each sign shall not exceed 5 feet in height.
4. The building shall have a directory wall sign not to exceed eight (8) square feet at each entrance to the interior lobby at the east side of the building.
5. All signs on the premises shall comply with Article 11 Signs of the Unified Development Ordinance in regard to sign type and permitted materials. No cabinet signs shall be permitted unless the UDO has been updated to allow cabinet signs as a permitted wall sign for externally accessed multi-tenant buildings.
6. The Applicant shall sign the Acknowledgement of Variance document prepared by the Planning and Development Department Staff within 60 days of this approval. Staff will then record this document against the property and a file stamped copy of such recorded document shall be available in the Department of Planning and Development.
7. Any alterations to the approved building plan or site plan, other than those required by the Board of Zoning Appeals (BZA), shall be submitted to the Planning and Development Department prior to the alterations being made, and if necessary, a BZA hearing shall be held to review such changes.

Exhibit 2 - Parcel Map



April 15, 2019

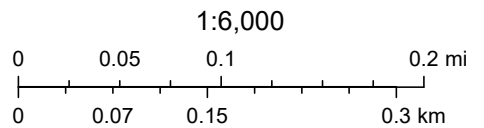
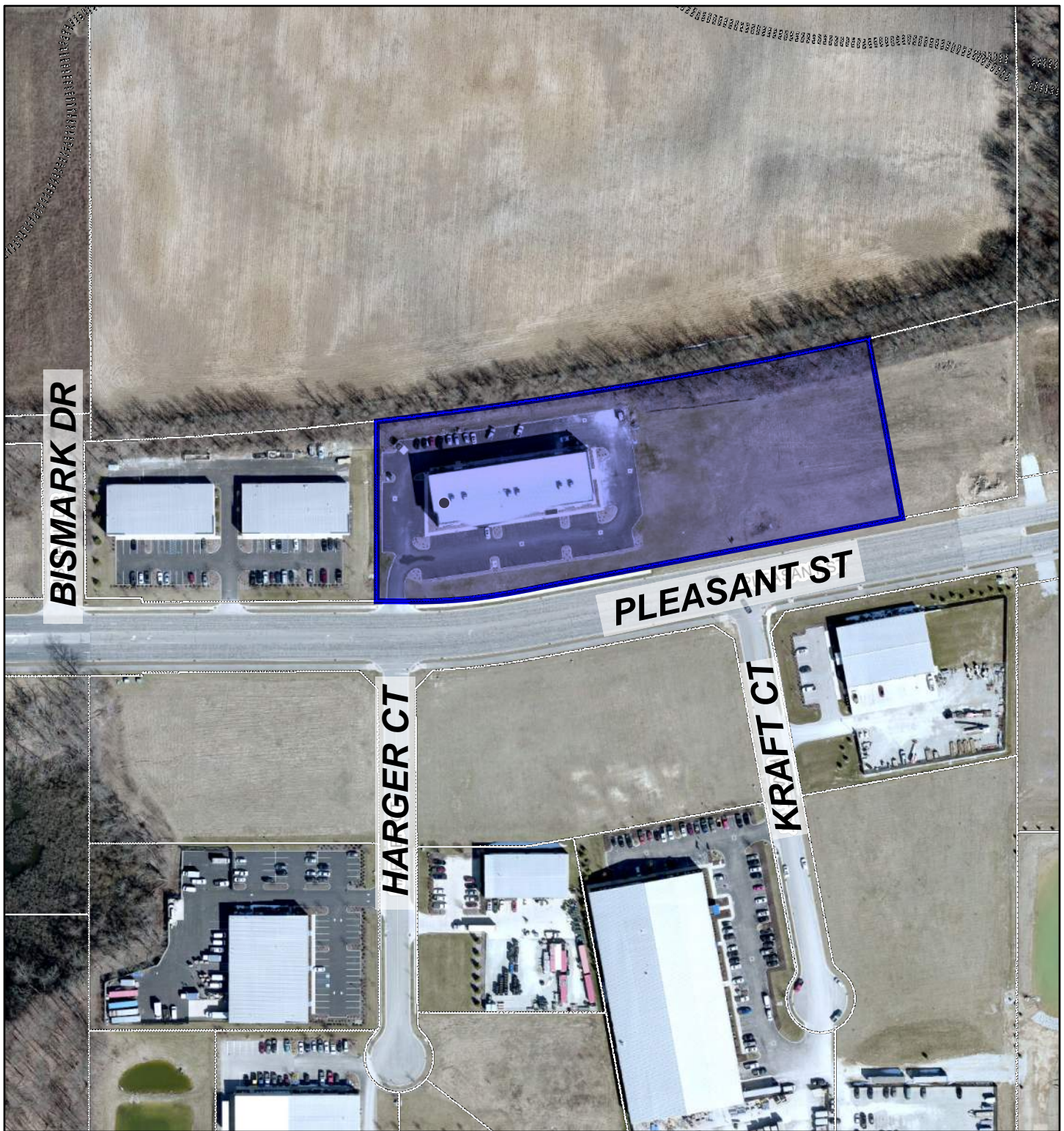


Exhibit 3 - Aerial Photo



April 15, 2019

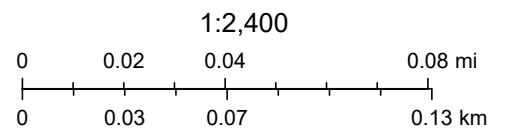


Exhibit 4 - Application



CITY OF NOBLESVILLE BOARD OF ZONING APPEALS VARIANCE OF DEVELOPMENT STANDARD APPLICATION

Application Number: BZNA 0040-2019

The undersigned requests a Variance of Development Standards as specified below. Should this variance request be approved, such approval shall only authorize the particular use described in this application and as further limited by reasonable conditions imposed upon such approval by the Board of Zoning Appeals.

Project Name or Occupant Name: 10400 Pleasant Street
Common Address 10400 Pleasant Street, Noblesville Indiana 46060

Applicant Name: Eye 4 Group, Kristen Dobbs, Agent

Applicant Address: 8621 Bash Street

Applicant City/State/Zip: Indianapolis In. 46256 E-mail: dobbs6178@gmail.com

Applicant Phone #1: 205-767-1143 Phone #2: 317-808-7949 Fax: N/A

Owner Name: Brad Rouddebush

Owner Address: 1616 Sheridian Road

Owner City/State/Zip: Noblesville In. 46060 E-mail: bradrouddebushgrading.com
roude1@sbcglobal.net

Owner Phone #1: 317-714-3915 Phone #2: _____ Fax: N/A

Property Location: Not located in a recorded subdivision, see legal description attached.

Subdivision Name: _____

Subdivision Section: _____ Lot Number: _____ Last Deed of Record Number _____

Existing Land Use: Commercial

Common Description of Request: signage variance

Zoning District of Property: L-1 Code Section(s) Appealed: UDO § _____

Date: March 1, 2019 Applicant's Signature: Kristen Dobbs

Agent for:
Eye 4 Group

The Noblesville Board of Zoning Appeals (BZA) is authorized to approve or deny Variances of Development Standard from the terms of the Unified Development Ordinance. The BZA may impose reasonable conditions as part of its approval. A Variance of Development Standard may be approved only upon a determination in writing that the following three (3) statements are true (see Indiana Code § 36-7-4-918.5):

1. The approval will not be injurious to the public health, safety, morals, and general welfare of the community. Explain why this statement is true in this case:

We are requesting a variance for signage, specifically the style of signage. We feel the cabinet style with halo back lighting is a more attractive, cleaner look with less clutter and enhances the overall aesthetics of the building. The overall color scheme blends well with the building.

2. The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner by the approval of this variance request. Explain why this statement is true in this case:

Any adjacent properties would be less impacted by a cabinet style sign with halo lighting than channel letter style signage due to halo lighting having a less "intensive effect". Channel letter lighting could be a distraction.

3. The strict application of the terms of the zoning ordinance will result in practical difficulties in the use of the subject property. Explain why this statement is true in this case:

Installing channel letters to the building will cause more damage to the facade than the cabinet style we are proposing. Future tenants in the spaces would only need sign face changes and the signs would be easier to service.



CITY OF NOBLESVILLE
BOARD OF ZONING APPEALS
VARIANCE OF DEVELOPMENT STANDARD APPLICATION

Application Number: BZNA-0056-2019

The undersigned requests a Variance of Development Standards as specified below. Should this variance request be approved, such approval shall only authorize the particular use described in this application and as further limited by reasonable conditions imposed upon such approval by the Board of Zoning Appeals.

Project Name or Occupant Name: 10400 Pleasant Street
Common Address 10400 Pleasant Street, Noblesville Indiana 46060

Applicant Name: Eye 4 Group, Kristen Dobbs / Agent

Applicant Address: 8621 Bash Street

Applicant City/State/Zip: Indianapolis In. 46256 E-mail: dobbs6178@gmail.com

Applicant Phone #1: 205-767-1143 Phone #2: 317-808-7949 Fax: N/A

Owner Name: Brad Roudebush

Owner Address: 1616 Sheridian Road

Owner City/State/Zip: Noblesville In. 46060 E-mail: brad@roudebushgrading.com
ronde1@sbcglobal.net

Owner Phone #1: 317-714-3715 Phone #2: _____ Fax: N/A

Property Location: Not located in a recorded subdivision, see legal description attached.

Subdivision Name: _____

Subdivision Section: _____ Lot Number: _____ Last Deed of Record Number _____

Existing Land Use: Commercial

Common Description of Request: Increase in the amount of wall signs allowed for an internally accessed multi-tenant building within an Integrated Development

Zoning District of Property: I-1/PD Code Section(s) Appealed: UDO § 11.C.1.F.3.c.1

Date: April 28, 2019 Applicant's Signature: Kristen Dobbs
Agent for: Eye 4 Group

The Noblesville Board of Zoning Appeals (BZA) is authorized to approve or deny Variances of Development Standard from the terms of the Unified Development Ordinance. The BZA may impose reasonable conditions as part of its approval. A Variance of Development Standard may be approved only upon a determination in writing that the following three (3) statements are true (see Indiana Code § 36-7-4-918.5):

1. The approval will not be injurious to the public health, safety, morals, and general welfare of the community. Explain why this statement is true in this case:

The signs will not be of any issue or concern to the community. This is simply the best way to display the remaining tenants signs on the building.

2. The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner by the approval of this variance request. Explain why this statement is true in this case:

The signs are small and will give off minimal light. From the adjacent properties the signs will look like any other building sign at night and a normal building sign with an over size raceway / backsplash during the day.

3. The strict application of the terms of the zoning ordinance will result in practical difficulties in the use of the subject property. Explain why this statement is true in this case:

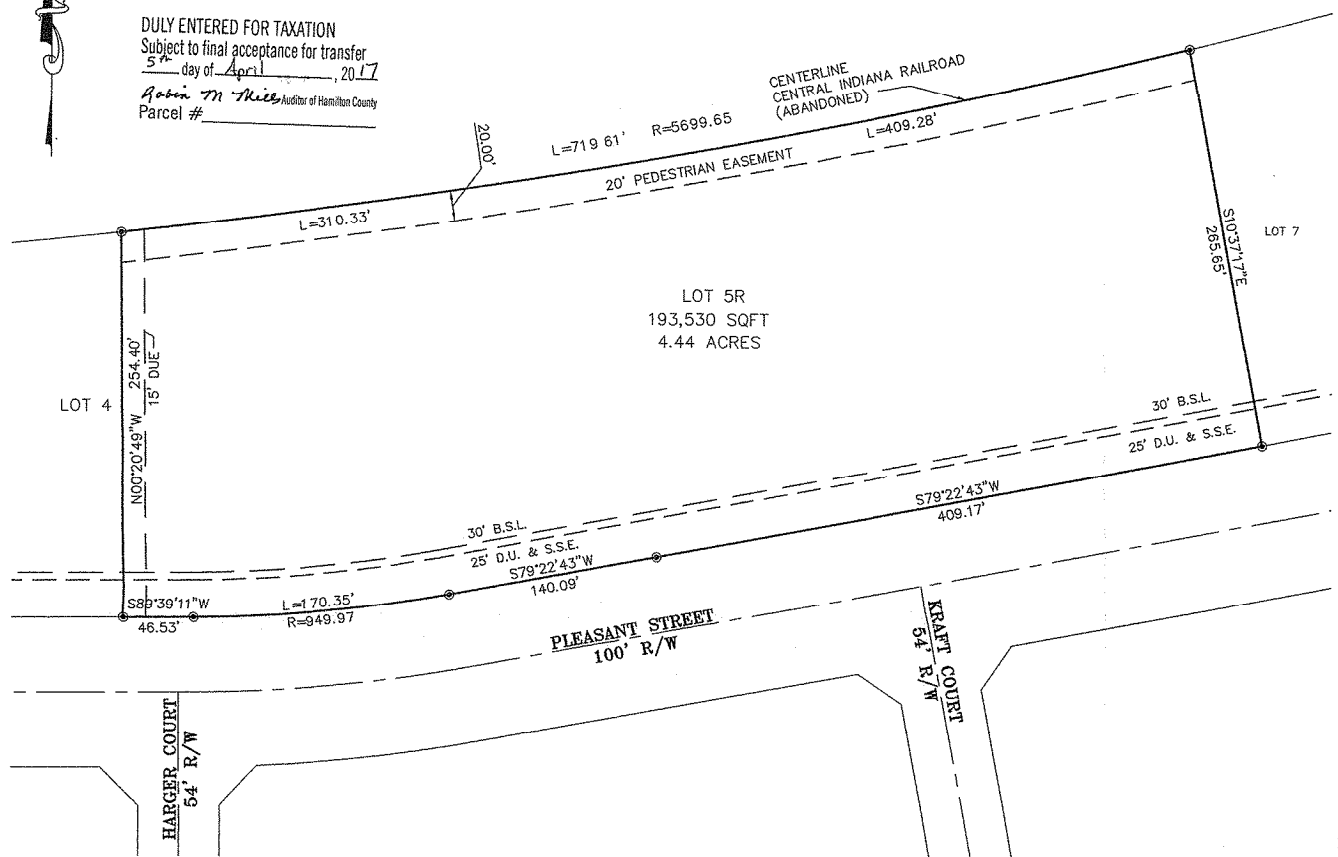
We created a design to minimize the potential damage to a brand new, beautiful concrete building that has a limited tenant space area for the remaining tenants. The small back-space will act as a wise way, minimizing the holes and penetration for mounting and wiring. We fill the design helps compliment the metal awnings and trim work on the building and enhances the look of the signs at the same time, breaks them up a bit. If the same design was mounted directly to the building the signs would look crowded and run together. We created this look to keep uniformity and keep the buildings clean.

