

NOBLESVILLE ARCHITECTURAL REVIEW BOARD

STAFF REPORT

July 17, 2019

1. ARB-0082-2019	
Architectural review of single-family detached house plans in the Midland Overlook planned development.	
LOCATION:	NE Corner of 171 st and Mill Creek Rd.
APPLICANT:	Lennar
ITEMS FOR CONSIDERATION:	House models/elevations:
	1. Ashbury (A, B, C) (1-story)
	2. Belmont (A, B, C) (2-story)
	3. Hampshire (A, B, C) (2-story)
	4. Kingston (A, B, C) (2-story)
	5. Valencia (A, B, C) (2-story)

Midland Overlook is a subdivision located on the northeast corner of 171st Street and Mill Creek Road (Exhibit 2). It is comprised of 144 detached single family lots and 30 attached single family houses, but this submittal is only for the detached houses. Other plans by Lennar have been previously approved in this subdivision. The new plans have only been staff-reviewed for Brooks Farm, but are before the Board for the first time.

Midland Overlook has its own architectural requirements adopted in the ordinance 29-09-18. One of the requirements that will be added to all approved plans is an existing requirement to include additional corner breaks on the lots as identified in Exhibit C of the ordinance 29-09-18 (Exhibit 4 of this report). The plans have been reviewed against the architectural requirements of Midland Overlook. The Review Matrices (Exhibit 3) show the review results, and the deficiencies are summarized below:

- **Overhangs.** All models feature overhangs as an option on some of the architectural planes, but they are required on all planes.
- **ASHBURY:**
 - **Corner Breaks.** Ashbury A does not meet the minimum three corner break requirement on the front elevation.
 - **Windows.** None of the versions meet the minimum number of windows on the front and the right side elevations. The side elevation shows optional windows that, if required, can help meet the minimum required 2 windows per side. However, there are no optional windows on the front elevations.
- **BELMONT:**
 - **Masonry.** None of the versions meet the minimum 20 % masonry requirement on the front elevation.

EXHIBIT 1 – STAFF REPORT

- **Windows.** None of the versions meet the minimum number of windows on the side elevations. The right side doesn't show enough of optional windows to count towards 3 minimum required, but the left side does.
- **HAMPSHIRE:**
 - **Masonry.** None of the versions meet the minimum 20 % masonry requirement on the front elevation.
 - **Windows.** None of the versions meet the minimum number of windows on the side elevations, but they have optional windows that, if required, can help meet the required minimum 3 windows per side.
- **KINSTON:**
 - **Masonry.** None of the versions meet the minimum 20 % masonry requirement on the front elevation.
 - **Windows.** None of the versions meet the minimum number of windows on the right side elevation, but they have optional windows that, if required, can help meet the required minimum 3 windows per side.
 - **Porch area.** Kingston A does not meet minimum porch area requirement.
- **VALENCIA:**
 - **Masonry.** None of the version meet the minimum 20 % masonry requirement on the front elevation.
 - **Windows.** None of the versions meet the minimum number of windows on the right side elevation, but they have optional windows that, if required, can help meet the required minimum 3 windows per side.
 - **Roof ridgelines.** Valencia A does not meet minimum number of ridge lines.

ATTACHED EXHIBITS:

1. Staff Report
2. Midland Overlook Location Map
3. Review Matrices
4. Lots with Additional Corner Breaks Requirement
5. House Plans

EXHIBIT 1 – STAFF REPORT

The Board must determine if the proposed residential plans and/or architectural standards meet the intent of the Ordinance and/or present sufficient detail to warrant approval by the Architectural Review Board.

