



Park Place ANDOVER OF WESTFIELD

INDIANAPOLIS DIVISION
11590 NORTH MERIDIAN ST. - SUITE 530 - CARMEL, IN 46032

MUNICIPALITY	ARCHITECT	.
STRUCT. ENGINEER	MECH. ENGINEER	DESIGN LOADS and CRITERIA
Mulhern & Kulp Engineers 20 S. Maple Street Suite 150 Ambler, PA 19002 215.646.8001 www.mulhernkulp.com	.	LIVE LOADS: Sleeping 30 PSF Non-Sleeping 40 PSF EXT. DECKS & STAIRS 40 PSF DEAD LOAD: 10 PSF GUARDRAIL & HANDRAIL: 200 LB
BUILDING CODE ANALYSIS	APPLICABLE CODES	GUARD IN-FILL COMPONENTS: 50 PSF WIND SPEED: MPH ROOF LIVE LOAD: PSF SNOW LOAD: PSF LATERAL LOAD: PCF OTHER:
ZONING ORDINANCE: . USE GROUP: One & Two Family dwelling CONSTRUCTION CLASS: Unprotected Frame HEIGHT & AREA: . OTHER REQUIREMENTS: .	BUILDING CODE: . FIRE CODE: . ELECTRICAL CODE: . ENERGY CODE: . PLUMBING CODE: . MECHANICAL CODE: . MUNICIPAL CODE: .	

SHEET INDEX

Sheet No.	Sheet Description	Sheet No.	Sheet Description
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CD 0.2	Division General Notes	U0 B-1.1	Basement Utility Plan / _ / All Basement Walls
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A0 S-1.2	Slab Foundation Plan / Options / _	U1 0.21	Partial Finished Basement Utility Plan - Options / Opt. Lighting Package / All Basement Walls
A0 SB-1.1	Slab Foundation Plan with Masonry / _ / _	U1 0.30	Partial Finished Basement Utility Plan - Options / _ / All Basement Walls
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A0 BB-1.1	Basement Foundation Plan with Masonry / _ / _	U1 4-1.11	First Floor Utility Plan / Opt. Lighting Package / 4" Exterior Walls
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A1 4-2.1	Second Floor Plan / _ / 4" Exterior Walls	FLOORING LAYOUT DRAWINGS	
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A2 B.1	Building Sections 1 and 2 / _ / Basement Foundation	FL 0.2	Finished Basement Flooring Plan / Options / _
A2 S.1	Building Sections 1 and 2 / _ / Slab Foundation	FL 0.3	Partial Finished Basement Flooring Plan / _ / _
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A3 1-2FB4.2	Elevation 1 - Basement / 2 Car Front Entry / Partial Foundation Plan	FL 4-1.2	First Floor Flooring Plan / Options / 4" Exterior Walls
A3 1-2FS4.2	Elevation 1 - Slab / 2 Car Front Entry / Partial Foundation Plan	FL 4-2.1	Second Floor Flooring Plan / _ / 4" Exterior Walls
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A3 1-3FB4.1	Elevation 1 - Basement / 3 Car Front Entry / Front, Side and Rear Elevations, Roof Plan and Ventilation Schedule	TRIM OPTION LAYOUTS	
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A3 1-3FS4.2	Elevation 1 - Slab / 3 Car Front Entry / Partial Foundation Plan	TR 4-1.2	Second Floor Plan / Trim Option Layouts / 4" Exterior Walls
A3 1-3FB4.3	Elevation 1 / 3 Car Front Entry / Partial Floor and Utility Plans - 4" Exterior Walls	STRUCTURAL DRAWINGS	
****	Elevations 2-6 Follow the A3 sheet numbering used for Elevation 1 above		
A4 DB4.1	Daylight Basement Option - 4" Exterior Walls / Floor, Foundation and Utility Plans / Rear Elevation	STRUCTURAL DRAWINGS	
A4 WB4.1	Walkout Basement Option - 4" Exterior Walls / Floor, Foundation and Utility Plans / Rear Elevation	SD SHEETS	Structural Details
A4 SR4I.1	Sunroom Option - 4" Walls / Floor, Foundation and Utility Plans / In-Grade Basement Elevations		
A4 SR4D.1	Sunroom Option - 4" Walls / Floor, Foundation and Utility Plans / Daylight Basement Elevations		
A4 SR4W.1	Sunroom Option - 4" Walls / Floor, Foundation and Utility Plans / Walkout Basement Elevations		
A4 CPF.1	Covered Porch Option w/ Fireplace - 4" Walls / Floor, Foundation and Utility Plans / In-grade Basement Elevations		
A4 MF.1	Modern Fireplace Option - 4" Exterior Walls / Elevations, Floor and Roof Plans / In-grade Basement Elevations		
A4 GX4.1	Garage Extension - 4" Walls / Floor, Foundation, Utility and Roof Plans / In-grade Basement Elevations		