SECONDARY PLAT
REPLAT OF PLEASANT STREET COMMERCIAL PARK
LOT # 5 AND #6 IN PLEASANT STREET COMMERCIAL PARK
NOBLESVILLE TOWNSHIP, HAMILTON COUNTY, INDIANA

2017014854 PLAT \$26.00
 04/05/2017 03:13:04P 2 PGS
 Jennifer Hayden
 HAMILTON County Recorder IN
 Recorded as Presented

PLS side load

DULY ENTERED FOR TAXATION
 Subject to final acceptance for transfer
 5th day of April, 2017
 Robin M. Riis Auditor of Hamilton County
 Parcel # _____



OWNER / SUBDIVIDER / DEVELOPER

Roudy 5, L.L.C.
 1816 Sheridan Rd
 Noblesville, IN 46060

SOURCE OF TITLE

Roudy 5 L.L.C.
 INSTRUMENT No. 2017-07360

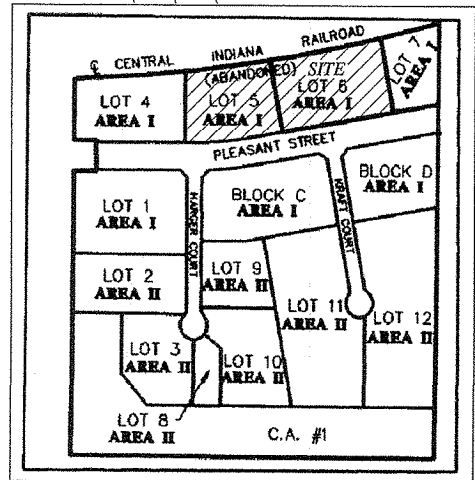
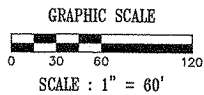
ZONING

I-1/PD

THIS INSTRUMENT PREPARED BY:
 K. NATHAN ALTHOUSE
 MILLER SURVEYING, INC.
 948 CONNER STREET
 NOBLESVILLE, IND. 46060
 Ph 773-2644 Fx 773-2694
 DATE: OCTOBER 26, 2016
 Job No. B3688B

LEGEND

- R/W RIGHT-OF-WAY
- ⊙ 5/8" IRON ROD WITH YELLOW CAP STAMPED "MILLER S0083" SET
- B.S.L. BUILDING SET BACK LINE
- DUE DRAINAGE AND UTILITY EASEMENT
- S.S.E. SANITARY SEWER EASEMENT



pc 5 slide 662

SECONDARY PLAT
REPLAT OF PLEASANT STREET COMMERCIAL PARK
LOT # 5 AND #6 IN PLEASANT STREET COMMERCIAL PARK
NOBLESVILLE TOWNSHIP, HAMILTON COUNTY, INDIANA

LAND DESCRIPTION

DESCRIPTION PER INSTRUMENT No. 2017-D736D

LOT #5 IN THE PLAT OF PLEASANT STREET, AS PER PLAT OF SAID ADDITION, RECORDED AS INST. #2DD700416 IN PLAT CABINET 4 SLIDE 228 IN THE OFFICE OF THE RECORDER OF HAMILTON COUNTY, INDIANA.

AND

LOT #6 IN THE REPLAT OF PLEASANT STREET, BLOCK "A", AS PER PLAT OF SAID ADDITION, RECORDED AS INST. #20070670912 IN PLAT CABINET 4 SLIDE 405 IN THE OFFICE OF THE RECORDER OF HAMILTON COUNTY, INDIANA.

CERTIFICATE OF SURVEY

THIS SUBDIVISION CONSISTS OF 1 LOT NUMBERED LOT 5R.

THE SIZE OF LOTS AND WIDTH OF STREET ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

I, K. NATHAN ALTHOUSE, THE UNDERSIGNED CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, LICENSED IN COMPLIANCE WITH THE LAWS OF THE STATE OF INDIANA AND THAT THE WITHIN PLAT REPRESENTS A SUBDIVISION OF THE LANDS SURVEYED WITHIN THE CROSS REFERENCED SURVEY PLAT, AND THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THERE HAS BEEN NO CHANGE FROM THE MATTERS OF THE SURVEY REVEALED BY THE CROSS-REFERENCE SURVEY AND ANY LINES THAT ARE COMMON WITH THE NEW SUBDIVISION.

WITNESS MY SIGNATURE THIS 6TH DAY OF MARCH, 2017.

K. Nathan Althouse

K. NATHAN ALTHOUSE, PLS
PROFESSIONAL LAND SURVEYOR No. LS 20400007
STATE OF INDIANA



OWNERS CERTIFICATE

THE UNDERSIGNED Roudy 5, L.L.C., OWNER OF THE REAL ESTATE SHOWN HEREIN AND RECORDED IN THE OFFICE OF THE RECORDER OF HAMILTON COUNTY, INDIANA AS INSTRUMENT No. 2016-41822, DO HEREBY CERTIFY THAT WE HAVE LAID OFF, PLATTED AND SUBDIVIDED AND DO HEREBY LAY OFF, PLAT AND SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THE WITHIN PLAT.

THIS SUBDIVISION SHALL BE KNOWN AND DESIGNATED AS REPLAT OF PLEASANT STREET COMMERCIAL PARK LOT # 5 AND #6 IN PLEASANT STREET COMMERCIAL PARK

ALL STREETS SHOWN AND NOT HEREFORRE DEDICATED, ARE HEREBY DEDICATED TO THE PUBLIC.

IN TESTIMONY WHEREOF, WITNESS THE SIGNATURES OF OWNER AND DECLARANT

THIS 8TH DAY OF MARCH, 2017.

OWNER

Charles Bradley Roudebush

Charles Bradley Roudebush / President, Roudy 5 L.L.C.

STATE OF INDIANA }
 } SS
COUNTY OF HAMILTON)

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED AND ACKNOWLEDGED THE EXECUTION OF THE INSTRUMENT AS HIS VOLUNTARY ACT AND DEED AND AFFIX HIS SIGNATURE THERETO.

WITNESS MY SIGNATURE AND SEAL THIS 8TH day of MARCH 2017

Deborah Green
NOTARY PUBLIC

DEBORAH GREEN
PRINTED NAME



COUNTY OF RESIDENCE: Hamilton
MY COMMISSION EXPIRES: 12-19-23

COMMISSION CERTIFICATE

UNDER THE AUTHORITY PROVIDED BY ACTS OF 1981 P.C. 309 ENACTED BY THE GENERAL ASSEMBLY OF THE STATE OF INDIANA, AND ALL ACTS AMENDATORY THERETO AND ORDINANCE ADOPTED BY THE COMMON COUNCIL OF THE CITY OF NOBLESVILLE INDIANA, THIS PLAT WAS GIVEN APPROVAL BY THE CITY OF NOBLESVILLE AS FOLLOWS:

ADOPTED BY THE PLAN COMMISSION AT A MEETING HELD DECEMBER 19, 2005

NOBLESVILLE CITY PLAN COMMISSION

Malinda Wilcox
MALINDA WILCOX, PRESIDENT

Sarah Reed
SARAH REED, AICP, SECRETARY

BOARD OF PUBLIC WORKS AND SAFETY'S CERTIFICATE

THIS PLAT WAS GIVEN APPROVAL BY THE BOARD OF PUBLIC WORKS AND SAFETY OF THE CITY OF NOBLESVILLE INDIANA, AT A MEETING HELD ON THE 28TH DAY OF MARCH 2017.

Jack Martin
JACK MARTIN

Larry Stork
LARRY STORK

John Ditslear
JOHN DITSLER, MAYOR

Emelyn L. Lees
EVELYN LEES, CLERK-TREASURER

I, SARAH REED, AS DIRECTOR OF PLANNING AND DEVELOPMENT FOR THE CITY OF NOBLESVILLE, HEREBY CERTIFY THAT THE APPLICATION FOR APPROVAL OF THIS PLAT MEETS ALL OF THE MINIMUM REQUIREMENTS SET FORTH IN THE MASTER PLAN OF NOBLESVILLE, INDIANA AND SUCH OTHER APPLICABLE REQUIREMENTS CONTAINED IN THE CODE OF ORDINANCES OF THE CITY OF NOBLESVILLE, APRIL 12, 1999, AS AMENDED.

Sarah Reed
SARAH REED, AICP
DIRECTOR OF PLANNING AND DEVELOPMENT

DATE: 4/5/17

OWNER / SUBDIVIDER / DEVELOPER

Roudy 5, L.L.C.
1616 Sheridan Rd
Noblesville, IN 46060

SOURCE OF TITLE

Roudy 5 L.L.C.
INSTRUMENT No. 2017-07360

ZONING

I-1/PD

THIS INSTRUMENT PREPARED BY:
K. NATHAN ALTHOUSE
MILLER SURVEYING, INC.
948 CONNER STREET
NOBLESVILLE, IND. 46060
Ph 773-2644 Fx 773-2694
DATE: OCTOBER 26, 2016
Job No. 636898

I AFFIRM, UNDER THE PENALTIES FOR PERJURY, THAT I HAVE TAKEN REASONABLE CARE TO REDACT EACH SOCIAL SECURITY NUMBER IN THE DOCUMENT, UNLESS REQUIRED BY LAW (KEITH NATHAN ALTHOUSE).

REVISED Sign Plans

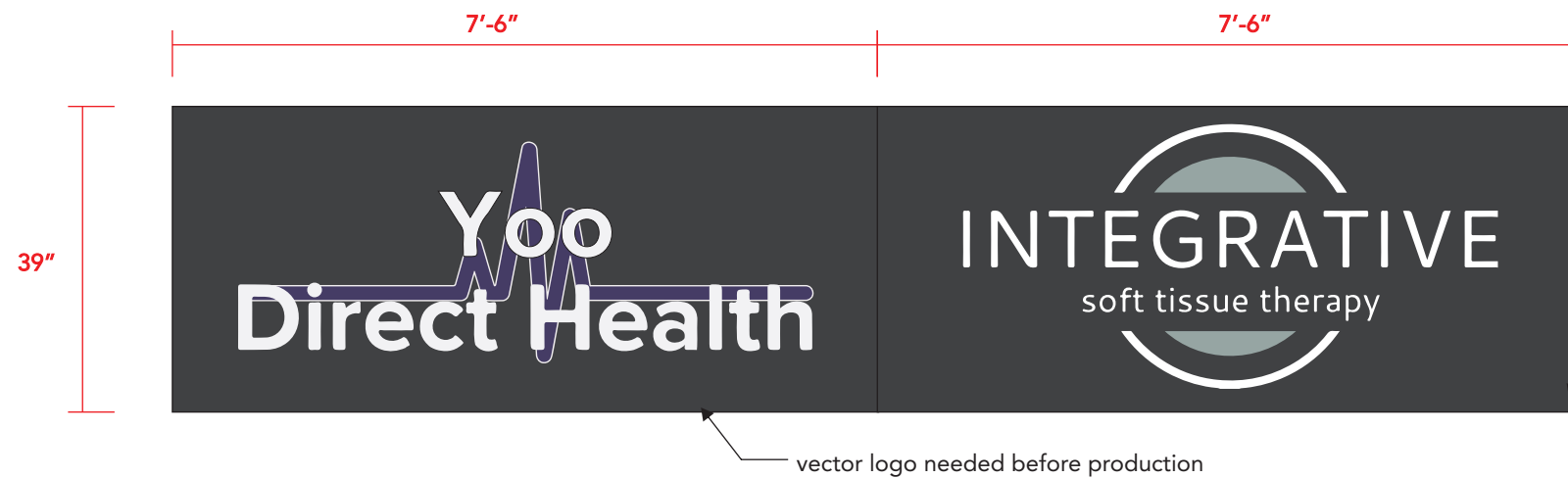


RACEWAY DETAILS

- aluminum fabricated raceway (4 total)
- limits wall penetrations for mounting and power holes
- each wireway contains 1- 60w-120V power supply
- service/disconnect switch located on each end
- painted to match existing building awning

