

Modern Fireplace Option - 4" Exterior Walls / Elevations, Floor and Roof

Garage Extension - 4" Walls / Floor, Foundation, Utility and Roof Plans / In-grade Basement Elevations

Plans / In-grade Basement Elevations

Park Place ANDOVER OF WESTFIELD

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11590 NORTH MERIDIAN ST. - SUITE 530 - CARMEL, IN 46032

MUNICIPALITY	ARCHITECT	
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STRUCT. ENGINEER	MECH. ENGINEER	DESIGN LOADS and CRITERIA
Mulhern & Kulp Engineers 20 S. Maple Street Suite 150 Ambler, PA 19002 215.46.8001 www.mulhemkulp.com		LIVE LOADS: GUARD IN-FILL Sleeping 30 PSF COMPONENTS: 50 PSF Non-Sleeping 40 PSF WIND SPEED: MPH EXT, DECKS & STAIRS 40 PSF ROOF LIVE LOAD: PSF DEAD LOAD: 10 PSF SNOW LOAD: PSF GUARDRAIL & LATERAL LOAD: PCF
BUILDING CODE ANALYSIS	APPLICABLE CODES	HANDRAIL:200 LB OTHER:
ZONING ORDINANCE: USE GROUP: One & Two Family dwelling CONSTRUCTION CLASS: HEIGHT & AREA: OTHER REQUIREMENTS:	BUILDING CODE: FIRE CODE: ELECTRICAL CODE: ENERGY CODE: PLUMBING CODE: MECHANICAL CODE: MUNICIPAL CODE:	

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Cover Sheet	Washington Base Plan	Pacific Northwest Division
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PLAN NAME PARK PLACE

NPC PLAN NUMBER

1957

LAWSON PLAN ID

CD0.1

FLOORPLAN NOTES

GENERAL SPECIFICATIONS

- . ALL ANGLED WALLS (OTHER THAN THOSE AT 90°) SHALL BE CONSIDERED TO BE AT
- 1. ALL MOSED WALLS (DIFER THAN HOUSE AT 90') SPAIL DE CONSURED HO DE AT 45' UNLESS NOTEO DHERWISE.

 2. ALL STUDS AT EXTERIOR AND INTERIOR WALLS SHALL BE 2x4 UNLESS OTHERWISE NOTED.

 3. ALL STUDS AT EXTERIOR WALLS AND INTERIOR BEARING WALLS TO BE FRAMED AT 16"
- O.C. UNLESS NOTED OTHERWISE

 4. ALL NON-BEARNO WALLS, OTHER THAN IN THE KITCHEN AND PLANNING CENTERS, TO BE 2x4 STUDS AT 2x4" O.C. UNLESS OTHERWISE NOTED OR RESTRICTED BY LOCAL CODES OR ORDINANCES. KITCHEN AND PLANNING CENTER WALLS WHERE WALL
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 5. PROVIDE DOUBLE 2s. TOP PLATES AT ALL LOAD BEARING WALLS.
 6. PROVIDE SINGLE TOP PLATE AT ALL INTERIOR NON-LOADING BEARING WALLS.
 7. PROVIDE A 1-3/8" OR LARGER SOLID CORE WOOD DOOR, SOLID CORE STEEL DOOR
 OR HONEYCOMB CORE STEEL DOOR, OR 20 MINUTE FIRE-RATED DOOR EQUIPPED WITH
 114E CURRENILY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
 8. PROVIDE FIRE SEPARATION BETWEEN DARAGE AND GARAGE IN ACCORDANCE WITH
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 9. PROVIDE J'S DRYMALL AT WALLS, CELING AND LONGESDE OR STAR ASSEMBLY
 ACCESSIBLE SPYACL LATER STARS IN ACCORDANCE WITH THE CURRENILY ADOPTED

