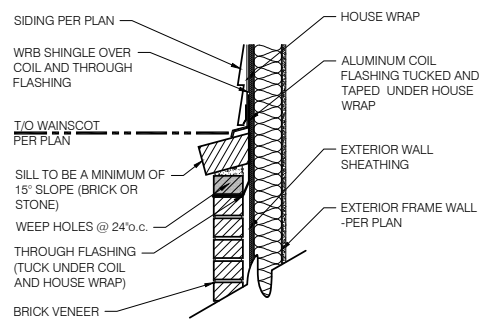


TYPICAL EXTERIOR TRIM FINISH	
THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.	
①	= 4" TRIM (1x4, 5/4x4, 3 1/2" VINYL LINEAL)
②	= 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)
③	= 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)
④	= 10" TRIM
⑤	= 12" TRIM
⑥	FRONT CORNERS = 5" TRIM PER DIVISION - SEE SPECS
⑦	REAR CORNERS = 3" TRIM PER DIVISION - SEE SPECS

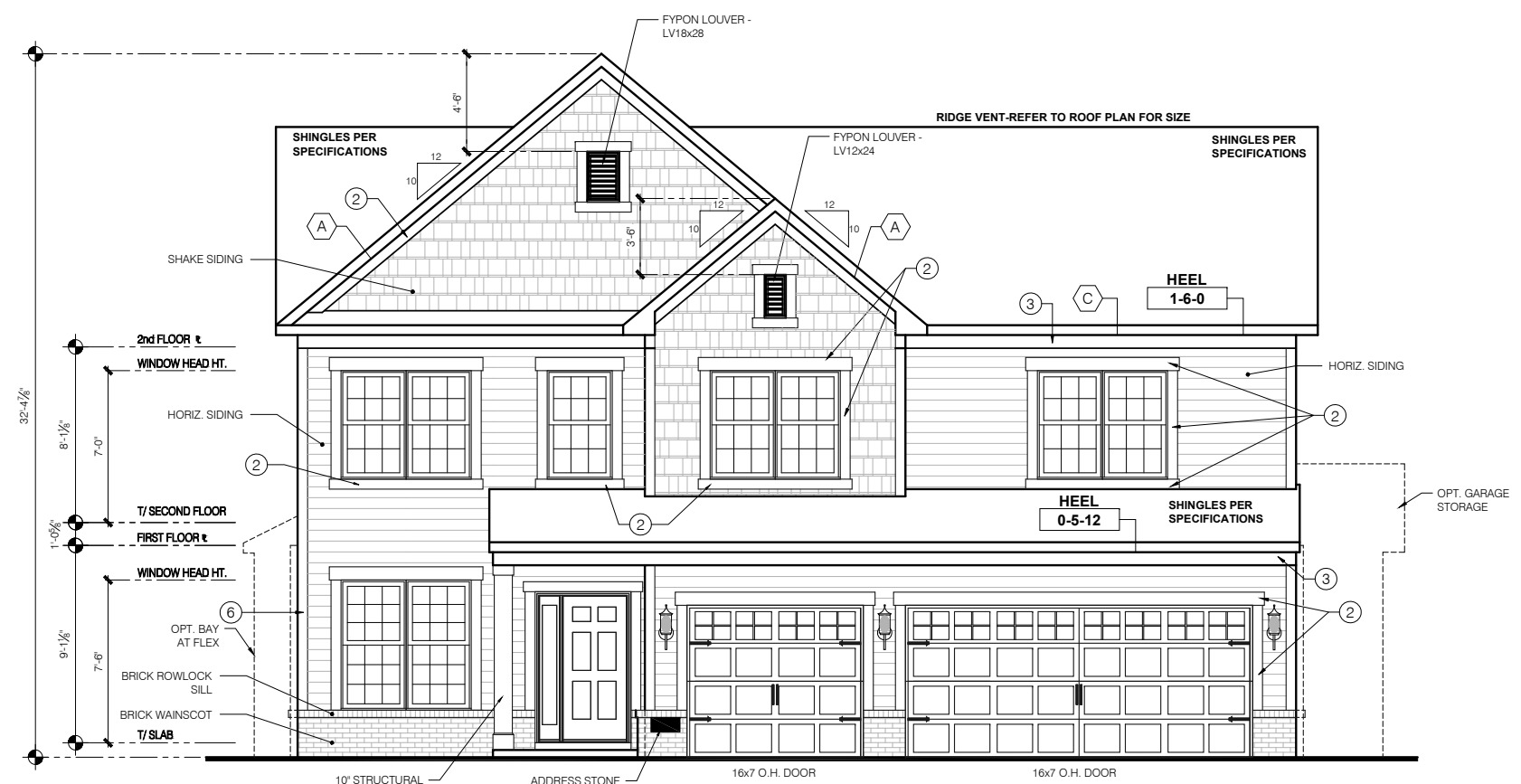
DIVISION NOTE:
 IT IS THE RESPONSIBILITY OF EACH DIVISION TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL, THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES; WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED.