LETTER DETAILS

- letters are 1/2" thick face and edge lit acrylic with white LED illumination
- first surface applied translucent and opaque graphics.



elevation view 28 sq ft each
scale: 1/2"=1'-0"

www.eye4group.com

13095 Parkside Dr.
Fishers, IN 46038
317.804.4080

sales representative:

J.R. Knight

317.402.8200

designer:

RS

color specs:

quote #

work order #

date:

4/16/19

version:

CONCEPT v7

approval (initials):

Exhibit 5 - Sign Plans

page

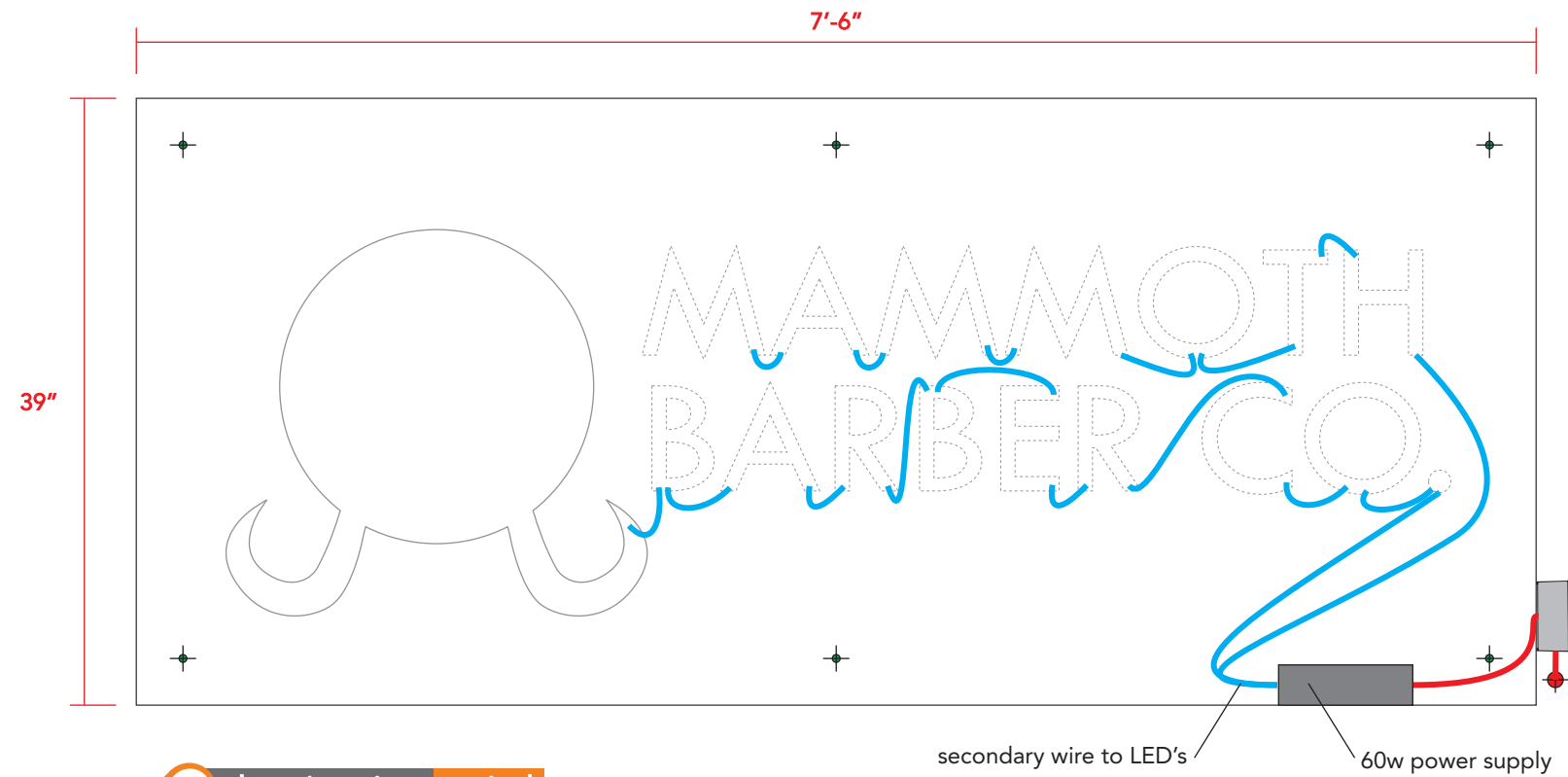
1 of 3

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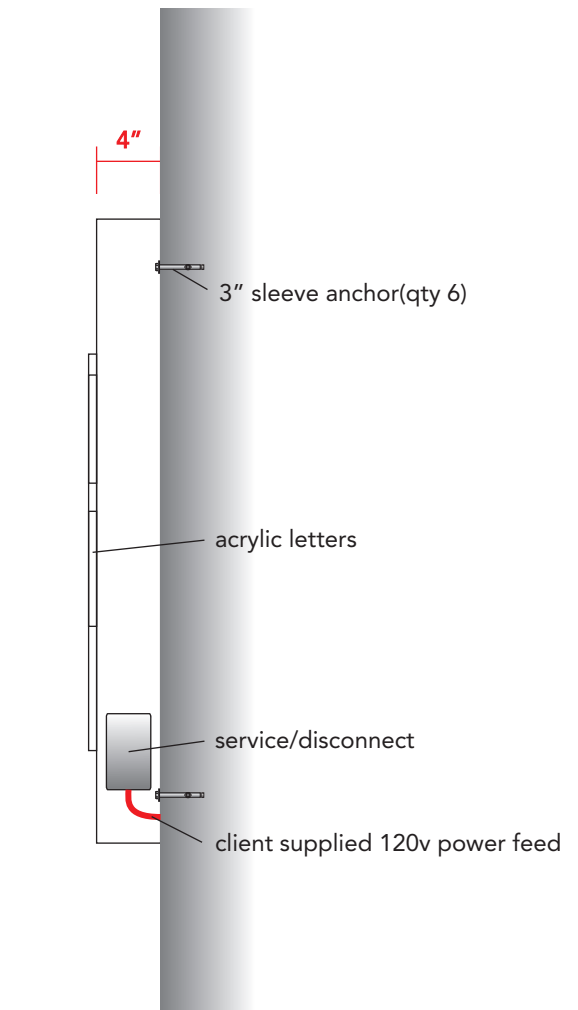
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REVISED Sign Plans



elevation view typical
scale: 1"=1'-0"



section view typical
scale: 1"=1'-0"

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Fishers, IN 46038
317.804.4080

sales representative:

J.R. Knight

317.402.8200

designer:

RS

color specs:

quote #

work order #

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2 of 3

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REVISED Sign Plans



 elevation view
scale: NTS

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317.804.4080

sales representative:

J.R. Knight

317.402.8200

designer:

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color specs:

quote #

work order #

date:

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version:

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approval (initials):

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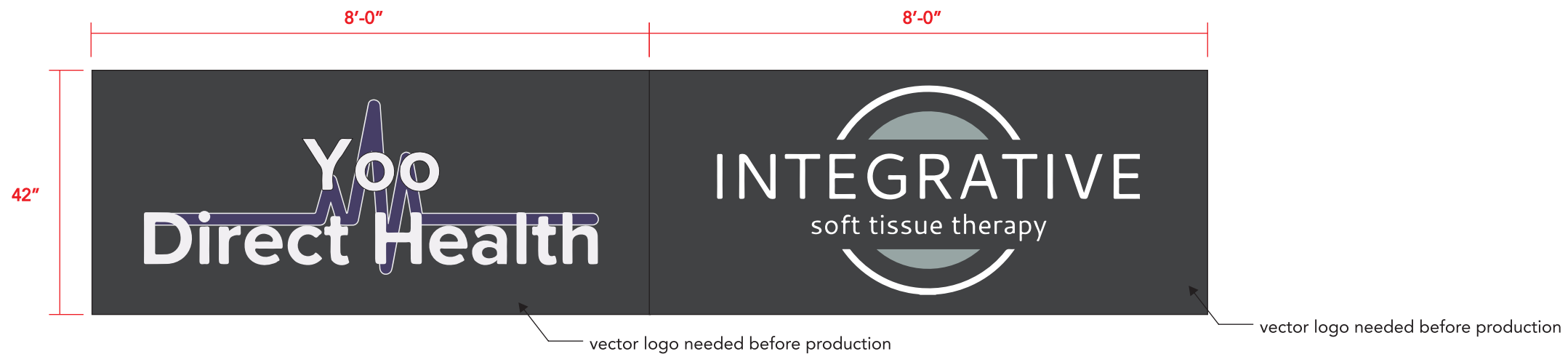
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ORIGINAL Sign Plans



elevation view 28 sq ft each
scale: 1/2"=1'-0"

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317.804.4080

sales representative:

J.R. Knight

317.402.8200

designer:

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color specs:

quote #

work order #

date:

2/19/19

version:

CONCEPT v4

approval (initials):

page

1 of 2

ORIGINAL Sign Plans



 elevation view
scale: NTS

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J.R. Knight

317.402.8200

designer:

RS

color specs:

quote #

work order #

date:

2/19/19

version:

CONCEPT v4

approval (initials):

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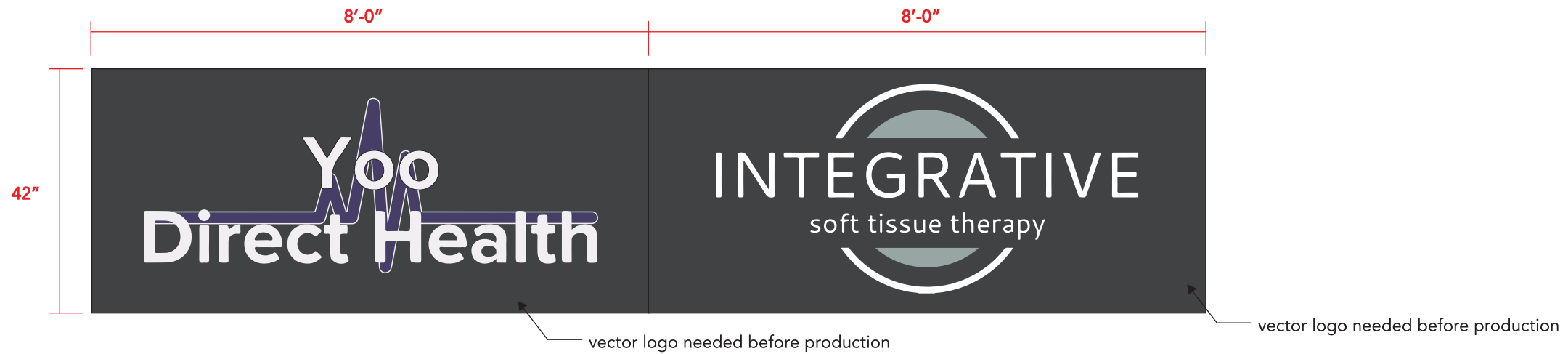
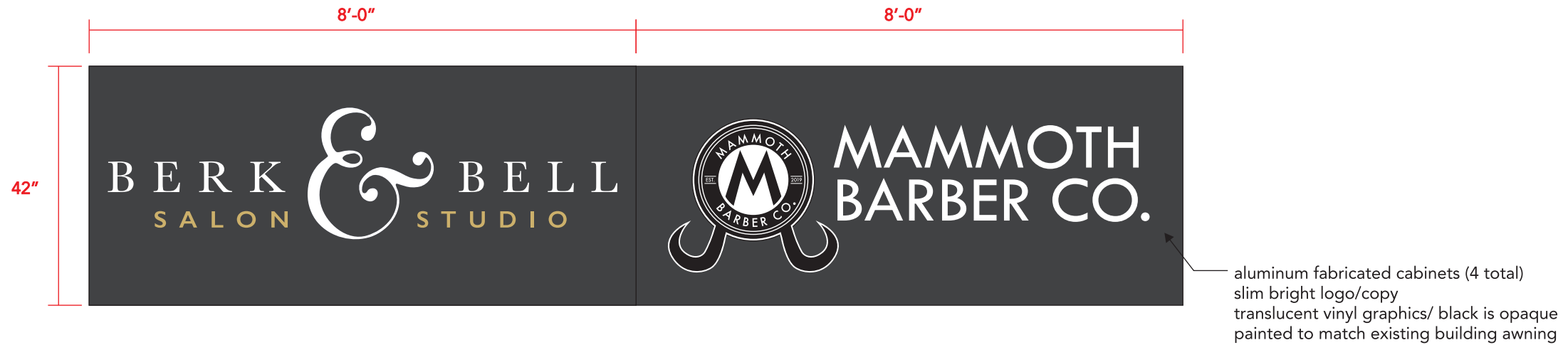
2 of 2

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ORIGINAL Sign Plans



elevation view 28 sq ft each
scale: 1/2" = 1'-0"

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 elevation view
scale: NTS

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NOT FOR CONSTRUCTION

GENERAL UTILITY NOTES

- THE CONTRACTOR SHALL CONTACT ALL APPLICABLE UTILITIES AND VERIFY ANY AND ALL FEES ASSOCIATED WITH THE INSTALLATION OF ALL UTILITIES.
- PROVIDE THRUST BLOCKS FOR ALL WATER LINE BENDS AND TEES, INCLUDING TAP CONNECTION.
- CONTRACTOR SHALL COORDINATE WITH WATER COMPANY FOR DOMESTIC AND FIRE SERVICE. CONNECT TO BUILDING DOMESTIC AND FIRE LINE AND MAINTAIN MIN. COVERAGE REQUIRED BY INDIANA AMERICAN WATER COMPANY. COORDINATE WITH PLUMBING DRAWINGS.
- COORDINATE LOCATION OF ELECTRICAL AND TELECOM LINES WITH LOCAL UTILITIES.
- COORDINATE LOCATION AND SIZE OF GAS SERVICE CONNECTION AND INSTALLATION OF SERVICE LINE AND METER WITH GAS COMPANY.
- COORDINATE LOCATIONS AND CONNECTIONS OF BUILDING STORM LINES WITH MECHANICAL DRAWINGS.
- VERIFY EXISTING INVERT AND LOCATION OF SANITARY SEWER, ADJUST INVERTS AS REQUIRED, DOCUMENT ANY CHANGES.
- MAINTAIN 10' HORIZONTAL AND 18" VERTICAL CLEARANCE BETWEEN STORM / SANITARY SEWER SYSTEMS AND DOMESTIC/FIRE LINE SERVICE.
- FOLLOW ALL LOCAL AND STATE CODES IN REFERENCE TO DOMESTIC/FIRE LINE INSTALLATION AND STORM SEWER / SANITARY SEWER INSTALLATION.
- COORDINATE LOCATION OF REQUIRED CONDUITS FOR LIGHT POLES, TELEPHONE SERVICE AND IRRIGATION SYSTEM.
- COORDINATE UTILITY CONDUITS WITH SERVICE PROVIDERS.
- SANITARY SEWER LATERAL, WATER SERVICE, & ELECTRICAL/TELEPHONE CONDUITS SHALL BE BACKFILLED WITH GRANULAR MATERIAL FOR ENTIRE LENGTH OF TRENCH.