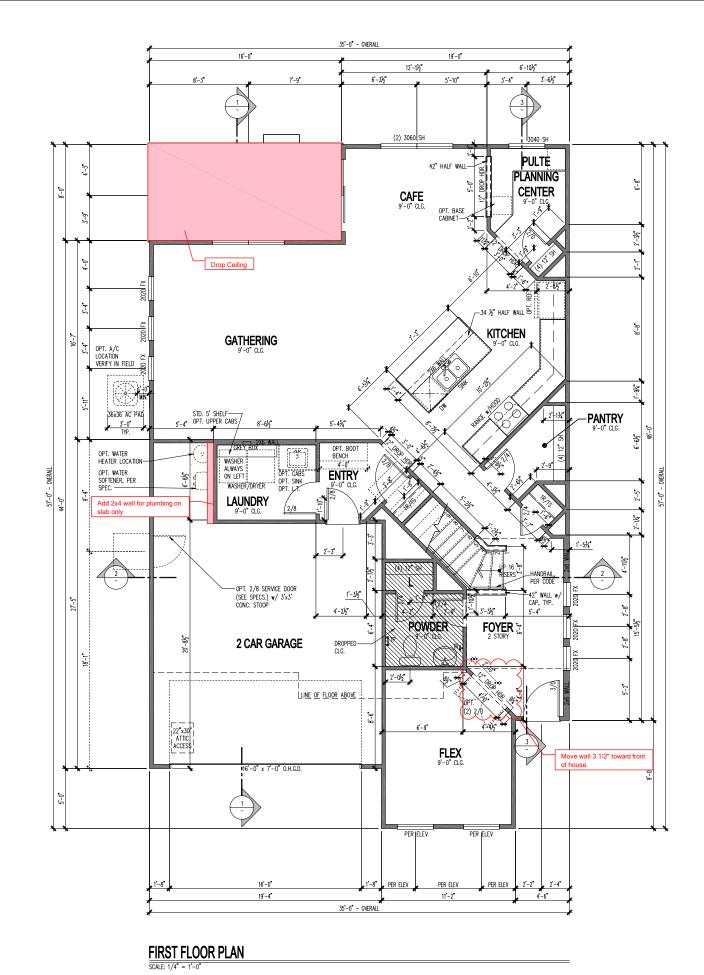
- 9. PROVIDE ½" DRYWALL AT WALLS, CEUING AND UNDERSIDE OR STAIR ASSEMBLY ACCESSIBLE SPACE WIDER STAIRS IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
 10. ALL GLAZING INSTALLED IN HAZAROOUS LOCATIONS AS DEFINED BY THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE SHALL HAVE A PERMANENT DESIGNATION OR LABEL AFFIXED TO EACH PANE OF GLAZING BEARING THE MANUFACTURER'S LABEL SHOWING THE TYPE AND THICKNESS OF GLASS. FOR OTHER THAN TEMPERED CLASS, LABELS MAY BE OMITTED PROVIDED THE BUILDING OFFICIAL APPROVES THE USE OF A CERTIFICATE, AFFIDANT OR OTHER EMDENCE COMPENIENCE OUR PLANT THE CHIPPER CALL YOUNG OF THE BUILDING OFFICIAL APPROVES THE USE OF A CERTIFICATE, AFFIDANT OR OTHER EMDENCE COMPENIENCE OUR PLANT THE CHIPPER CALL Y ADOPTED ENTITION OF THE LIP OF OR CONFIRMING COMPLIANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR
- Confirming Compliance with the durrently adopted edition of the IRC or Applicable Local Code.

 11. ALL Bathtub and Shower Floors and Walls above Bathtubs with Installed Shower Heads and in Shower Code Appartments Shall be Finished with a Non—Absorbent Suprace. Such Wall Supraces Shall Extend to a height not Less Than 72" Above the Floor per the Currently Adopted Edition of the 1700 of the Installation of the Installation of the 1700 of the Installation of Installation of Installation of the Installation of Installation
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 13. ALL REQUIRED GUARDARILS AND GUARDWALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENILY ADDITED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. GUARDS SHALL NOT BE LESS THAN 36" HIGH MEASURED VERTICALLY
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 14. ALL REQUIRED HANDRAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH 4 OR MORE RISERS. HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34" OR NOBE THAN 38" AS MEASURED VERTICALLY FROM THE SOPED PLANE THAT ADJOINS THE TREAD NOSINGS AND SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT. HANDRAILS ADJOENT TO A WALL SHALL HAYE A SPACE NOT LESS THAN 1-1/2" BETWEEN THE WALL AND THE HANDRAILS AND THE THAT ADJOENTS OF RESOUR DEPARTMENT ONE EMPRENCY ESCAPE OR RESOUL OF DEPINIOR IN ACCORDANCE WITH THE CURRENTLY ADDPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. WHERE THE BASEMENT CONTAINS I OR MORE STEPRIN ROOMS, DEFENCENCY ESCAPE OR RESOUL OPENINGS SHALL BE REQUIRED IN EACH SLEPPING ROOM. THE EMPRECIVE SCAPE OR RESOUL OPENING SHALL BE REQUIRED IN EACH SLEPPING ROOM. THE EMPRECIVE SCAPE OR RESOUL OPENING SHALL BE A THAT A 4" ABOVE THE FLOOR OR SO. SQUARE FEET OF OPEN
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GARAGE HAI