The following are your choices for motions:

MOTION I move to **APPROVE** the [HOUSE PLAN NAME] for [SUBDIVISION NAME] submitted by [APPLICANT NAME] (include any commitments/conditions)

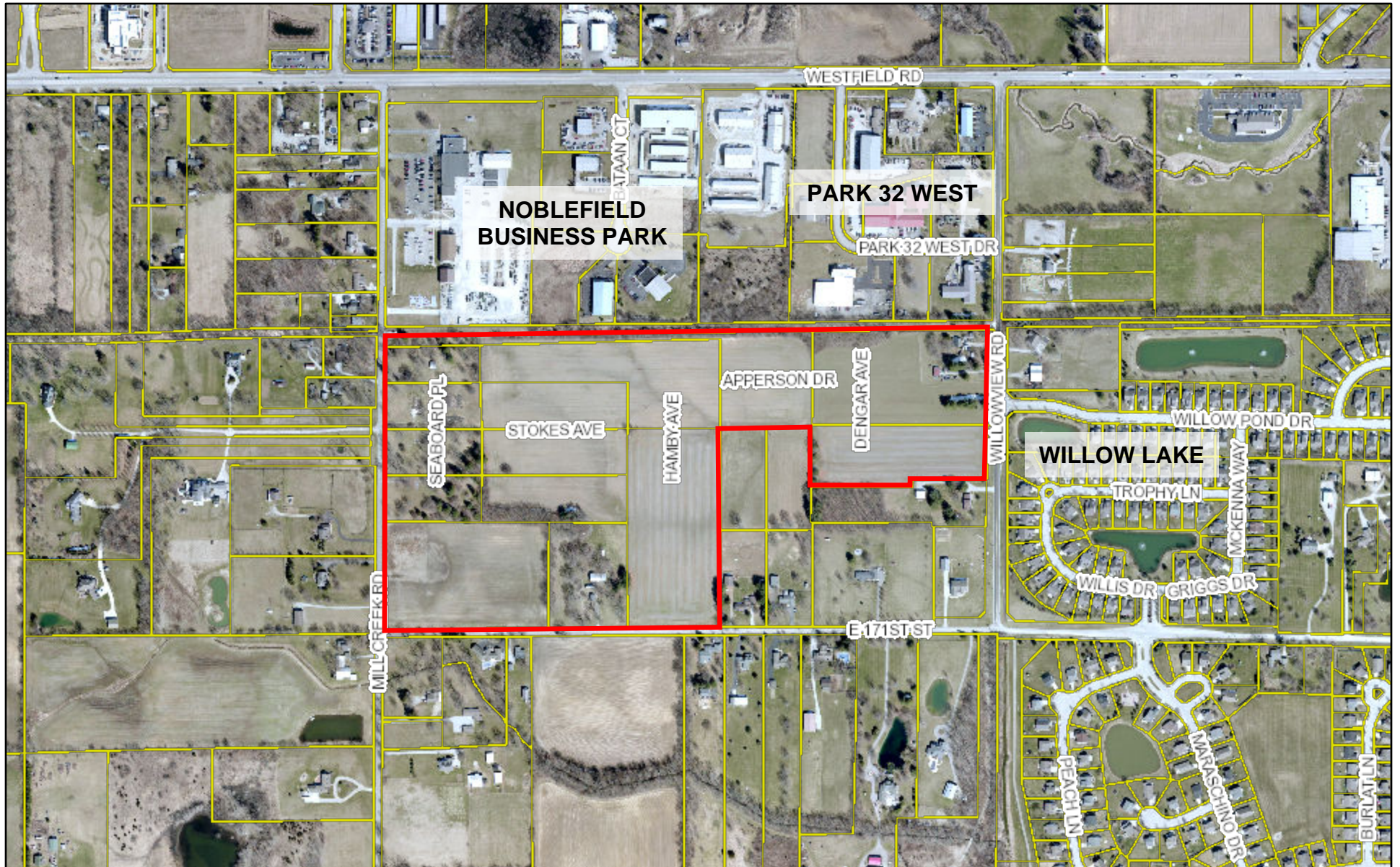
OR

MOTION I move to **DENY** the [HOUSE PLAN NAME] for [SUBDIVISION NAME] submitted by [APPLICANT NAME]

OR

MOTION I move to **CONTINUE** the application until (fill in the blank) and (noting what items are to be addressed).