PLOTTED: January 8, 2016 / Annie K. / 1957-PARK PLACE-IN-AOPW-CORR.DWG

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Indiana Division
11590 North Meridian Street, Suite 530
Carmel, Indiana 46032



Cover Sheet
Washington Base Plan
Pacific Northwest Division

PRODUCTION MANAGER Tony Holman INITIAL RELEASE DATE: 08-19-2014 CURRENT RELEASE DATE: 01-11-2016
REV # DATE DESCRIPTION 01/11/2016 PLAN REVISIONS
GARAGE HANDING LEFT
PLAN NAME PARK PLACE MPC PLAN NUMBER 1957 LAWSON PLAN ID
SHEET CD 0.1

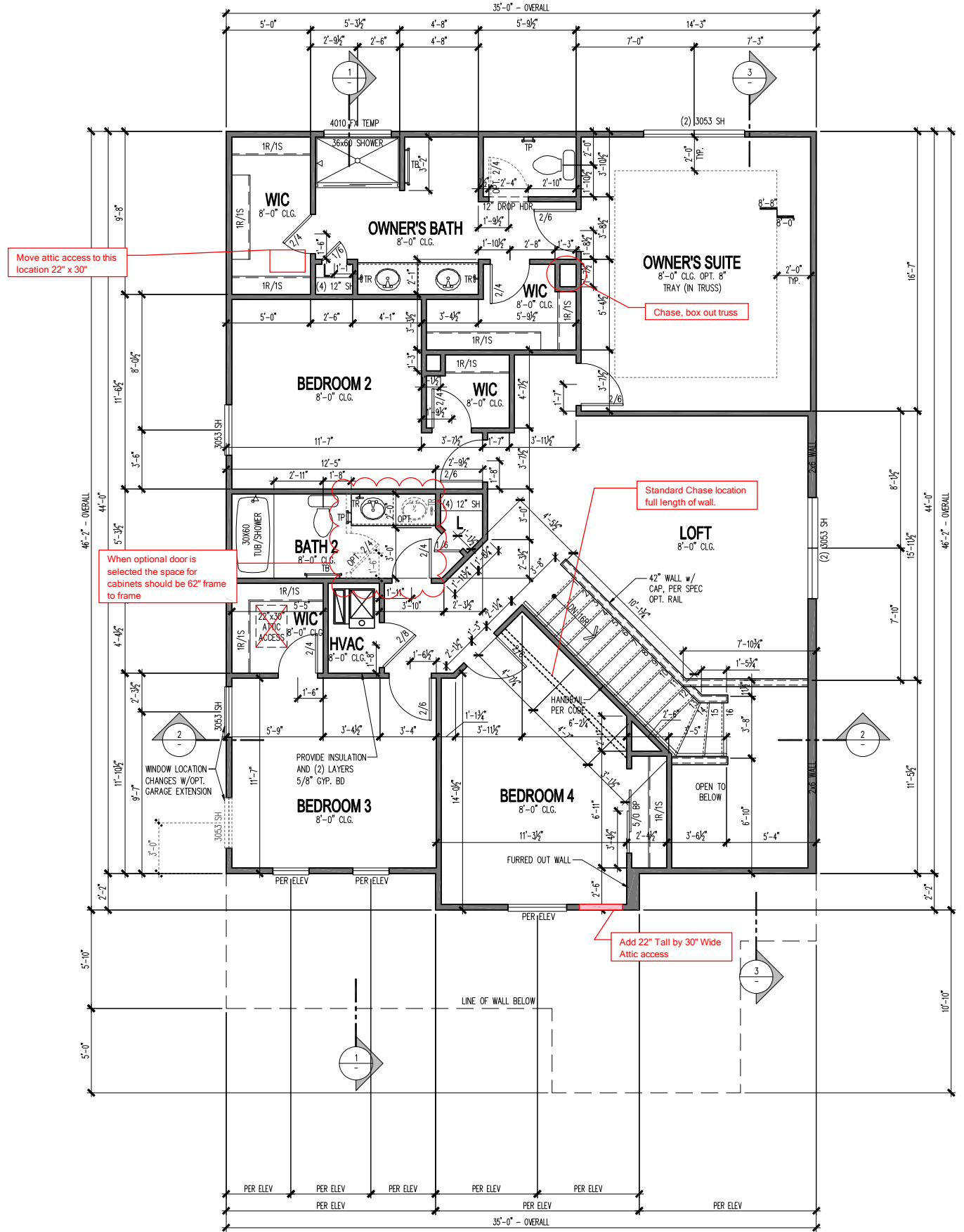
NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