LAWSON PLAN II

PLAN NAME PARK PLACE

First Floor Plan

PRODUCTION MANAGER

Tony Holman INITIAL RELEASE DATE:

08-19-2014 CURRENT RELEASE DATE:

REV # | DATE / DESCRIPTION

11/11/2016
PLAN REVISIONS

Indiana Division
11590 North Meridian Street, Suite 530
Carmel, Indiana 46032

Α1 4-1.1

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5'-31/2" 5'-9½" 4'-8" 14'-3" 4'-8" (2) 3053 SH WIC 8'-8" OWNER'S BATH Move attic access to this OWNER'S SUITE 1R/1S TRAY (IN TRUSS) 8 -0 °C 5'-9½" Chase, box out truss 1R/1S BEDROOM 2 WIC Standard Chase location LOFT When optional door is cabinets should be 62" frame MIC. HVAC ⋆ 1'-53/4" PROVIDE INSULATION-AND (2) LAYERS 5/8" GYP. BD WINDOW LOCATION -CHANGES W/OPT. GARAGE EXTENSION OPEN T BEDROOM 4 BELOW BEDROOM 3 11'-315" 3'-615" 5'-4" FURRED OUT WALL PFR₁F1FV Add 22" Tall by 30" Wide LINE OF WALL BELOW PER ELEV PER ELEV PER ELEV PER ELEV 35'-0" - OVERAL

SECOND FLOOR PLAN

LAWSON PLAN ID

GARAGE HAI

Α1 4-2.1

PLAN NAME PARK PLACE

Indiana Division
11590 North Meridian Street, Suite 530
Carmel, Indiana 46032

Pulte'

Second Floor Plan

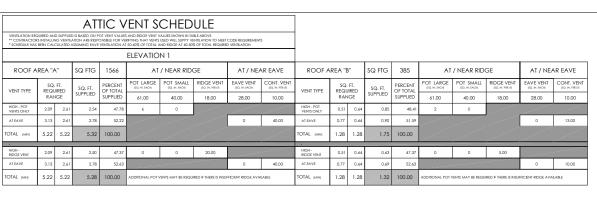
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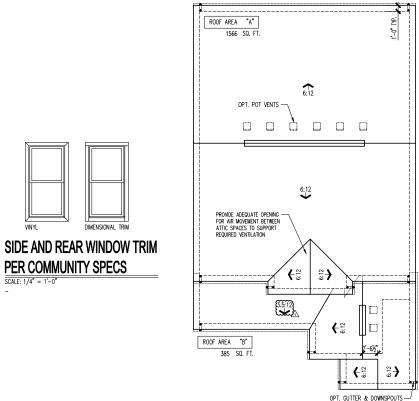
Tony Holman INITIAL RELEASE DATE:

08-19-2014 CURRENT RELEASE DATE: 08-19-2014

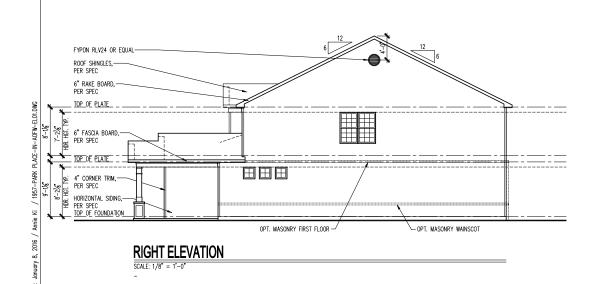
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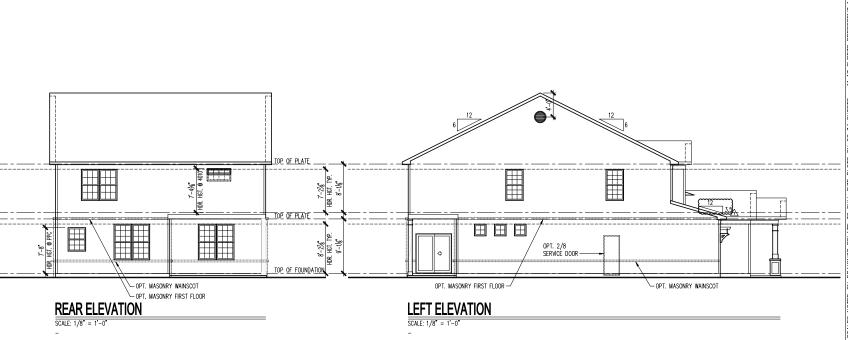