EXHIBIT 2. MIDLAND OVERLOOK MAP



July 9, 2019

- centerlines
- Parcels

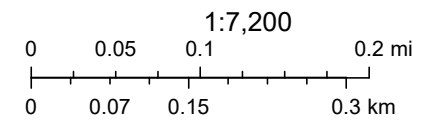


EXHIBIT 3. REVIEW MATRICES

ARB-0082-2019 REVIEW MATRIX - MIDLAND OVERLOOK (LENNAR SINGLE-FAMILY DETACHED)					
ARCHITECTURAL FEATURE		MIDLAND OVERLOOK STANDARDS	Ashbury (1-story)		
			A	B	C
Floor Area/Dwelling Unit (Minimum; sq. ft.)	Single-Level Dwellings	1,500	1,800	1,800	1,800
Corner Breaks; Front (Minimum)	Single-Level Dwellings	3	2	3	4
Corner Breaks; Left Side (Minimum)	Single-Level Dwellings	2	3	3	3
Corner Breaks; Right Side (Minimum)	Single-Level Dwellings	2	2	2	2
Corner Breaks; Rear (Minimum)	Single-Level Dwellings	2	3	3	3
Porch Area (Minimum;sq. ft.)		20	45	58	179
Masonry Percentage (Minimum)	Primary Facade	20%	21%	61%	26%
	Secondary Facade	N/A	N/A	N/A	N/A
	Total (All Facades)	N/A	N/A	N/A	N/A
Material Restrictions	Vinyl (0.048" minimum)	NO	NO	NO	NO
	Aluminum	NO	NO	NO	NO
Roof Pitch (Minimum)	Primary Ridge	6/12	6/12	6/12	6/12
Roof Ridgelines (Minimum)	Single-Level Dwellings	3	3	3	3
Roof Overhang; From Framing (Minimum; in.)		11	12 (opt)	12 (opt)	12 (opt)
Number of Windows*; Front (Minimum)	Single-Level Dwellings	3	1	2	2
Number of Windows*; Left Side (Minimum)	Single-Level Dwellings	2	3	3	3
Number of Windows*; Right Side (Minimum)	Single-Level Dwellings	2	1	1	1
Number of Windows*; Rear (Minimum)	Single-Level Dwellings	2	6	6	6
Number of Windows; Total Aggregate (Minimum)	Single-Level Dwellings	10	11	12	12
Window Treatment Required	Primary Facade	YES	YES	YES	YES
	Secondary Facade	NO	NO	NO	NO
Garage Door Percentage (Maximum)	Single-Level Dwellings	35%	28%	34%	29%

*** Minimum window size to count as a window is 8 sf. A grouping of accent windows (4 sf) greater than 8 sf count as a window. Sliding rear door counts as two windows.**

REVIEW LEGEND

Text in regular black - meets requirement.

Text in bold red - doesn't meet the requirements.

(opt) - the feature is marked as optional, but is required.

ARB-0082-2019 REVIEW MATRIX - MIDLAND OVERLOOK (LENNAR SINGLE-FAMILY DETACHED)

ARCHITECTURAL FEATURE		MIDLAND OVERLOOK STANDARDS	Belmont (2-story)		
			A	B	C
Floor Area/Dwelling Unit (Minimum; sq. ft.)	Multi-Level Dwellings	1,800	2,042	2,042	2,042
Corner Breaks; Front (Minimum)	Multi-Level Dwellings	3	4	4	3
Corner Breaks; Left Side (Minimum)	Multi-Level Dwellings	2	4	4	3
Corner Breaks; Right Side (Minimum)	Multi-Level Dwellings	2	2	2	2
Corner Breaks; Rear (Minimum)	Multi-Level Dwellings	2	2	2	2
Porch Area (Minimum;sq. ft.)		20	29	29	89
Masonry Percentage (Minimum)	Primary Facade	20%	12%	11%	12%
	Secondary Facade	N/A	N/A	N/A	N/A
	Total (All Facades)	N/A	N/A	N/A	N/A
Material Restrictions	Vinyl (0.048" minimum)	NO	NO	NO	NO
	Aluminum	NO	NO	NO	NO
Roof Pitch (Minimum)	Primary Ridge	6/12	6/12	6/12	6/12
Roof Ridgelines (Minimum)	Multi-Level Dwellings	3	3	4	5
Roof Overhang; From Framing (Minimum; in.)		11	12 (opt)	12 (opt)	12 (opt)
Number of Windows; Front (Minimum)	Multi-Level Dwellings	4	5	5	5
Number of Windows; Left Side (Minimum)	Multi-Level Dwellings	3	1	1	1
Number of Windows; Right Side (Minimum)	Multi-Level Dwellings	3	1	1	1
Number of Windows; Rear (Minimum)	Multi-Level Dwellings	3	4	4	4
Number of windows; Total Aggregate (Minimum)	Multi-Level Dwellings	14	11	11	11
Window Treatment Required	Primary Facade	YES	YES	YES	YES
	Secondary Facade	NO	NO	NO	NO
Garage Door Percentage (Maximum)	Multi-Level Dwellings	20%	17%	17%	15%
<p>* Minimum window size to count as a window is 8 sf. A grouping of accent windows (4 sf) greater than 8 sf count as a window. Sliding rear door counts as two windows.</p>					