WINDOW GRID NOTE:
 - FRONT WINDOW GRIDS ARE STANDARD
 - SIDE AND REAR GRIDS ARE OPTIONAL PER DIVISION
 *GRID PATTERNS TO MATCH FRONT ELEVATION

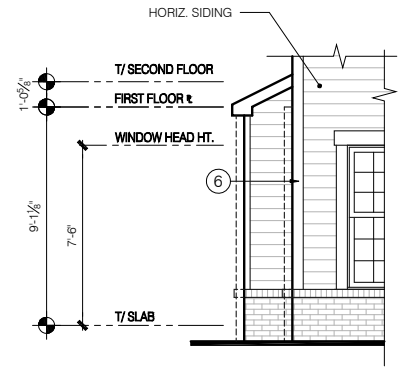
ELEVATION DEPICTED IS A REPRESENTATIVE SAMPLE WHICH WILL VARY BASED ON FOUNDATION TYPE AND GRADING REQUIREMENTS.



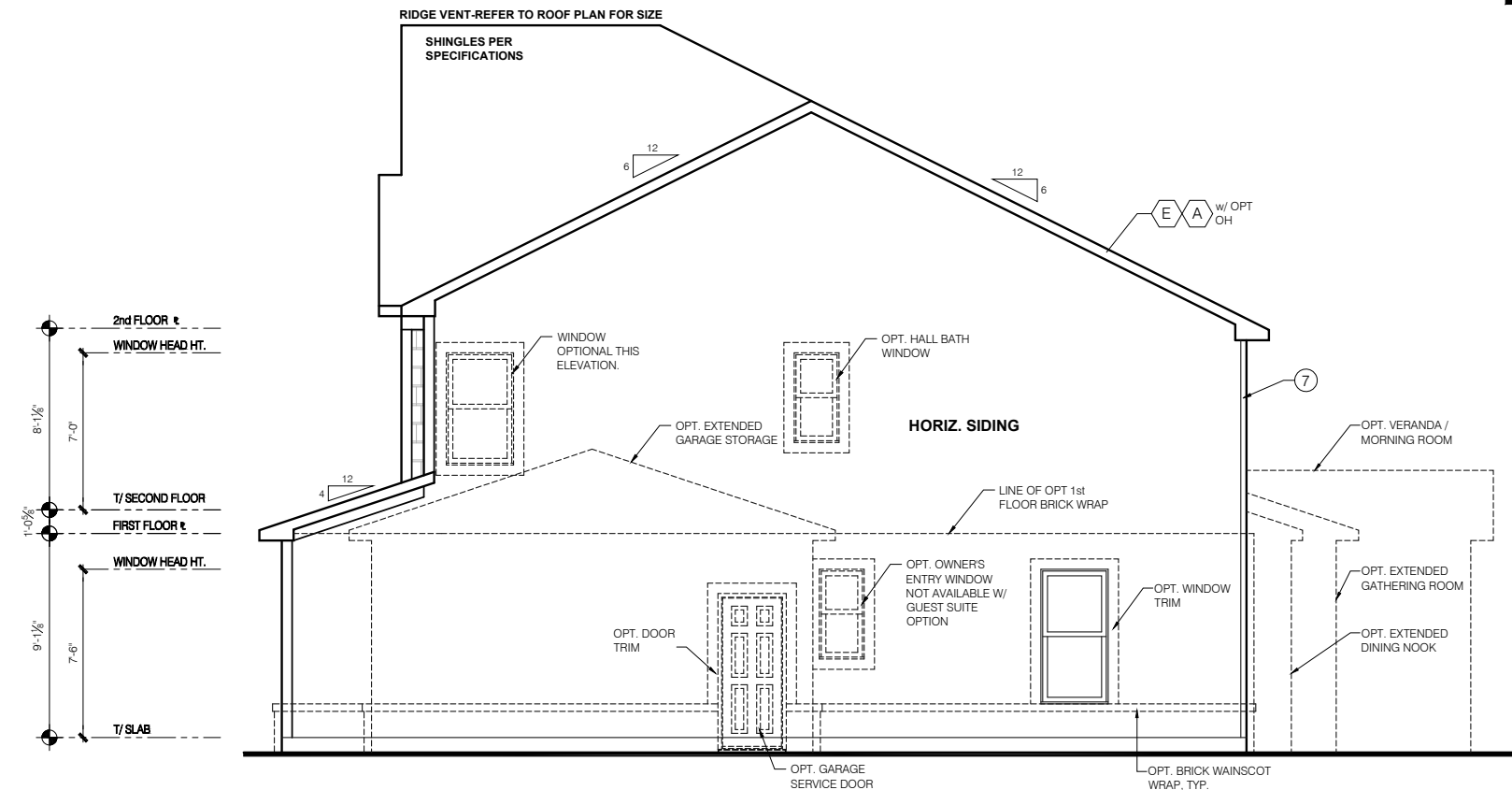
1 BRICK WAINSCOT DETAIL
 SCALE: 1" = 1'-0"



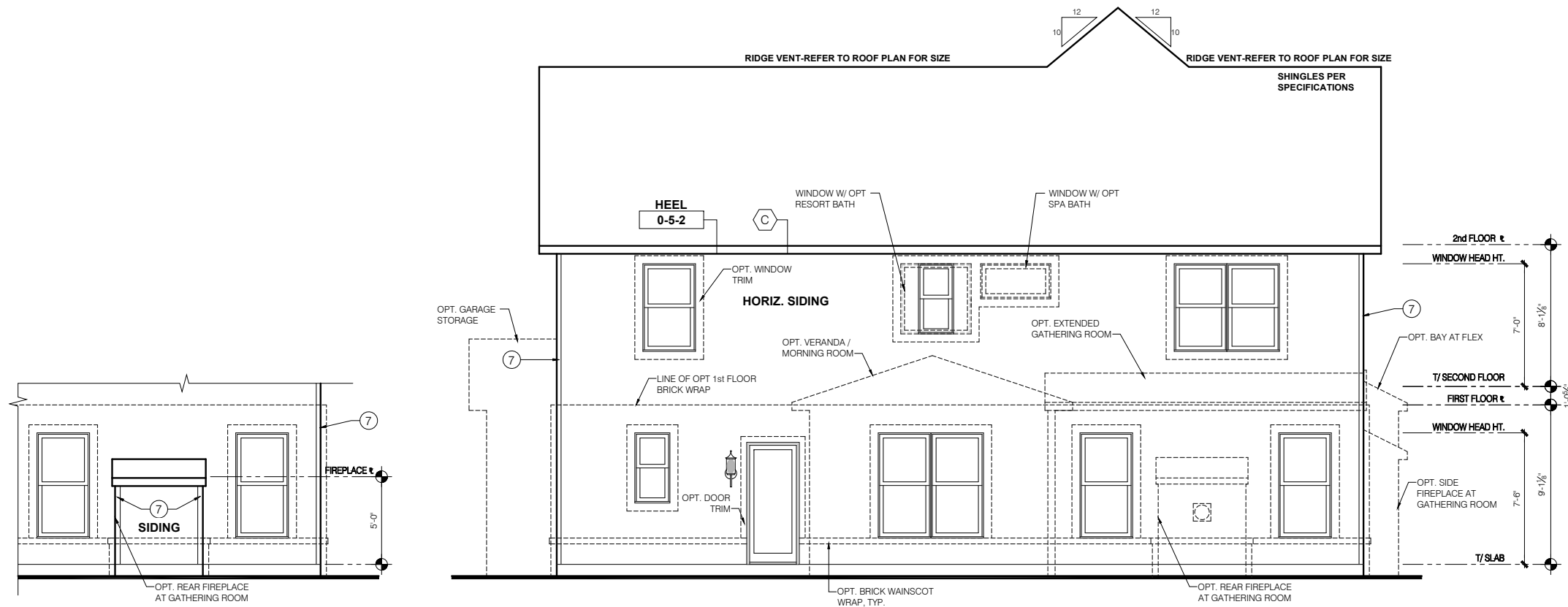
ELEVATION "A" TRADITIONAL FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