Indiana Division
11590 North Meridian Street, Suite 530
Carmel, Indiana 46032

Pulte:

Elevation 1 - Basement
2 Car Front Entry
Front, Side and Rear Elevations, Roof Plan and Ventilation Schedule

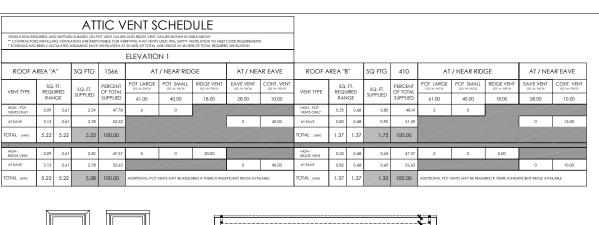
PRODUCTION MANAGER Tony Holman INITIAL RELEASE DATE:

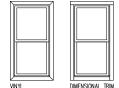
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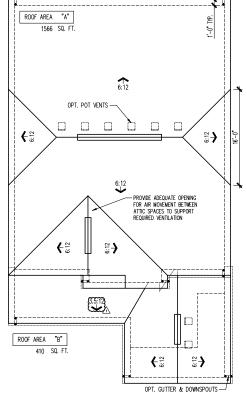
PLAN NAME PARK PLACE

Α3 1-2FB4.1

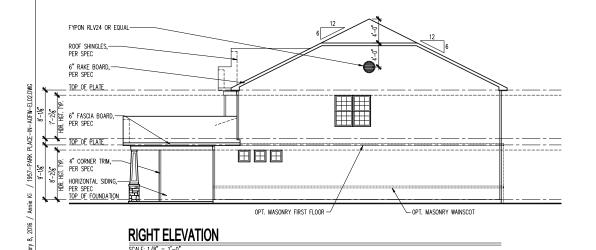


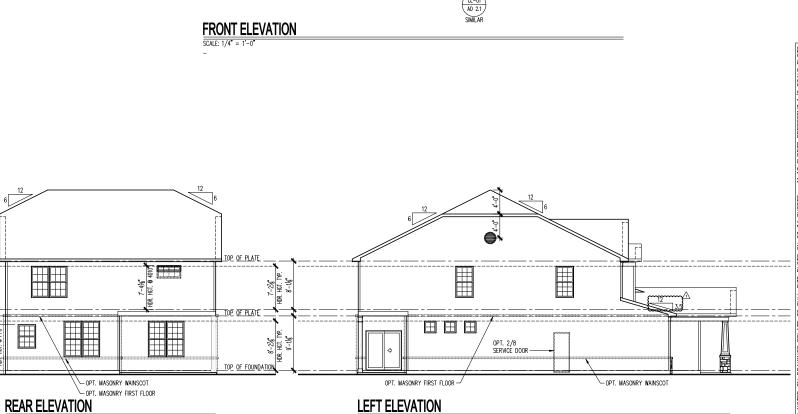


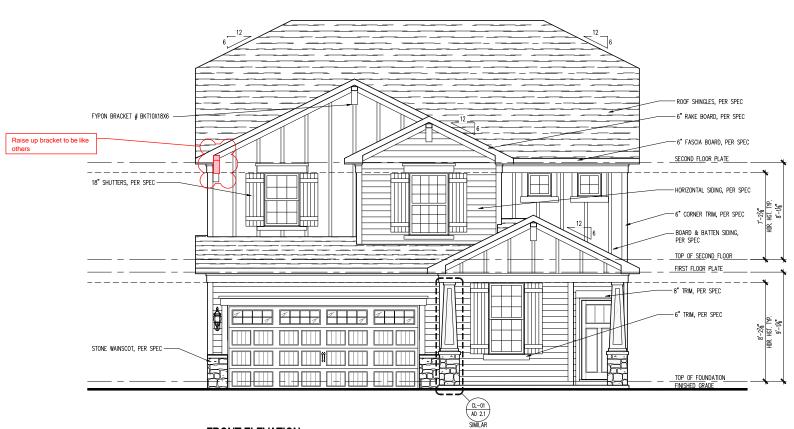




ROOF PLAN







Indiana Division
11590 North Meridian Street, Suite 530
Carmel, Indiana 46032

Pulte:

Elevation 2 - Basement
2 Car Front Entry
Front, Side and Rear Elevations, Roof Plan and Ventilation Schedule

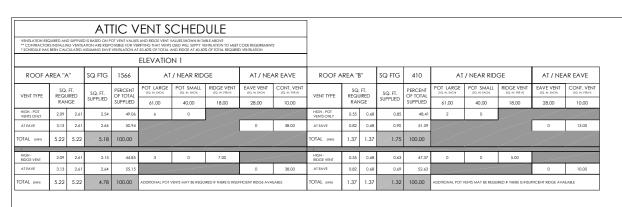
PRODUCTION MANAGER Tony Holman INITIAL RELEASE DATE: 08-19-2014 CURRENT RELEASE DATE: 01-11-2016 REV # DATE / DESCRIPTION 01/11/2016 PLAN REVISIONS

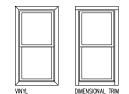
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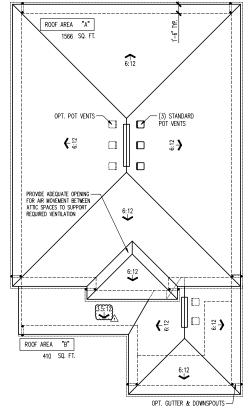
PLAN NAME PARK PLACE