SITE PLAN GENERAL NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, OR VERIFYING THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY, AND STATE AGENCIES PRIOR TO STARTING CONSTRUCTION.
- ALL QUANTITIES GIVEN ON THESE PRINTS ARE ESTIMATES AND SHALL BE CONFIRMED BY THE BIDDING CONTRACTORS.
- OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS: FINAL RULE 29 CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRE THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER.
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND CONTRACTOR TO MAINTAIN QUALITY CONTROL THROUGHOUT THIS PROJECT.
- TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL STANDARDS.
- BEARINGS, DIMENSIONS, AND EASEMENTS ARE SHOWN FOR REFERENCE ONLY. SEE RECORD SURVEY ON SHEET 1 FOR EXACT INFORMATION.
- THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND METHODS ASSOCIATED WITH THE PROJECT.
- ALL RADIUS DIMENSIONS ARE BASED ON FACE OF CURB.
- SEE ARCHITECTURAL PLANS FOR DETAILS OF BUILDING AND SIGNAGE SPECIFICATIONS. SEE FOUNDATION PLAN FOR BUILDING DIMENSIONS.
- FIELD VERIFY EXISTING CURBS AND TAPER PROPOSED VERTICAL CURBS TO MATCH WITHIN A MIN. OF THREE (3) FEET.
- ± DIMENSIONS INDICATE FIELD DIMENSION ADJUSTMENT AREA BASED ON ACTUAL FIELD LAYOUT COORDINATES.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS. IF ANY DISCREPANCIES ARE FOUND IN THESE PLANS FROM ACTUAL FIELD CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- PROVIDE SMOOTH TRANSITION FROM NEWLY PAVED AREAS TO EXISTING AREAS AS NECESSARY. ALL AREAS WHERE PROPOSED PAVEMENT MEETS EXISTING PAVEMENT, THE EXISTING EDGE OF PAVEMENT SHALL BE FREE OF ALL LOOSE DEBRIS. THE EDGE OF EXISTING ASPHALT PAVEMENT SHALL BE PROPERLY SEALED WITH A TACK COAT MATERIAL IN ALL AREAS WHERE NEW ASPHALT PAVEMENT IS INDICATED TO JOIN EXISTING.
- RESURFACE OR RECONSTRUCT TO ORIGINAL CONDITIONS ALL AREAS WHERE THE EXISTING PAVEMENT OR LAWNS ARE DAMAGED DURING CONSTRUCTION FROM TRAFFIC BY CONTRACTORS, SUBCONTRACTORS, OR SUPPLIERS AFTER CONSTRUCTION WORK IS COMPLETE.
- THE CONTRACTOR SHALL PROTECT THE PROPERTY CORNER MONUMENTS DURING CONSTRUCTION.
- REFER TO ARCHITECTURAL PLANS FOR BUILDING ACCESSORY DETAILS.
- DUST CONTROL MEASURES SHALL BE PROVIDED BY POST CONSTRUCTION SWPPP MEASURES. ADDITIONALLY, GRAVEL AREA SHALL BE SPRAYED DOWN DURING DRY WEATHER CONDITIONS VIA HOSE AT BACK OF BUILDING.

LEGEND

- FIBER OPTIC
- SANITARY SEWER, MANHOLE
- SANITARY STUB MARKER
- STORM SEWER, HEADWALL, CURB INLET, MANHOLE
- GAS, VALVE, MARKER
- WATER, FIRE HYDRANT, METER, VALVE
- UNDERGROUND COMMUNICATION, PEDESTAL, JUNCTION BOX
- UNDERGROUND ELECTRIC, PEDESTAL, TRANSFORMER
- OVERHEAD UTILITY, GUY WIRE, POLE, PEDESTAL
- BOARD FENCE
- FARM FENCE
- FLOW LINE
- INDEX CONTOUR
- INTERMEDIATE CONTOUR
- TREE LINE
- GROUND ELEVATION
- CONIFEROUS TREE
- DECIDUOUS BUSH
- DECIDUOUS TREE
- POST
- SIGN
- MAIL BOX
- BOLLARD
- TEMPORARY BENCH MARK
- TOP OF CASTING
- INVERT
- REINFORCED CONC. PIPE
- PVC
- POLY VINYL CHLORIDE
- HIGH DENSITY POLYETHYLENE PIPE
- HOPE
- M.H. MANHOLE
- STR. STRUCTURE
- EX. EXISTING
- ROW
- RIGHT-OF-WAY
- B-B
- BACK OF CURB
- APPROX. APPROXIMATE
- ELEV. ELEVATION
- CONC. CONCRETE
- LP
- LOW POINT
- HP
- HIGH POINT
- ME
- MATCH EXISTING
- TYF
- TYPICAL
- LAT. LATERAL
- B.S.L.
- BUILDING SETBACK LINE
- SSD
- SUB-SURFACE DRAIN
- AC
- ACRE
- SF
- SQUARE FEET
- R
- RADIUS
- V.W.
- VARIABLE WIDTH
- M.L.A.G.
- MINIMUM LOWEST ADJACENT GRADE
- FFE
- FINISH FLOOR ELEVATION
- STR
- CURVE RADIUS (FACE OF CURB)
- DUE
- DRAINAGE & UTILITY EASEMENT
- D.U. & S.S.E.
- DRAINAGE, UTILITY & SANITARY PEDESTAL EASEMENT
- STORM STR. LABEL
- RIGHT-OF-WAY
- SPACE BASED ON PIPE SIZE
- STORM SEWER, CONC. END SECTION, CURB INLET, YARD INLET, MANHOLE
- EXISTING SANITARY SEWER, MANHOLE

UTILITY PLAN NOTES

SANITARY SEWER NOTES

- CONNECT PROPOSED 8" SANITARY SEWER LATERAL TO EXISTING SANITARY SEWER LATERAL AS SHOWN. COORDINATE THE CONNECTION WITH MEP. PROVIDE CLEANOUTS AS REQUIRED/SHOWN. VERIFY INVERTS ON EXISTING LATERAL AND COORDINATE CONDITIONS WITH MEP. ADJUST AS REQUIRED.
- PROPOSED UTILITY CLEANOUT (TYPICAL). REFER TO DETAIL ON SHEET C400.
- PROPOSED UTILITY CLEANOUT WITH BACKWATER PREVENTION VALVE. REFER TO DETAIL ON SHEET C400.

WATER SERVICE NOTES:

- COORDINATE CONNECTION OF WATER SERVICE LINE TO EXISTING 8" WATER LINE.
- COORDINATE CONNECTION OF BUILDING WATER LINE SERVICE METER LOCATION WITH LOCAL SERVICE PROVIDER.
- EXISTING FIRE HYDRANT.
- PROPOSED 2" SERVICE LINE.
- PROPOSED 6" FIRE PROTECTION LINE.

ELECTRIC NOTES:

- COORDINATE AND CONNECT BUILDING ELECTRICAL LINE TO ELECTRICAL TRANSFORMER. COORDINATE CONNECTION WITH THE POWER COMPANY PER THE ELECTRICAL DRAWINGS AND ADJUST AS REQUIRED. 2"-4" EC CONDUITS TO BE INSTALLED WITH PULL STRINGS.

COMMUNICATION NOTES:

- COORDINATE AND CONNECT BUILDING COMMUNICATION SERVICE LINE(S) TO CONNECTION POINT AS PROVIDED. ADJUST AS REQUIRED. 2" PVC CONDUIT TO BE INSTALLED WITH PULL STRINGS.

GAS SERVICE NOTES:

- CONNECT PROPOSED GAS SERVICE TO EXISTING GAS LINE. REFER TO PLUMBING DRAWINGS AND COORDINATE WITH SERVICE PROVIDER.

SITE DATA

SITE AREA = 2.269 AC
ZONING = PD, PLEASANT STREET BUSINESS PARK

PARKING REQUIRED:
OFFICE: 6000 s.f. = 20
WAREHOUSE: 18000 s.f. = 23
TOTAL = 43

PARKING PROVIDED:
83 - STANDARD SPACES
3 - ADA SPACES
86 - TOTAL SPACES

SITE PLAN NOTES

PAVEMENT

- STANDARD DUTY ASPHALT PAVING. SEE DETAIL ON SHEET C400
- HEAVY DUTY ASPHALT PAVING. SEE DETAIL ON SHEET C400
- CONCRETE PAVING. SEE DETAIL ON SHEET C400
- MATCH EXISTING PAVEMENT
- CONCRETE RIGHT-OF-WAY PAVING. SEE NOBLESVILLE DETAILS PAGE 3 OF 13
- CONCRETE APRON. SEE DETAIL ON SHEET C400

HARDSCAPE

- 6" CURB. SEE PAGE 3 OF 13
- 5' SIDEWALK
- INTEGRAL WALK AND CURB. SEE DETAIL ON SHEET C400
- ADA ACCESSIBLE RAMP
- CONCRETE TRANSFORMER PAD (PER POWER COMPANY REQUIREMENT)
- CONCRETE STOOP. SEE DETAIL ON SHEET C400

ACCESSORIES

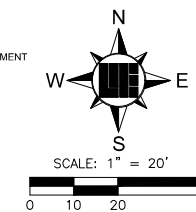
- PIPE BOLLARD
- BACKWATER PREVENTION VALVE. SEE DETAIL ON SHEET C400
- STORMWATER CLEANOUT
- 8x24" TRASH DUMPSTER PAD

SIGNAGE & MARKINGS

- ADA PARKING SPACE AND SIGN. SEE DETAIL ON SHEET C400
- PARKING STRIPING

PAVEMENT

- CONCRETE RIGHT-OF-WAY PAVEMENT
- STANDARD DUTY ASPHALT
- CONCRETE PAVEMENT
- SIGN
- HANDICAPPED SPACE
- PARKING COUNT



PLAN CERTIFICATE NOTE:

ORIGINAL TOPOGRAPHIC SURVEY
PREPARED BY MILLER SURVEYING, INC.

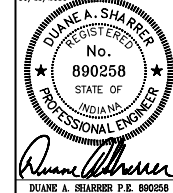
Within Indiana Call
811 or 800-382-5544
24 Hours a Day, 7 Days a Week.
PER INDIANA STATE LAW IC 8-1-26,
IT IS AGAINST THE LAW TO EXCAVATE
WITHOUT NOTIFYING THE UNDERGROUND
LOCATION SERVICE TWO (2) WORKING
DAYS BEFORE COMMENCING WORK.

10505 N. College Avenue
Indianapolis, Indiana 46280
weihe.net
317 | 846 - 6611
800 | 452 - 6408
317 | 843 - 0546/fax
ALLAN H. WEIHE, P.E., L.S., FOUNDER

WEIHE ENGINEERS
Land Surveying | Civil Engineering
Landscape Architecture

PROJECT NO.: 16030
SHEET NO.: 303
DATE: 10/31/2016
DESIGNED BY: SCS
DRAWN BY: SCS
CHECKED BY: KCS

REVISIONS AND ISSUES
DATE: 10/31/2016
BY: SCS
REVISION: REVISE DUMPSTER PAD/DRAINAGE PER AGENCY COMMENTS
DATE: 10/18/2017
BY: SCS
REVISION: REVISE TRANSFORMER PAD LOCATION PER DUE DILIGENCE REQUEST



DUANE A. SHARBER P.E. 890258

PREPARED FOR:
MIDLAND BUILDING I
DESIGN & BUILD CORPORATION
SITE/UTILITY PLAN
Part of the Instrument 1/4 of Section 6, Township 18 North, Range 6 East, Madeline Township, Hamilton County, Indiana
SHEET NO.:
C300
PROJECT NO.:
W16.0388

LOCATION: H:\2016\W160388\Engineering\Design\Comm\C300_Site_Plan.dwg
DATE/TIME: 10/31/2016 11:25:29am
PLOTTER: HP DesignJet 5000

Exhibit 6 - Site Photos



Looking northeast to the south building elevation along Pleasant Street.