OPT FLEX SIDE BAY FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



ELEVATION "A" TRADITIONAL GARAGE SIDE ELEVATION
 SCALE: 1/4" = 1'-0"



OPT REAR FIREPLACE REAR ELEVATION

SCALE: 1/4" = 1'-0"

ELEVATION "A" TRADITIONAL REAR ELEVATION

SCALE: 1/4" = 1'-0"

TYPICAL EXTERIOR TRIM FINISH

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①	= 4" TRIM (1x4, 5/4x4, 3/2" VINYL LINEAL)
②	= 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)
③	= 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)
④	= 10" TRIM
⑤	= 12" TRIM
⑥	FRONT CORNERS = 5" TRIM PER DIVISION - SEE SPECS
⑦	REAR CORNERS = 3" TRIM PER DIVISION - SEE SPECS

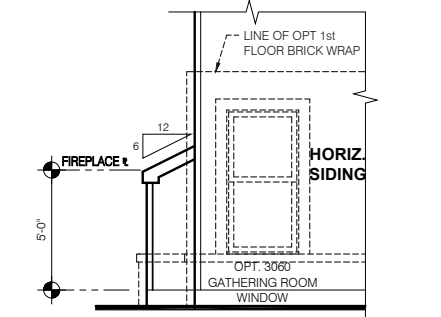
DIVISION NOTE:

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WINDOW GRID NOTE:

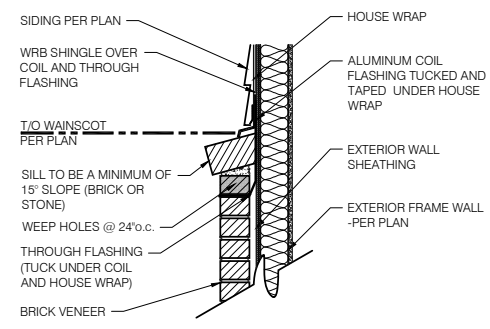
- FRONT WINDOW GRIDS ARE STANDARD
- SIDE AND REAR GRIDS ARE OPTIONAL PER DIVISION
- *GRID PATTERNS TO MATCH FRONT ELEVATION

ELEVATION DEPICTED IS A REPRESENTATIVE SAMPLE WHICH WILL VARY BASED ON FOUNDATION TYPE AND GRADING REQUIREMENTS.