FLOORPLAN NOTES

GENERAL SPECIFICATIONS

- ALL ANGLED WALLS (OTHER THAN THOSE AT 90°) SHALL BE CONSIDERED TO BE AT 45° UNLESS NOTED OTHERWISE
- ALL STUDS AT EXTERIOR AND INTERIOR WALLS SHALL BE 2x4 UNLESS OTHERWISE NOTED
- ALL STUDS AT EXTERIOR WALLS AND INTERIOR BEARING WALLS TO BE FRAMED AT 16" O.C. UNLESS NOTED OTHERWISE
- ALL NON-BEARING WALLS, OTHER THAN IN THE KITCHEN AND PLANNING CENTERS, TO BE 2x4 STUDS AT 24" O.C. UNLESS OTHERWISE NOTED OR RESTRICTED BY LOCAL CODES OR ORDINANCES. KITCHEN AND PLANNING CENTER WALLS WHERE WALL CABINETS ARE TO BE HUNG SHALL BE FRAMED AT 16" O.C.
- PROVIDE DOUBLE 2x TOP PLATES AT ALL LOAD BEARING WALLS.
- PROVIDE SINGLE TOP PLATE AT ALL INTERIOR NON-LOADING BEARING WALLS.
- PROVIDE A 1-3/8" OR LARGER SOLID CORE WOOD DOOR, SOLID CORE STEEL DOOR OR HONEYCOMB CORE STEEL DOOR, OR 20 MINUTE FIRE-RATED DOOR EQUIPPED WITH A SELF-CLOSING DEVICE BETWEEN GARAGE AND LIVING SPACE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
- PROVIDE FIRE SEPARATION BETWEEN DWELLING AND GARAGE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
- PROVIDE 3/4" DRYWALL AT WALLS, CEILING AND UNDERSIDE OF STAIR ASSEMBLY ACCESSIBLE SPACE UNDER STAIRS IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
- ALL GLAZING INSTALLED IN HAZARDOUS LOCATIONS AS DEFINED BY THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE SHALL HAVE A PERMANENT DESIGNATION OR LABEL AFFIXED TO EACH PANE OF GLAZING BEARING THE MANUFACTURER'S LABEL SHOWING THE TYPE AND THICKNESS OF GLASS. FOR OTHER THAN TEMPERED GLASS, LABELS MAY BE OMITTED PROVIDED THE BUILDING OFFICIAL APPROVES THE USE OF A CERTIFICATE, AFFIDAVIT OR OTHER EVIDENCE CONFIRMING COMPLIANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
- ALL BATHUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT NOT LESS THAN 72" ABOVE THE FLOOR PER THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
- PROVIDE THERMO-PLY SHEATHING AND BATT INSULATION FILLING ALL CAVITIES AT EXTERIOR WALLS SURROUNDING TUBS AND SHOWERS.
- ALL REQUIRED GUARDRAILS AND GUARDWALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. GUARDS SHALL NOT BE LESS THAN 36" HIGH MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE AND NOT LESS THAN 34" HIGH MEASURED VERTICALLY FROM THE SLOPED PLANE THAT ADJOINS THE TREAD NOSINGS.
- ALL REQUIRED HANDRAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH 4 OR MORE RISERS. HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34" OR MORE THAN 38" AS MEASURED VERTICALLY FROM THE SLOPED PLANE THAT ADJOINS THE TREAD NOSINGS AND SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE NOT LESS THAN 1-1/2" BETWEEN THE WALL AND THE HANDRAIL.
- BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM MUST HAVE AT LEAST ONE EMERGENCY ESCAPE OR RESCUE OPENING IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. WHERE THE BASEMENT CONTAINS 1 OR MORE SLEEPING ROOMS, EMERGENCY ESCAPE OR RESCUE OPENINGS SHALL BE REQUIRED IN EACH SLEEPING ROOM. THE EMERGENCY ESCAPE OR RESCUE OPENING SHALL HAVE A CLEAR 5.7 SQUARE FEET OF OPEN AREA WITH A SILL HEIGHT OF NO MORE THAN 44" ABOVE THE FLOOR OR 5.0 SQUARE FEET OF OPEN AREA FOR GRADE-FLOOR WINDOWS. THE CLEAR OPENING SHALL A MINIMUM OF 24" OF OPENING HEIGHT AND 20" OPENING WIDTH. EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GROUND LEVEL ELEVATION SHALL BE PROVIDED WITH A WINDOW WELL AND LADDER IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES.
- FOR ADDITIONAL INFORMATION SEE STRUCTURAL DRAWINGS AND NOTES

PLOTTED: March 10, 2015 / Amie K / 1957-PARK PLACE-IN-ACTIVE-PLANNING



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

Indiana Division
11590 North Meridian Street, Suite 530
Carmel, Indiana 46032



Second Floor Plan

PRODUCTION MANAGER
Tony Holman
INITIAL RELEASE DATE:
08-19-2014
CURRENT RELEASE DATE:
08-19-2014

REV #	DATE	DESCRIPTION

GARAGE HANDING
LEFT

PLAN NAME
PARK PLACE
MPC PLAN NUMBER
1957
LAWSON PLAN ID

SHEET
A1
4-2.1

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS (c) Copyright Pulte Home Corporation - 2014