Looking northwest to the south building elevation along Pleasant Street.



Looking southwest to north building elevation from the rear parking area. Also shows entrances to Suites 270, 190 and 185 from left to right.



Looking southwest to north building elevation from the rear parking/trash enclosure area. Also shows entrance to Suite 130.



Suite 130 Entrance and Sign – Three Kings Athletics



East Lobby Entrance. Studio 105 and Dance Magic Signs.



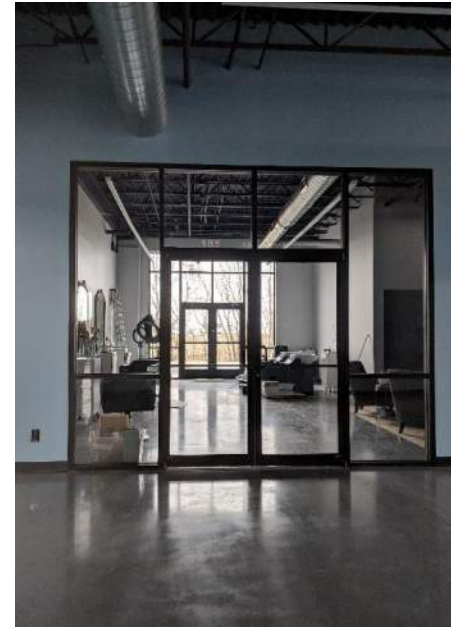
Panorama photo of the south side of Pleasant Street from the project site.



Suite 160 Entrance - Studio 105



Suite 180 Entrance – Yoo Direct Health & Integrative Soft Tissue



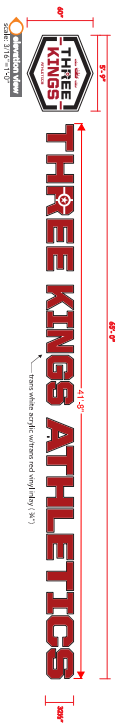
Suite 185 – Berk & Bell Salon



Suite 190 – Mammoth Barber



Suite 270 – Dance Magic Studios



3048 x 3095 = 9372 sq. ft. max sign size
 (3 x 5.5) + (4 x 2' x 2.71) =
 28.55 + 12.84 = 41.39 sq. ft. ap

APPROVED
 Discretionary 12/04/2017



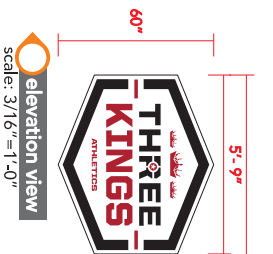
elevation view
 scale: NTS

www.eye4group.com
 7169 E. 87th St.
 Indy, IN 46256
 317.804.4090
 sales representative:
 J.R. Knight
 317-402-8200
 project manager:
 Andrew Morrison
 859-816-1888
 sign type key:

quote/sales order #	---
date:	10.27.2017
version:	1

illuminated channel letters-Flush Mounted

OPTION 2



THREE KINGS ATHLETICS

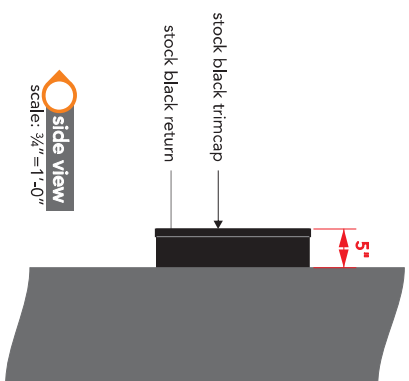
trans white acrylic w/trans red vinyl inlay (3/4")

65'-0"

32 1/2"



elevation view
scale: NTS



signable wall area=800 sq ft
sign sq ft = 325

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13095 Parkside Dr. Fishers, IN 46038 317.804.4080
sales representative: J.R. Knight 317.402.8200
designer: RS
color specs:
quote #
work order #
date: 11/20/17
version: CONCEPT-4
approval (initials):
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 Brock Roberts

317.804.4205

designer:
 CH

color specs:

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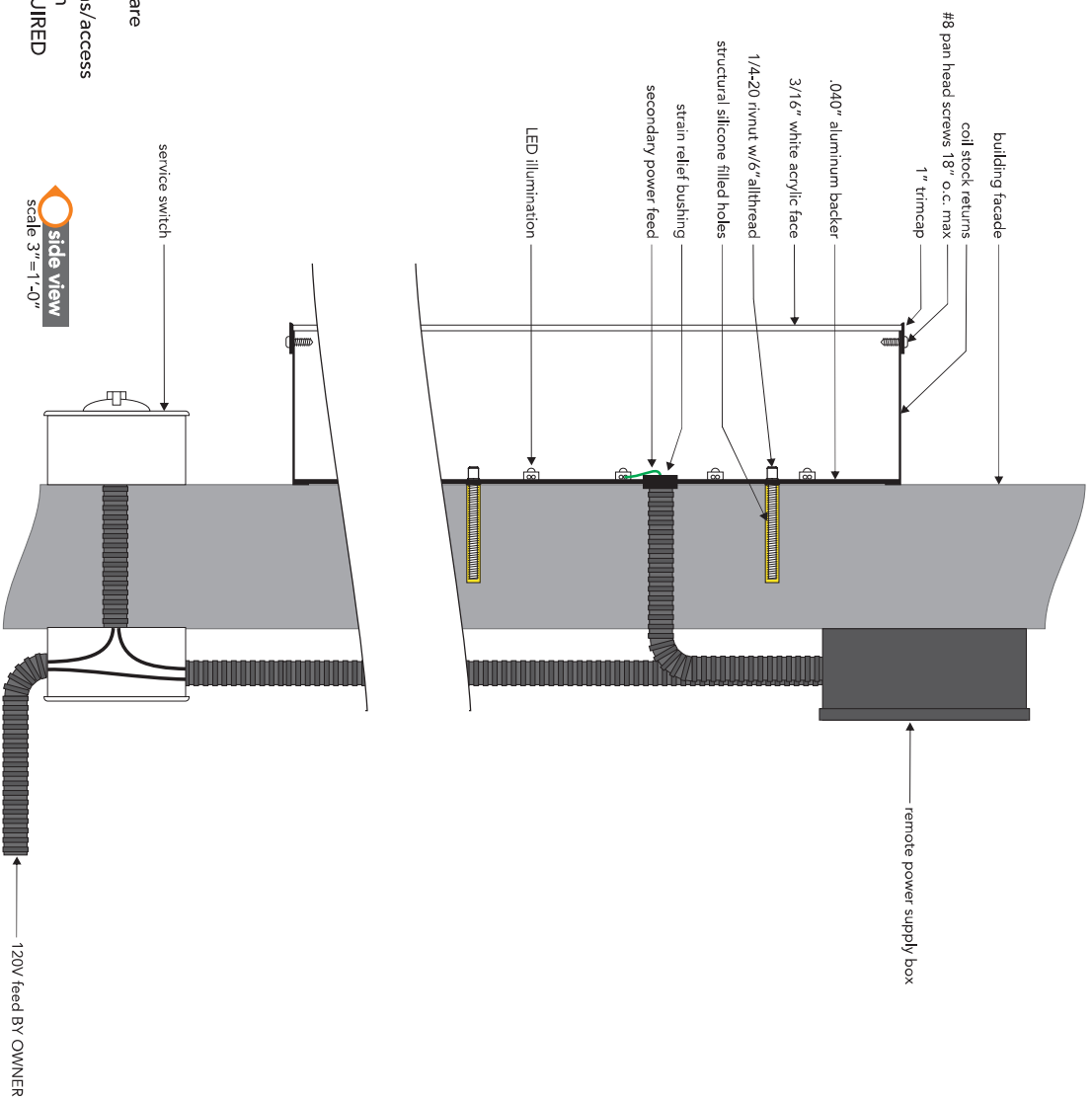
date:
 11/20/17

version:
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page

3 of 3



typ mounting hardware shown may change due to site conditions/access
FIELD SURVEY REQUIRED

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5/16/18

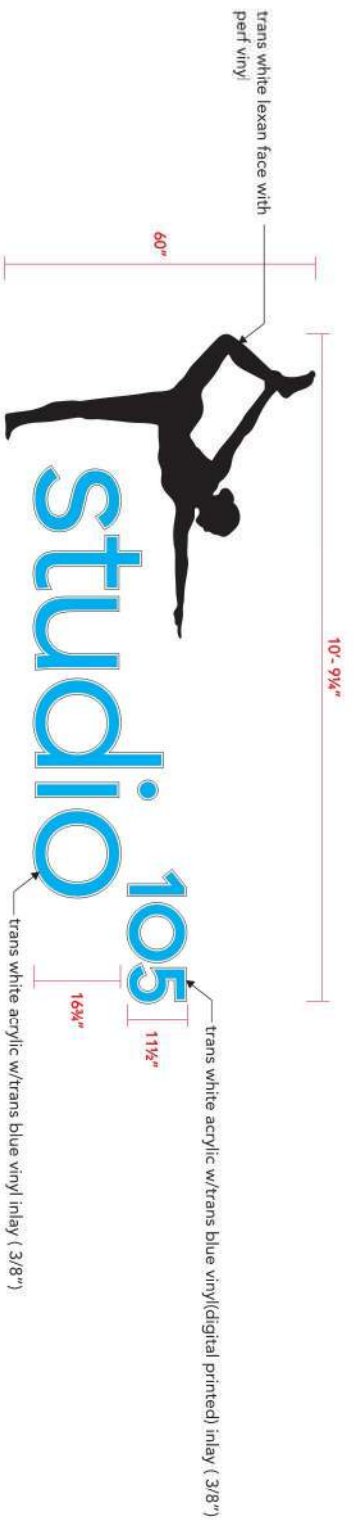
version:

CONCEPT 3

approval (initials):

page

1 of 2



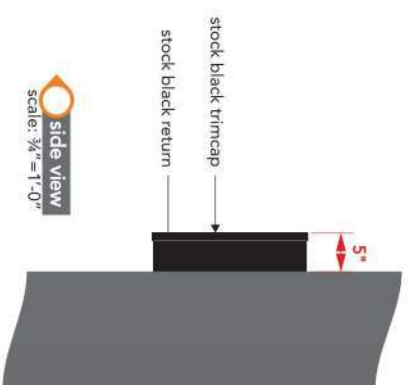
elevation view 53.8 sq ft
 scale: 1/2"=1'-0"

Tenant Frontage 15'



Tenant Frontage 50'

12 from Ground



side view
 scale: 3/4"=1'-0"

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quote #

work order #

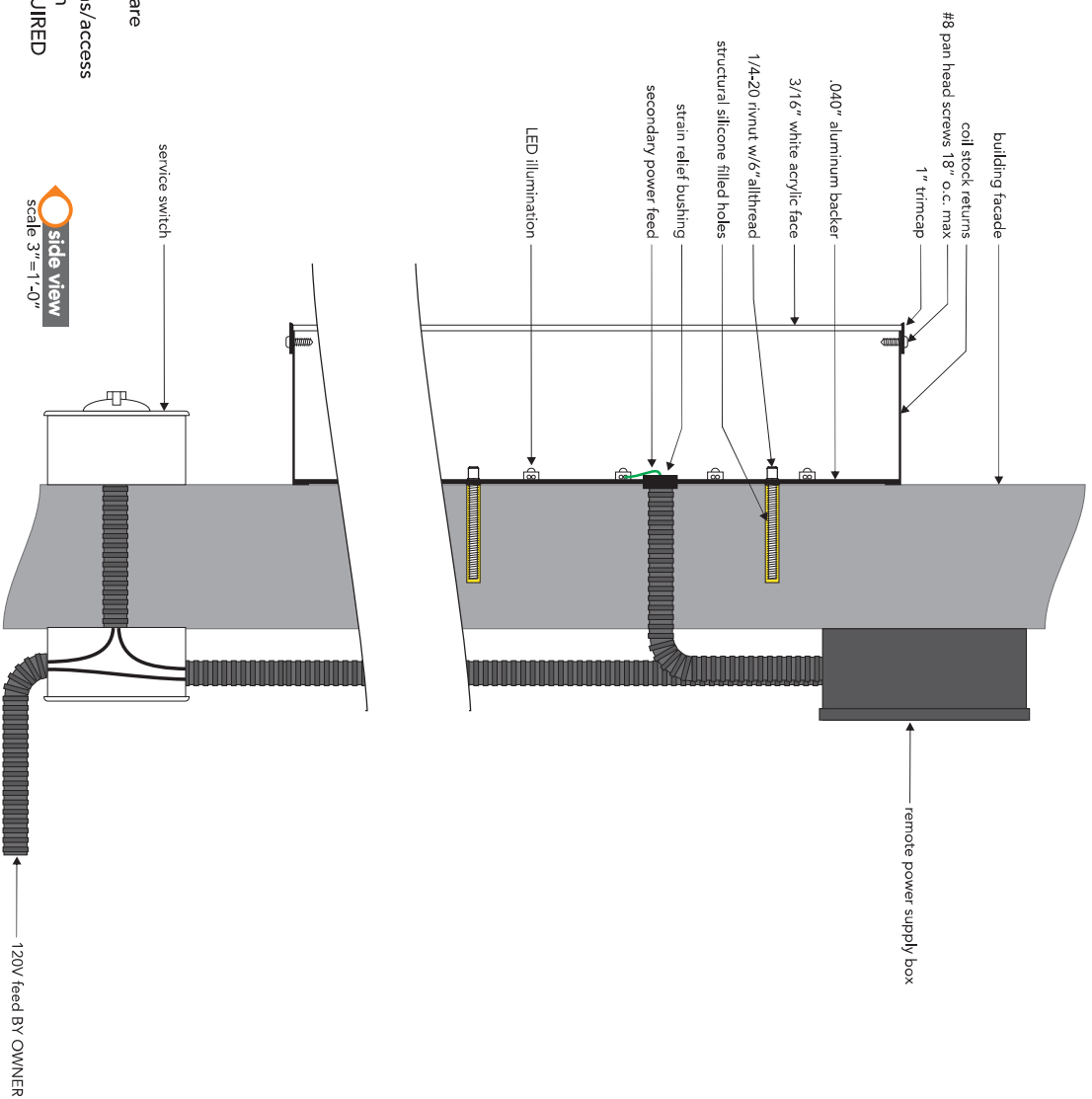
date:
 5/16/18

version:
 CONCEPT 3

approval (initials):

page

2 of 2



typ mounting hardware shown may change due to site conditions/access
FIELD SURVEY REQUIRED