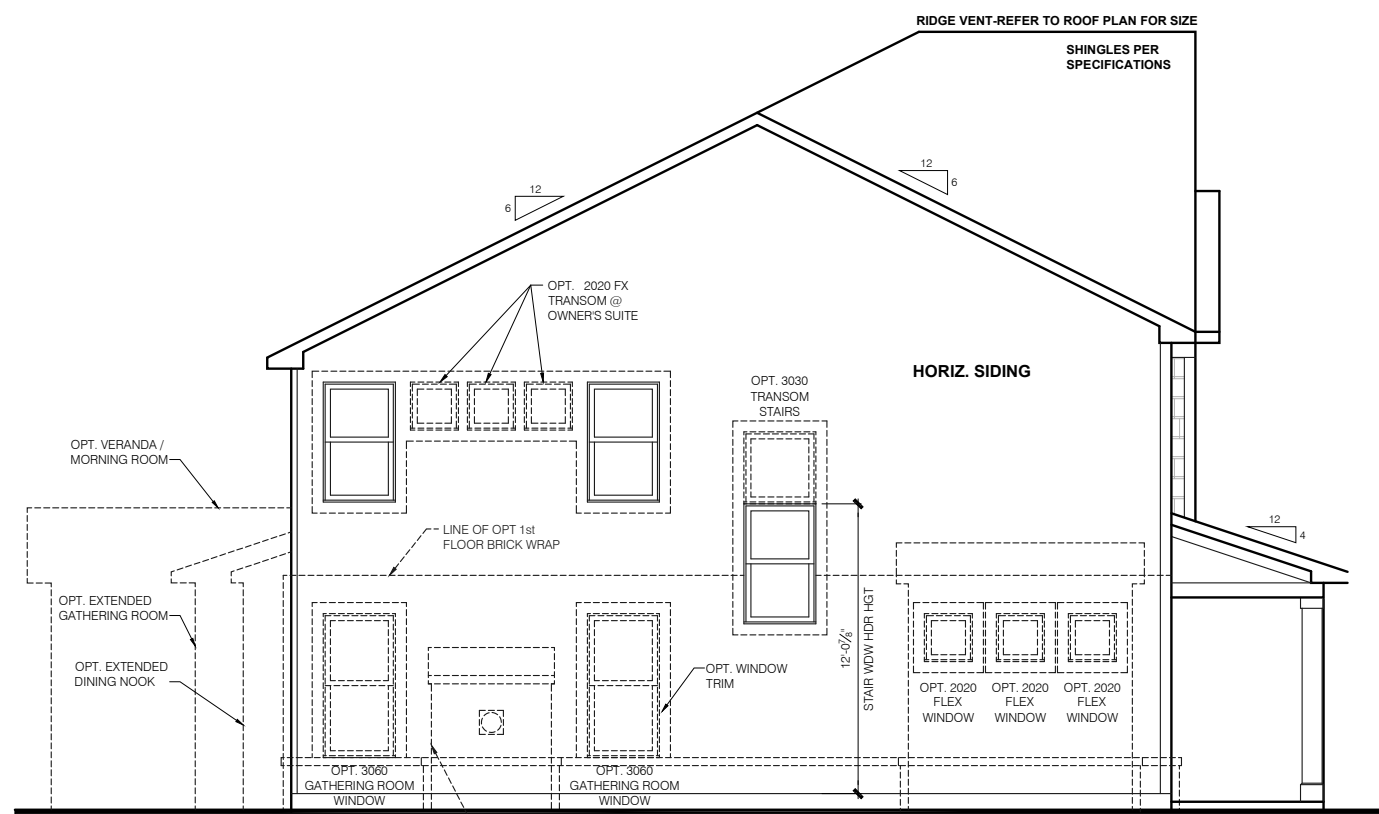
OPT REAR FIREPLACE SIDE ELEVATION

SCALE: 1/4" = 1'-0"