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Text in regular black - meets requirement.

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(opt) - the feature is marked as optional, but is required.

ARB-0082-2019 REVIEW MATRIX - MIDLAND OVERLOOK (LENNAR SINGLE-FAMILY DETACHED)

ARCHITECTURAL FEATURE		MIDLAND OVERLOOK STANDARDS	Hampshire (2-story)		
			A	B	C
Floor Area/Dwelling Unit (Minimum; sq. ft.)	Multi-Level Dwellings	1,800	2,422	2,422	2,422
Corner Breaks; Front (Minimum)	Multi-Level Dwellings	3	3	4	4
Corner Breaks; Left Side (Minimum)	Multi-Level Dwellings	2	3	3	3
Corner Breaks; Right Side (Minimum)	Multi-Level Dwellings	2	2	2	2
Corner Breaks; Rear (Minimum)	Multi-Level Dwellings	2	2	2	2
Porch Area (Minimum;sq. ft.)		20	21	40	136
Masonry Percentage (Minimum)	Primary Facade	20%	13%	11%	14%
	Secondary Facade	N/A	N/A	N/A	N/A
	Total (All Facades)	N/A	N/A	N/A	N/A
Material Restrictions	Vinyl (0.048" minimum)	NO	NO	NO	NO
	Aluminum	NO	NO	NO	NO
Roof Pitch (Minimum)	Primary Ridge	6/12	6/12	6/12	6/12
Roof Ridgelines (Minimum)	Multi-Level Dwellings	3	4	4	3
Roof Overhang; From Framing (Minimum; in.)		11	12 (opt)	12 (opt)	12 (opt)
Number of Windows; Front (Minimum)	Multi-Level Dwellings	4	4	4	6
Number of Windows; Left Side (Minimum)	Multi-Level Dwellings	3	1	1	1
Number of Windows; Right Side (Minimum)	Multi-Level Dwellings	3	1	1	1
Number of Windows; Rear (Minimum)	Multi-Level Dwellings	3	5	5	5
Number of Windows; Total Aggregate (Minimum)	Multi-Level Dwellings	14	11	11	13
Window Treatment Required	Primary Facade	YES	YES	YES	YES
	Secondary Facade	NO	NO	NO	NO
Garage Door Percentage (Maximum)	Multi-Level Dwellings	20%	17%	16%	19%

*** Minimum window size to count as a window is 8 sf. A grouping of accent windows (4 sf) greater than 8 sf count as a window. Sliding rear door counts as two windows.**

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ARB-0082-2019 REVIEW MATRIX - MIDLAND OVERLOOK (LENNAR SINGLE-FAMILY DETACHED)