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www.eyeg4group.com
 13095 Parkside Dr.
 Fishers, IN 46038
 317.804.4080

sales representative:

J.R. Knight

317.402.8200

designer:

RS

color specs:

quote #

work order #

date:

11/19/18

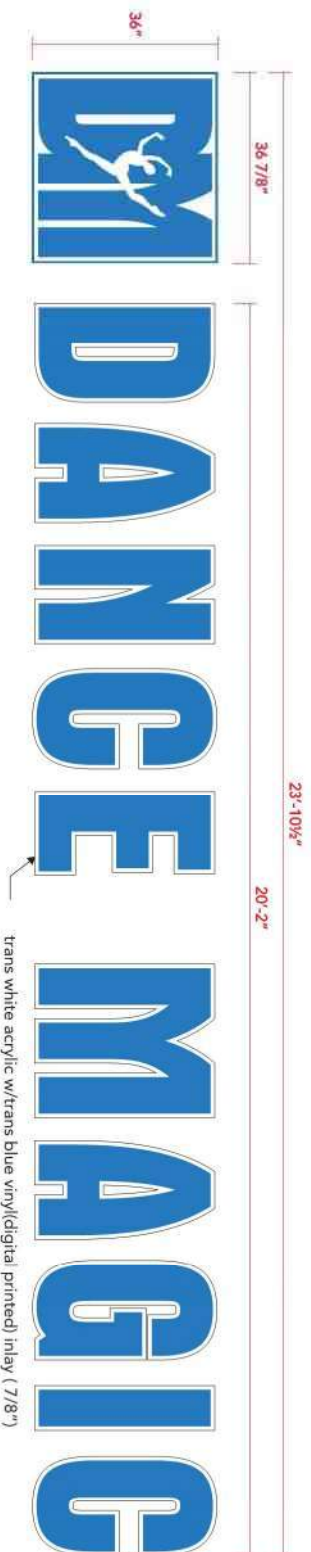
version:

CONCEPT-V5

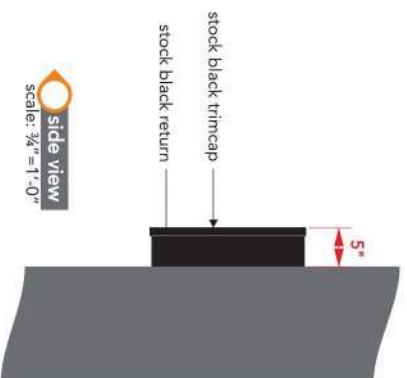
approval (initials):

page

1 of 5



elevation view 71.6 sq ft
 scale: 1/2"=1'-0"



side view
 scale: 3/4"=1'-0"

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designer:

RS

color specs:

quote #

work order #

date:

11/19/18

version:

CONCEPT-5

approval (initials):

page

2 of 5

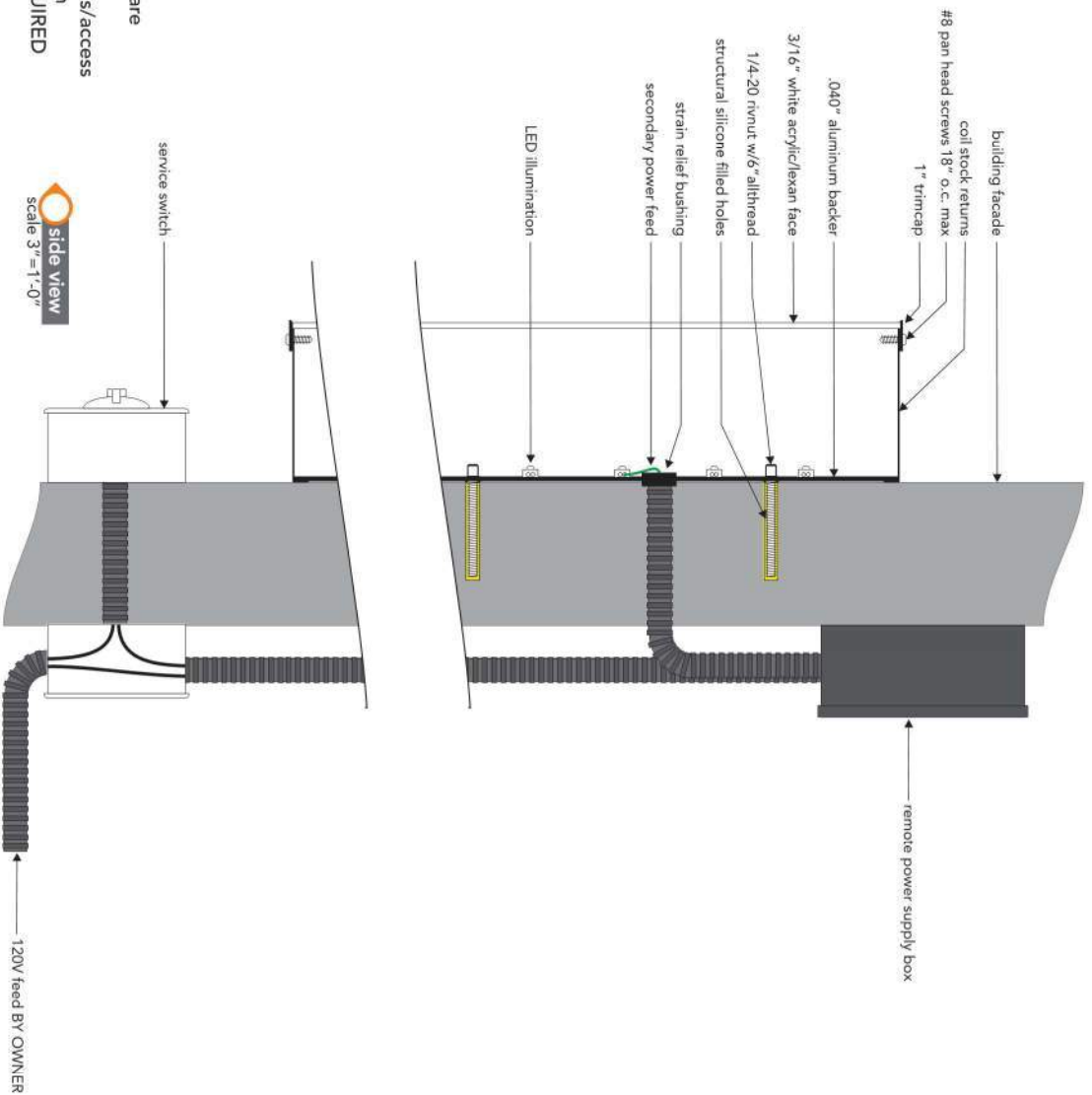


elevation view
scale: NTS

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illuminated channel letters-Flush Mounted



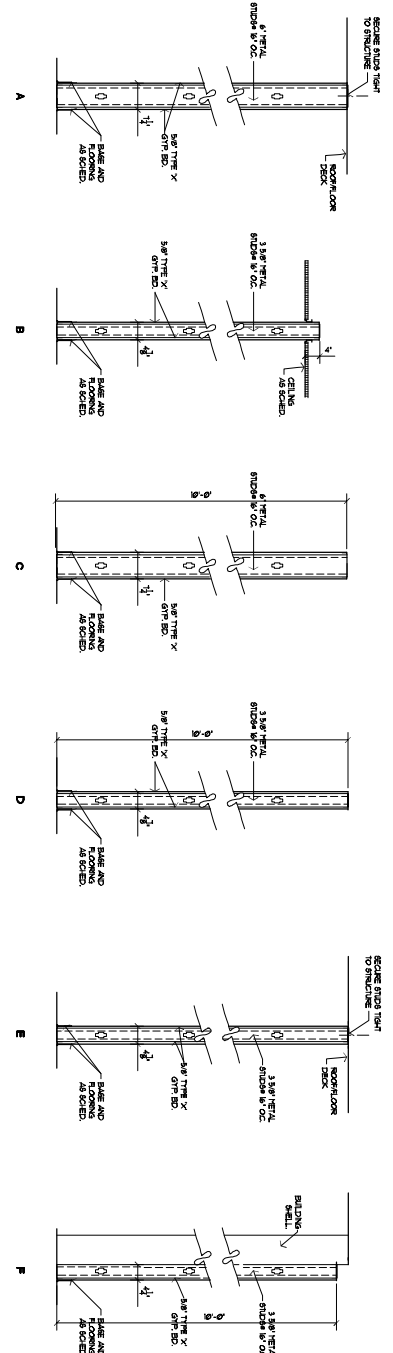
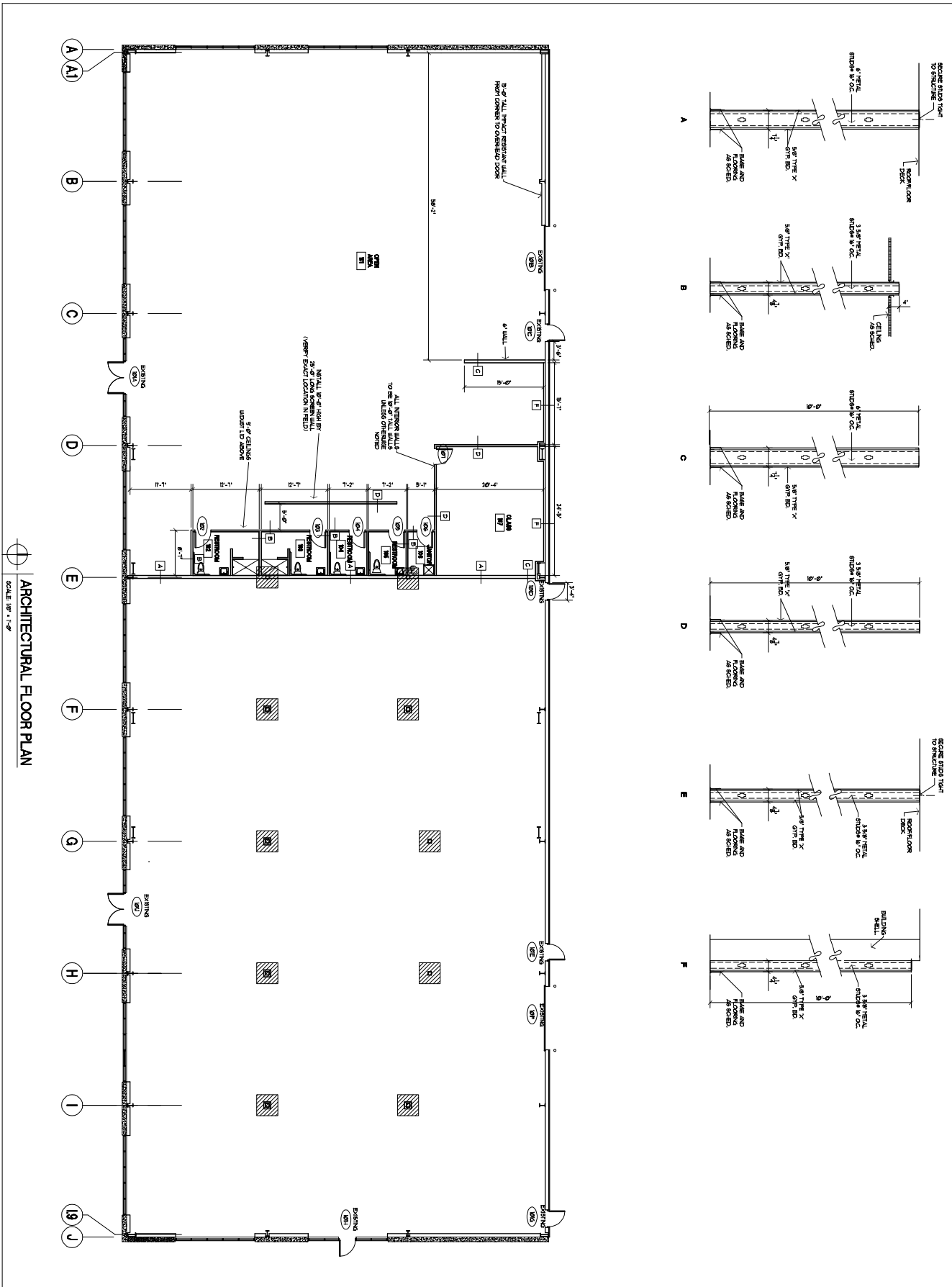
typ mounting hardware shown may change due to site conditions/access building construction
FIELD SURVEY REQUIRED