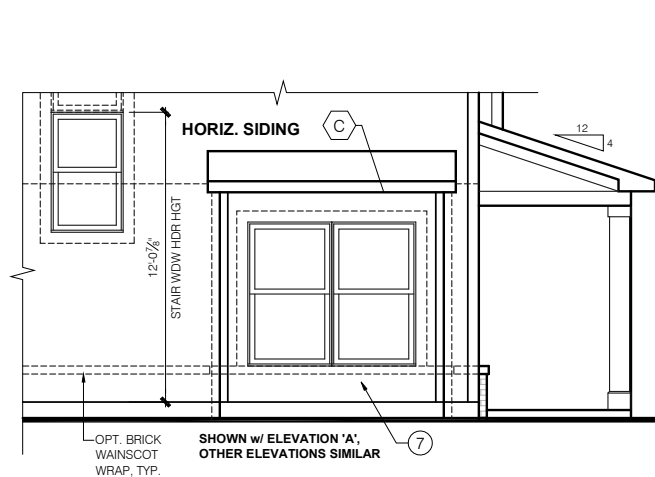
1 BRICK WAINSCOT DETAIL

SCALE: 1" = 1'-0"



ELEVATION "A" TRADITIONAL SIDE ELEVATION

SCALE: 1/4" = 1'-0"



OPT FLEX SIDE BAY SIDE ELEVATION

SCALE: 1/4" = 1'-0"

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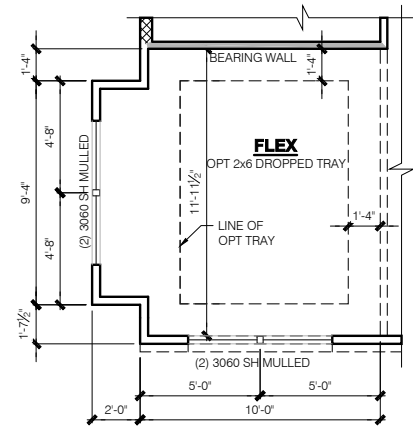
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Issued Date: 03/29/17
BASE PLAN REVISION:

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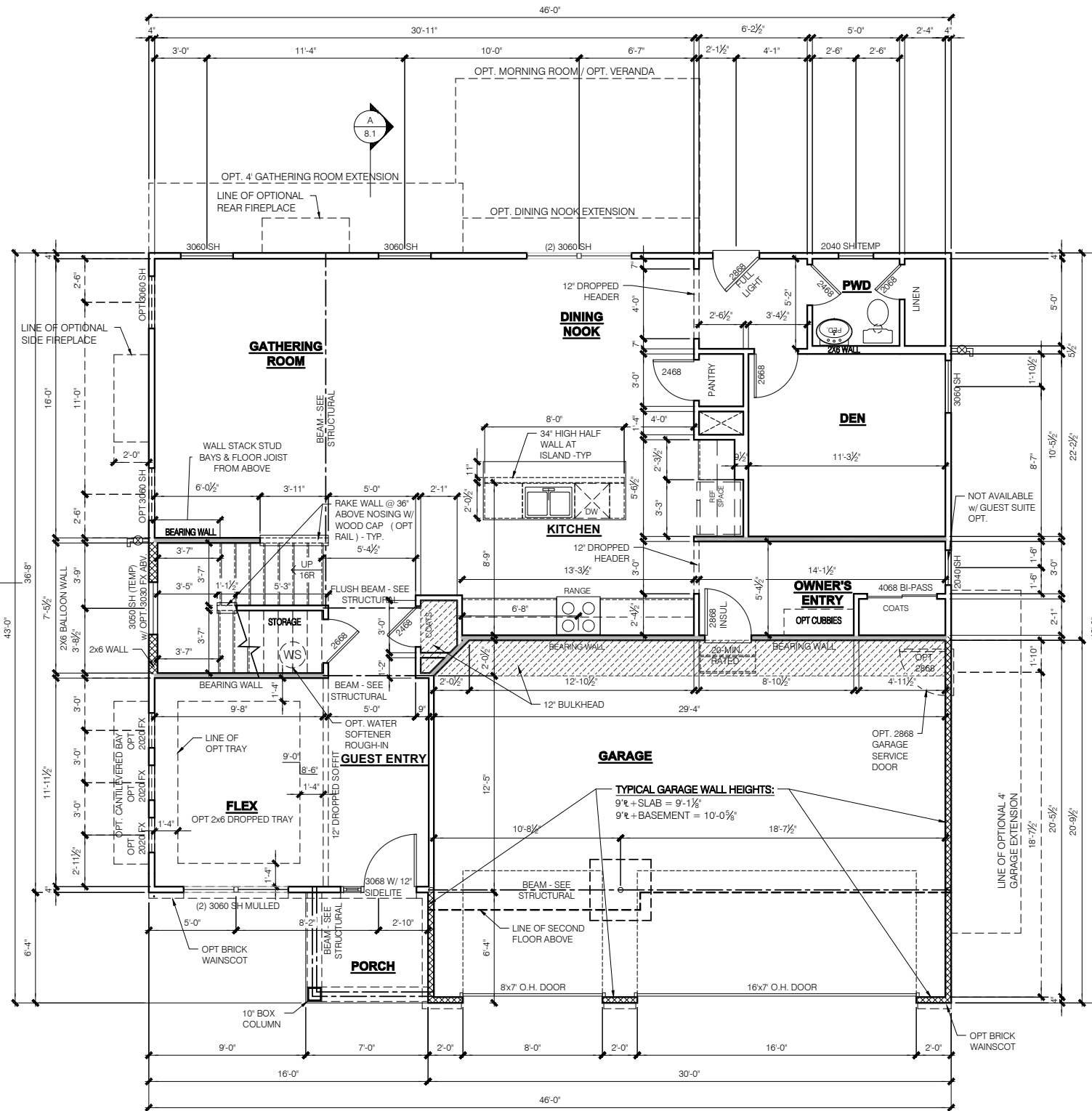
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FINAL SET
4/08/20