A3 2-2FB4.1

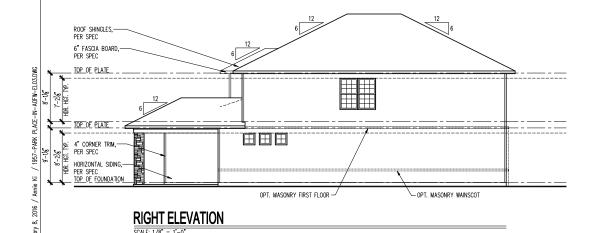


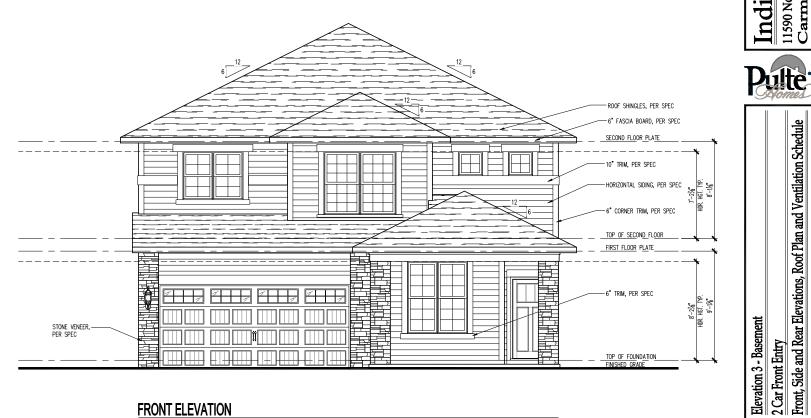




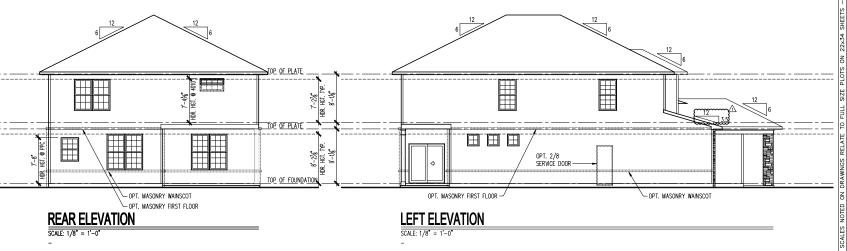


ROOF PLAN





FRONT ELEVATION



Indiana Division
11590 North Meridian Street, Suite 530
Carmel, Indiana 46032

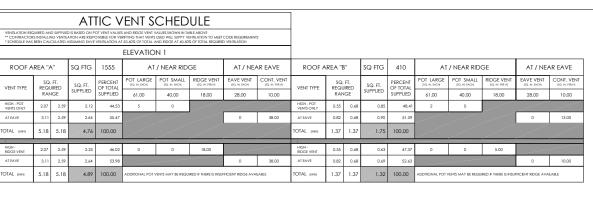
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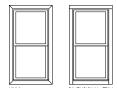
PRODUCTION MANAGER Tony Holman INITIAL RELEASE DATE: 08-19-2014 CURRENT RELEASE DATE: 01-11-2016 REV # DATE / DESCRIPTION 01/11/2016 PLAN REVISIONS GARAGE HANDIN

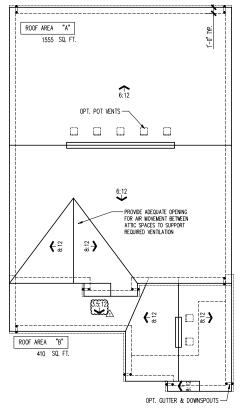
PLAN NAME PARK PLACE

Α3 3-2FB4.1





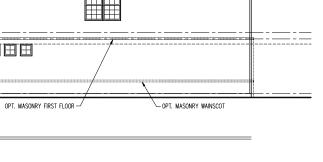




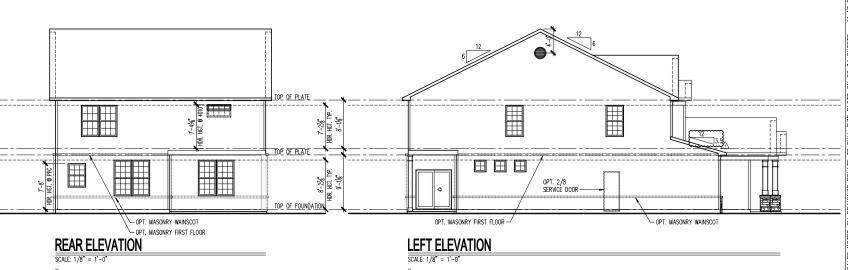
ROOF PLAN

FYPON RLV24 OR EQUAL ROOF SHINGLES,-PER SPEC 6" RAKE BOARD, PER SPEC NO OF PERSON DORNO, — ## CORNER TRIM.
FOR SPEC
FOR SPEC
HORIZONTAL SIDING.
FOR SPEC
TOP OF FOUNDATION OPT. MASONRY WAINSCOT

RIGHT ELEVATION







Indiana Division
11590 North Meridian Street, Suite 530
Carmel, Indiana 46032

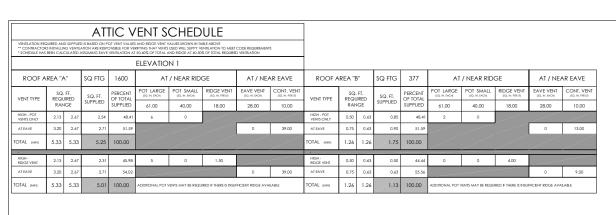
Pulte: Elevation 4 - Basement

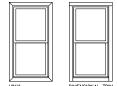
2 Car Front Entry
Front, Side and Rear Elevations, Roof Plan and Ventilation Schedule

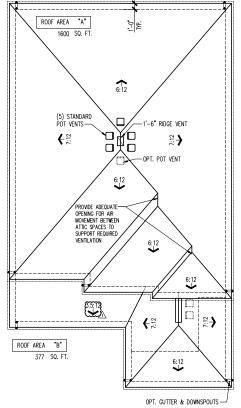
PRODUCTION MANAGER Tony Holman INITIAL RELEASE DATE: 08-19-2014 CURRENT RELEASE DATE: 01-11-2016 REV # DATE / DESCRIPTION 01/11/2016 PLAN REVISIONS GARAGE HANDIN PLAN NAME PARK PLACE