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CONCEPT-V5
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page
5 of 5





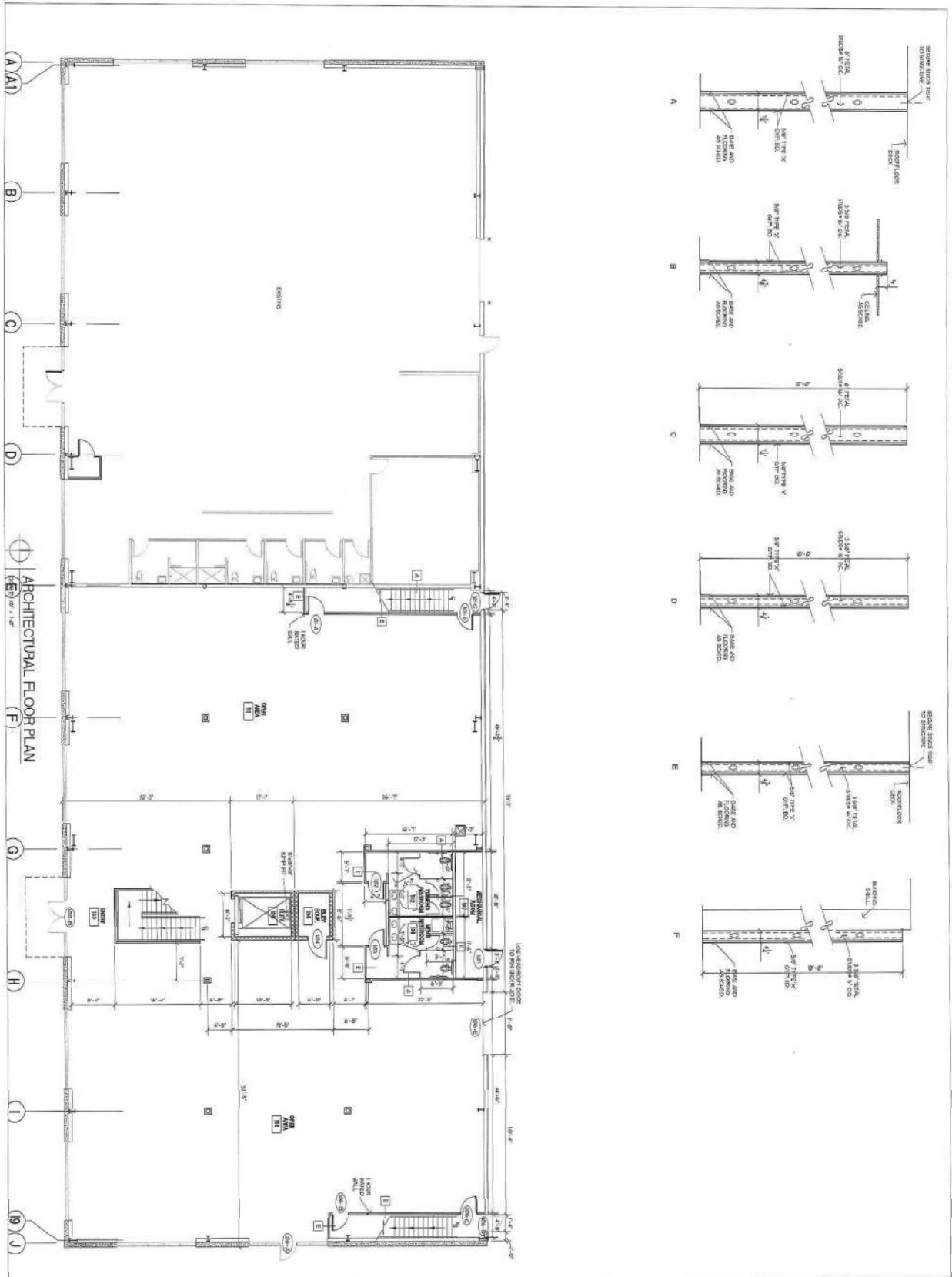
ARCHITECTURAL FLOOR PLAN
SCALE 1/8\"/>

NEW CONSTRUCTION
CROSSFIT
LOT 5 PLEASANT STREET BUSINESS PARK
NOBLESVILLE, INDIANA
DESIGN & BUILD CORP.



 PRELIMINARY ARCHITECTURE
 728 South 10th Street
 Suite 300
 Noblesville, IN 46060
 P 317.270.9714
 F 317.270.9718
 info@designandbuildcorp.com

5/STATE SUBMIT 1/14/17 @ 2:07P	5/STATE SUBMIT 1/14/17 @ 2:07P
REVISIONS 1. DATE: 1/14/17 2. BY: [Signature] 3. DESCRIPTION: [Text] 4. DATE: [Text] 5. BY: [Signature] 6. DESCRIPTION: [Text]	DRAWN BY: E. LUTTMAN CHECKED BY: D. PETERSON ARCHITECTURAL FLOOR PLAN A101

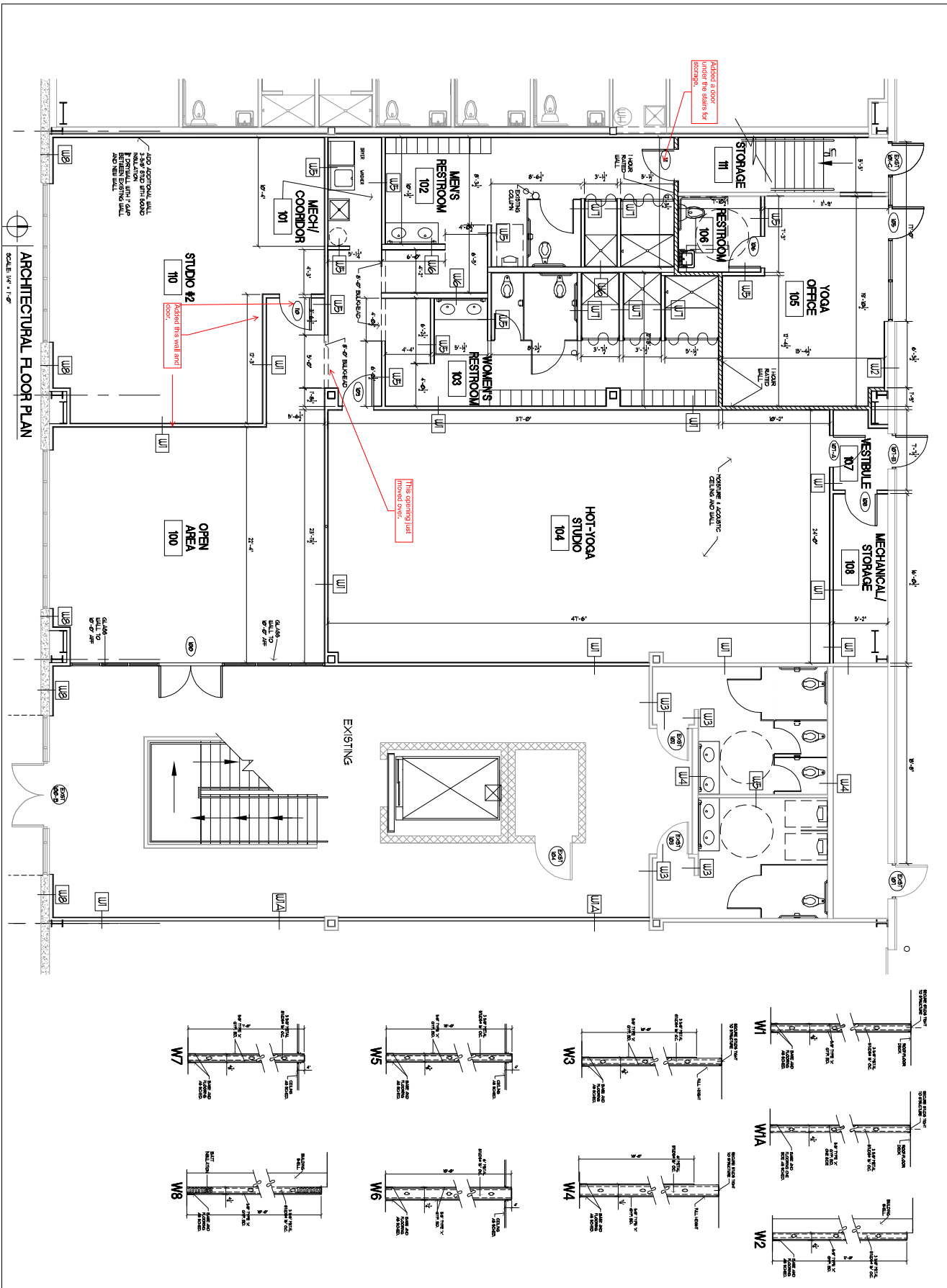


ARCHITECTURAL FLOOR PLAN

<p>A101</p>	
<p>REVISIONS</p>	<p>DATE</p>
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<p>99. REVISION</p>	<p>11/15/16</p>
<p>100. REVISION</p>	<p>11/15/16</p>

TENANT BUILD-OUT
 MIDLAND BUILDING EAST TENANT
 10400 PLEASANT STREET BUSINESS PARK
 NOBLESVILLE, INDIANA
 DESIGN & BUILD CORP.

HALLISON ARCHITECTURE
 298 South 10th Street
 Noblesville, IN 46060
 908-500-9000
 F 317-770-9718
 studio@hollisonarchitect.com



CONSTRUCTION SET
MARCH 23, 2018

DATE PLOTTED: 3/23/18 10:58 AM

PROJECT: TENANT BUILD-OUT HOT YOGA

LOCATION: 10400 PLEASANT STREET BUSINESS PARK NOBLESVILLE, INDIANA

DESIGNER: PETERSON ARCHITECTURE

CLIENT: DESIGN & BUILD CORP.

**TENANT BUILD-OUT
HOT YOGA**

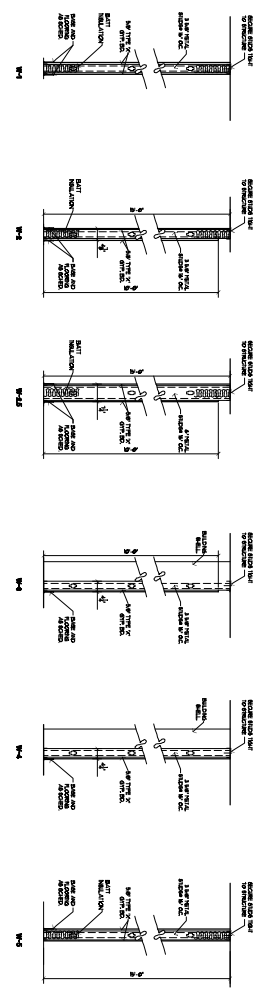
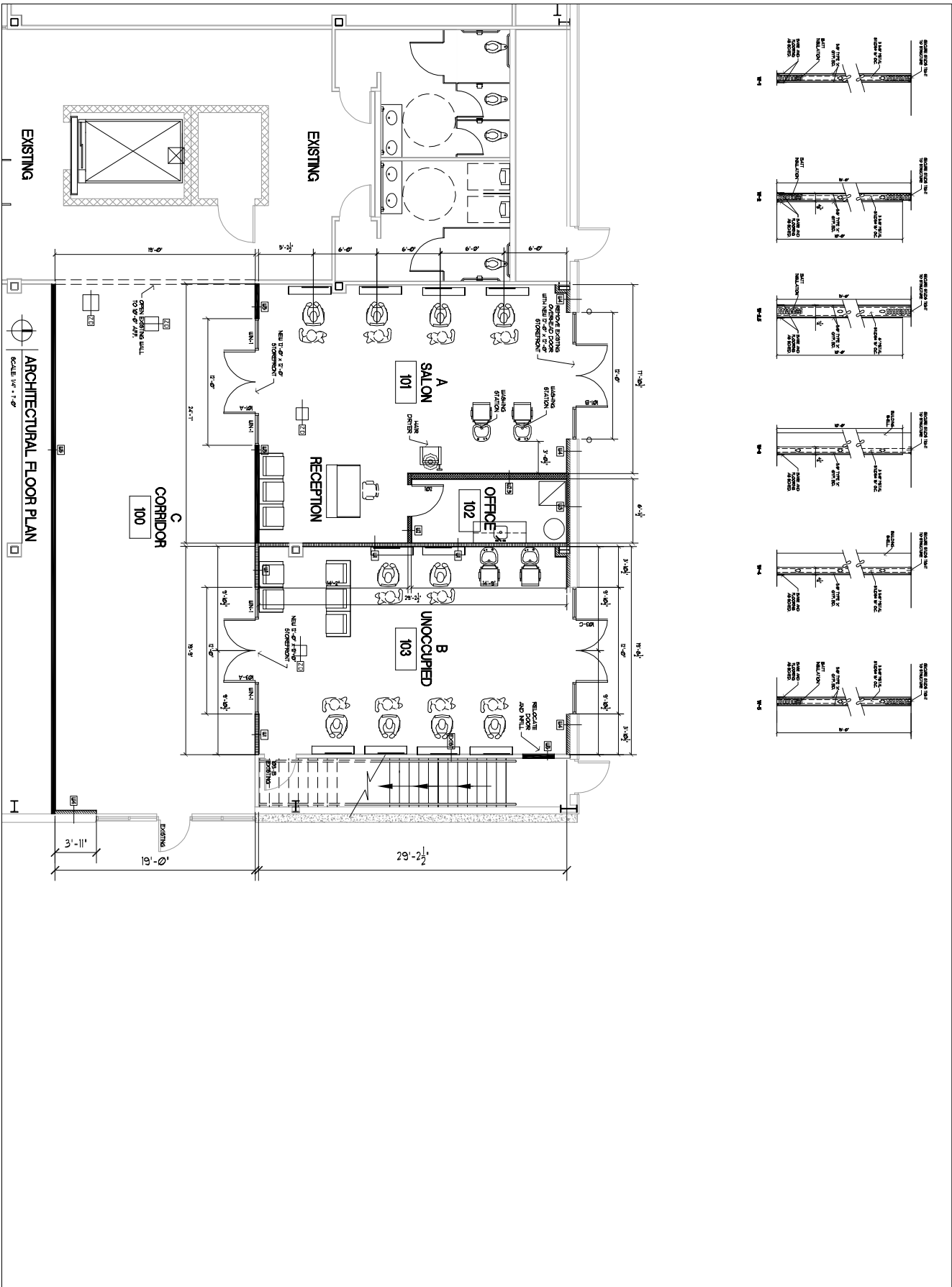
10400 PLEASANT STREET BUSINESS PARK
NOBLESVILLE, INDIANA

DESIGN & BUILD CORP.