ARCHITECTURAL FEATURE		MIDLAND OVERLOOK STANDARDS	Kingston (2-story)		
			A	B	C
Floor Area/Dwelling Unit (Minimum; sq. ft.)	Multi-Level Dwellings	1,800	2,736	2,736	2,736
Corner Breaks; Front (Minimum)	Multi-Level Dwellings	3	4	4	4
Corner Breaks; Left Side (Minimum)	Multi-Level Dwellings	2	2	2	2
Corner Breaks; Right Side (Minimum)	Multi-Level Dwellings	2	3	3	3
Corner Breaks; Rear (Minimum)	Multi-Level Dwellings	2	2	2	2
Porch Area (Minimum;sq. ft.)		20	17	24	151
Masonry Percentage (Minimum)	Primary Facade	20%	13%	14%	12%
	Secondary Facade	N/A	N/A	N/A	N/A
	Total (All Facades)	N/A	N/A	N/A	N/A
Material Restrictions	Vinyl (0.048" minimum)	NO	NO	NO	NO
	Aluminum	NO	NO	NO	NO
Roof Pitch (Minimum)	Primary Ridge	6/12	6/12	6/12	6/12
Roof Ridgelines (Minimum)	Multi-Level Dwellings	3	3	3	4
Roof Overhang; From Framing (Minimum; in.)		11	12 (opt)	12 (opt)	12 (opt)
Number of Windows; Front (Minimum)	Multi-Level Dwellings	4	6	5	5
Number of Windows; Left Side (Minimum)	Multi-Level Dwellings	3	4	4	4
Number of Windows; Right Side (Minimum)	Multi-Level Dwellings	3	1	1	1
Number of Windows; Rear (Minimum)	Multi-Level Dwellings	3	5	5	5
Number of Windows; Total Aggregate (Minimum)	Multi-Level Dwellings	14	16	15	15
Window Treatment Required	Primary Facade	YES	YES	YES	YES
	Secondary Facade	NO	NO	NO	NO
Garage Door Percentage (Maximum)	Multi-Level Dwellings	20%	18%	18%	17%

*** Minimum window size to count as a window is 8 sf. A grouping of accent windows (4 sf) greater than 8 sf count as a window. Sliding rear door counts as two windows.**

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ARB-0082-2019 REVIEW MATRIX - MIDLAND OVERLOOK (LENNAR SINGLE-FAMILY DETACHED)

ARCHITECTURAL FEATURE		MIDLAND OVERLOOK STANDARDS	Valencia (2-story)		
			A	B	C
Floor Area/Dwelling Unit (Minimum; sq. ft.)	Multi-Level Dwellings	1,800	3,054	3,054	3,054
Corner Breaks; Front (Minimum)	Multi-Level Dwellings	3	4	4	4
Corner Breaks; Left Side (Minimum)	Multi-Level Dwellings	2	2	2	2
Corner Breaks; Right Side (Minimum)	Multi-Level Dwellings	2	2	2	2
Corner Breaks; Rear (Minimum)	Multi-Level Dwellings	2	2	2	2
Porch Area (Minimum;sq. ft.)		20	47	47	47
Masonry Percentage (Minimum)	Primary Facade	20%	15%	15%	12%
	Secondary Facade	N/A	N/A	N/A	N/A
	Total (All Facades)	N/A	N/A	N/A	N/A
Material Restrictions	Vinyl (0.048" minimum)	NO	NO	NO	NO
	Aluminum	NO	NO	NO	NO
Roof Pitch (Minimum)	Primary Ridge	6/12	6/12	6/12	6/12
Roof Ridgelines (Minimum)	Multi-Level Dwellings	3	2	3	4
Roof Overhang; From Framing (Minimum; in.)		11	12 (opt)	12 (opt)	12 (opt)
Number of Windows; Front (Minimum)	Multi-Level Dwellings	4	7	7	5
Number of Windows; Left Side (Minimum)	Multi-Level Dwellings	3	4	4	4
Number of Windows; Right Side (Minimum)	Multi-Level Dwellings	3	1	1	1
Number of Windows; Rear (Minimum)	Multi-Level Dwellings	3	7	7	7
Number of windows; Total Aggregate (Minimum)	Multi-Level Dwellings	14	19	19	17
Window Treatment Required	Primary Facade	YES	YES	YES	YES
	Secondary Facade	NO	NO	NO	NO
Garage Door Percentage (Maximum)	Multi-Level Dwellings	20%	17%	17%	16%
<p>* Minimum window size to count as a window is 8 sf. A grouping of accent windows (4 sf) greater than 8 sf count as a window. Sliding rear door counts as two windows.</p>					

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EXHIBIT 4. LOTS WITH ADDITIONAL CORNER BREAK REQUIREMENTS

EXHIBIT C

ARCHITECTURAL STANDARDS – SINGLE FAMILY DETACHED

(Page 2 of 2)

Home architecture enhancement map:

Homes constructed on the lots denoted on the below plan with and “*” shall include a minimum of three (3) corner breaks.