Α3 4-2FB4.1

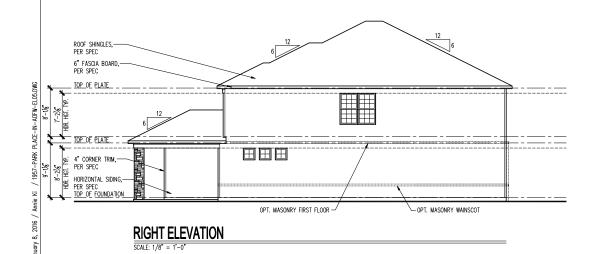






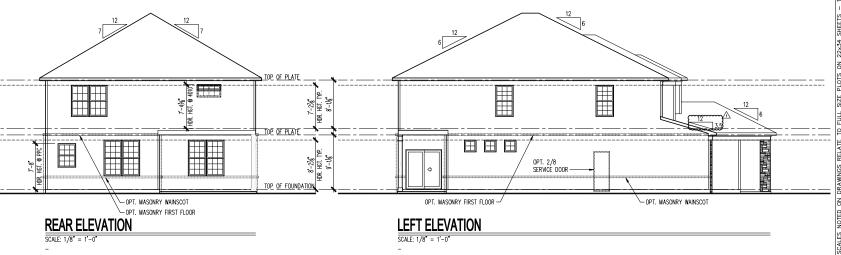


ROOF PLAN





FRONT ELEVATION



Indiana Division
11590 North Meridian Street, Suite 530
Carmel, Indiana 46032

Pulte:

Elevation 5 - Basement

2 Car Front Entry
Front, Side and Rear Elevations, Roof Plan and Ventilation Schedule Tony Holman INITIAL RELEASE DATE:

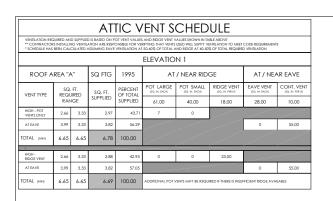
08-19-2014 CURRENT RELEASE DATE: 01-11-2016 REV # DATE / DESCRIPTION 01/11/2016 PLAN REVISIONS GARAGE HANDIN

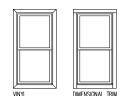
PLAN NAME PARK PLACE

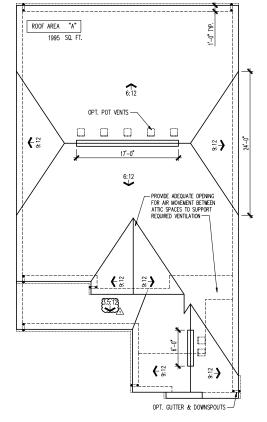
A3

5-2FB4.1







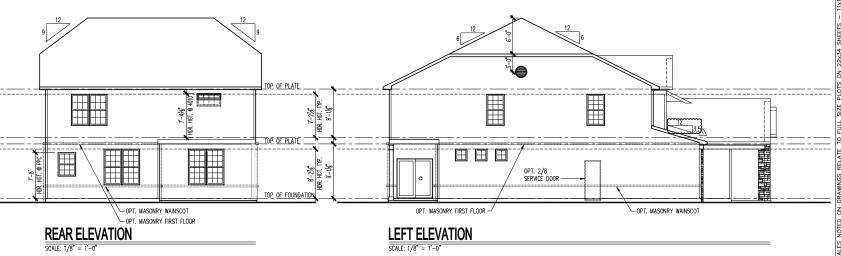


ROOF PLAN



FRONT ELEVATION

FYPON RLV24 OR EQUAL-ROOF SHINGLES,-PER SPEC 6" RAKE BOARD, PER SPEC TOP OF PLATE 27- 6" FASCIA BOARD, -TOP OF PLATE 4" CORNER TRIM,—
PER SPEC
HORIZONTAL SIDING,—
PER SPEC
TOP OF FOUNDATION OPT. MASONRY FIRST FLOOR -► OPT. MASONRY WAINSCOT **RIGHT ELEVATION**



Indiana Division
11590 North Meridian Street, Suite 530
Carmel, Indiana 46032

Pulte:

Elevation 6 - Basement
2 Car Front Entry
Front, Side and Rear Elevations, Roof Plan and Ventilation Schedule Tony Holman INITIAL RELEASE DATE: 08-19-2014 CURRENT RELEASE DATE: 01-11-2016 REV # DATE / DESCRIPTION 01/11/2016 PLAN REVISIONS

GARAGE HANDIN

PLAN NAME PARK PLACE

A3 6-2FB4.1