PETERSON ARCHITECTURE
298 South 10th Street
Suite 500
Noblesville, IN 46060
P: 317.770.9718
F: 317.770.9718
studio@petersonarchitecture.com

A101

ARCHITECTURAL FLOOR PLAN



STATE SUBMIT
DEC 13, 2018

REVISIONS	DATE	BY	DESCRIPTION
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

OWNER: [REDACTED]
DESIGNER: [REDACTED]
DATE: [REDACTED]

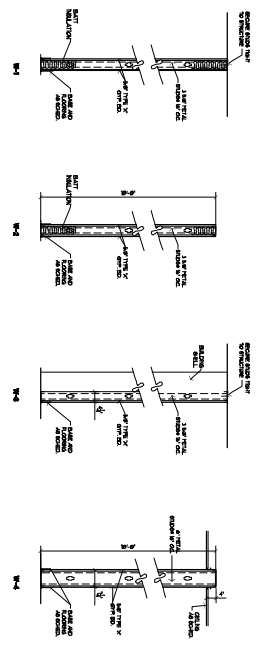
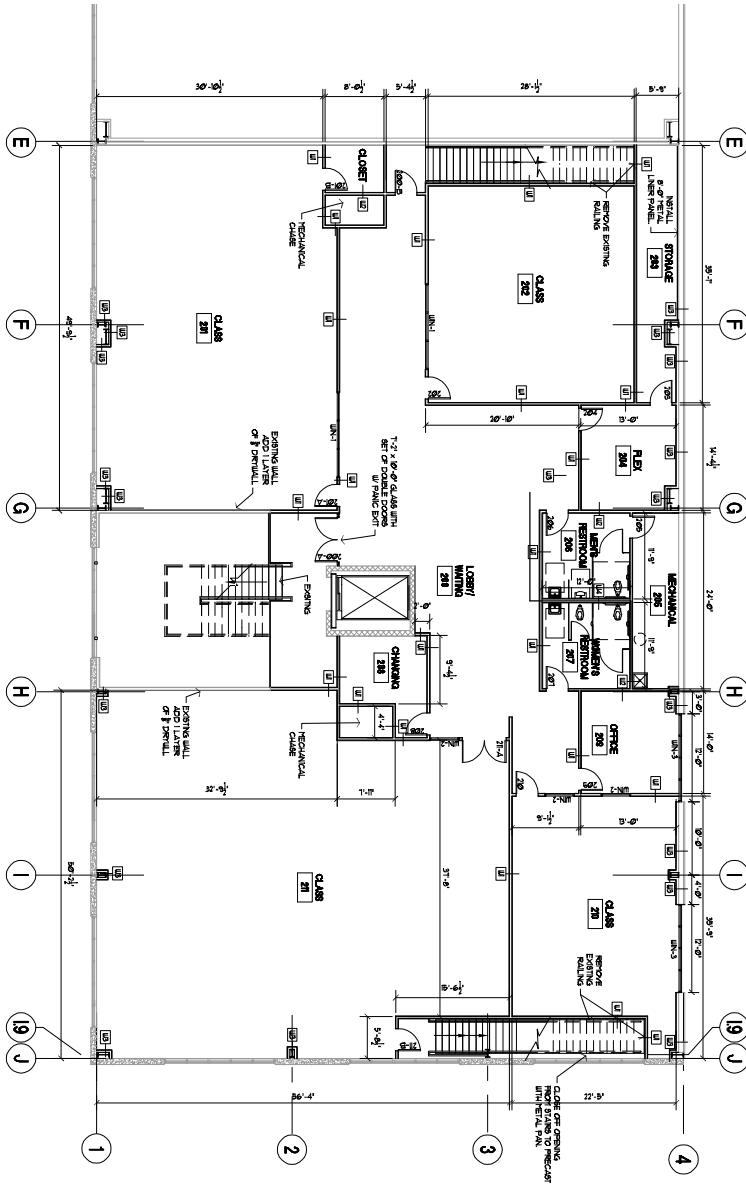
**REMODEL
HAIR SALON / BARBER SHOP**

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NOBLESVILLE, INDIANA

DESIGN & BUILD CORP.


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 298 South 10th Street
 Suite 500
 Noblesville, IN 46060
 P 317.770.9718
 F 317.770.9718
 studio@petersonarchitecture.com

ARCHITECTURAL FLOOR PLAN
SCALE: 1/8" = 1'-0"

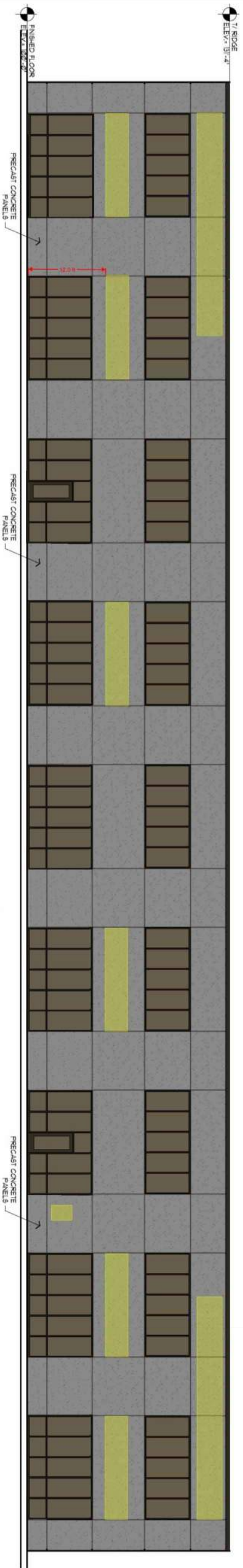


<p>STATE SUBMIT NOV. 16, 2018</p>	<p>REVISIONS</p> <ul style="list-style-type: none"> 1. [Symbol] [Description] 2. [Symbol] [Description] 3. [Symbol] [Description] 4. [Symbol] [Description] 5. [Symbol] [Description]
<p>DRAWN BY: S. GORTON CHECKED BY: D. PETERSON PROJECT NUMBER: 18-001</p>	<p>DATE: 11/16/18</p>
<p>ARCHITECTURAL FLOOR PLAN</p>	
<p>A101</p>	

TENANT BUILD-OUT
DANCE CENTER
 10400 PLEASANT STREET BUSINESS PARK
 NOBLESVILLE, INDIANA
DESIGN & BUILD CORP.


 PETERSON ARCHITECTURE
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 Suite 500 • 46060
 Noblesville, IN 46060
 P 317.770.9718
 F 317.770.9718
 studio@petersonarchitecture.com

PROPOSED SIGN EXHIBIT

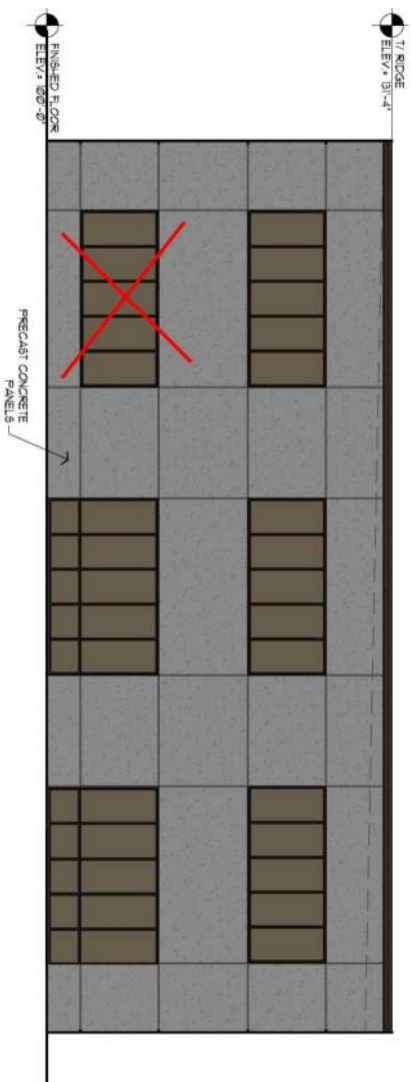


Typical Sign Area above
1st Floor Windows
max 56 SF
per sign

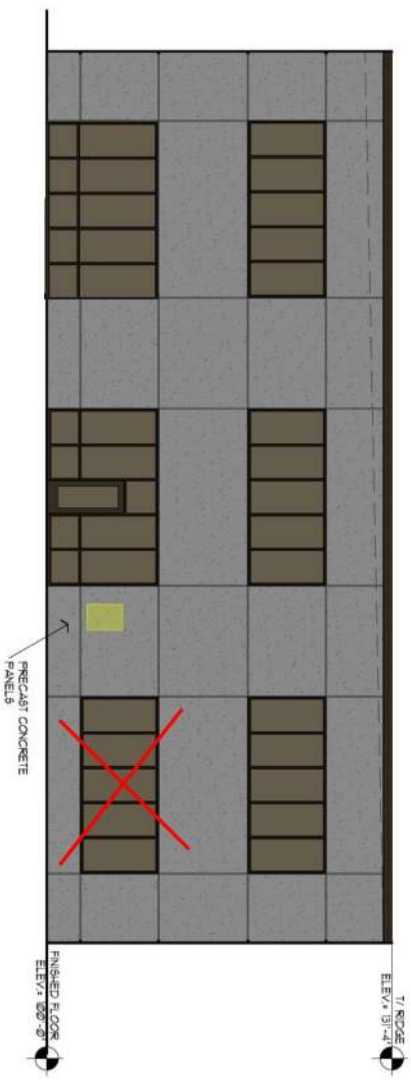
Typical Sign Area above
2nd Floor Windows
max 276 SF (sum of both signs)

1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

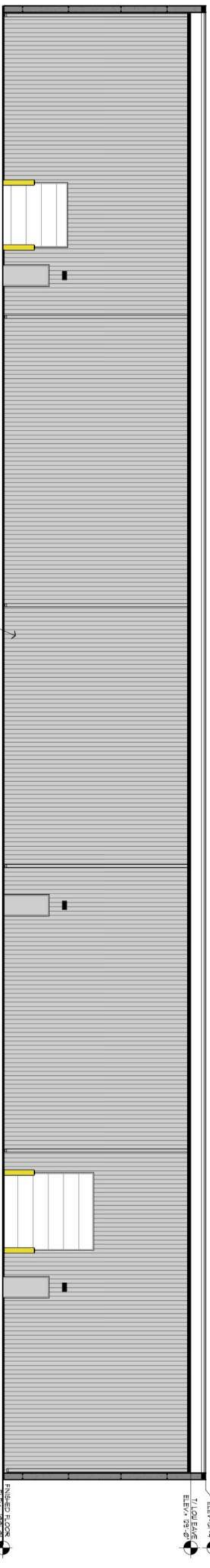
Typical Directory Sign
(at Lobby Entrances)
max 8 SF
per sign



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 WEST ELEVATION
SCALE: 1/8" = 1'-0"



4 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

NEW CONSTRUCTION
ROUDEBUSH FLEX BUILDING
LOT 5 PLEASANT STREET BUSINESS PARK
NOBLESVILLE, INDIANA
DESIGN & BUILD CORP.

PETERSON ARCHITECTURE
298 south 10th street
suite 500
noblesville in 46060
P 317.770.9714
F 317.770.9718
studio@petersonarchitecture.com

SCHEMATIC DESIGN	
OCT 19, 2016	
REVISIONS	
△ PETERSON
△ BERSON
△ STRYDOM
△ PETERSON
△ DATE
△ DATE
DRAWN BY: E. HOFFMAN	
CHECKED BY: D. PETERSON	
PROJECT NUMBER: B-0146	
EXTERIOR ELEVATIONS	
A201	

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