Job #: ----
LSP Date: X/X/XX
LSP By: BY
LSP Rev: ----
Sheet Title :
Rear and Side Elevations
Sheet:
1.1A



**FRAMING PLAN
OPT FLEX SIDE BAY**

SCALE: 1/4" = 1'-0"



**ELEVATION "A" TRADITIONAL
SLAB
FRAMING PLAN
FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"

WINDOW/DOOR FRAMING NOTE:

WINDOW AND DOOR FRAMING TO INCLUDE (1) JACK STUD AND (1) KING STUD EA. SIDE U.N.O. SEE DETAILS 1 & 2 SHEET D3.1

GARAGE DRYWALL NOTE:

ALL GARAGE /HOUSE COMMON WALLS, CEILINGS, BEAMS, COLUMNS THAT SUPPORT FLOOR-CEILING ASSEMBLY ABOVE TO HAVE 1/2" G.W.B. CEILING TO BE 1/2" TYPE "X" FIRECODE DRYWALL BELOW HABITABLE SPACES.

GARAGE FINISH:
3/4" DRYWALL WARM WALLS AND CEILING (UNFINISHED)

TYPICAL STUD WALL SIZES PER LOCATION:

- EXTERIOR WALLS AT CONDITIONED SPACES ARE 2x6's W/ 1/2" NOMINAL SHEATHING U.N.O. (4) STUDS @ 16" O.C. U.N.O.
- GARAGE/HOUSE COMMON WALLS ARE 2x6's U.N.O. (5/2) STUDS @ 24" O.C. U.N.O.
- GARAGE EXTERIOR WALLS ARE 2x6's W/ 1/2" NOMINAL SHEATHING U.N.O. (4) STUDS @ 16" O.C.
- WALLS ADJACENT TO ATTIC SPACES ARE 2x4's W/ 1/2" NOMINAL SHEATHING U.N.O. (6) STUDS @ 16" O.C. U.N.O.
- INTERIOR WALLS ARE 2x4's U.N.O. (3/2)

EXTERIOR WALLS ARE SHOWN WITH 1/2" NOMINAL SHEATHING WHICH IS HELD FLUSH WITH THE OUTSIDE OF THE FOUNDATION

- NOTE:**
- INDICATES WALL HEIGHTS LOWER THAN STANDARD HEIGHT - AS NOTED
 - INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT - AS NOTED
 - INDICATES SLOPED WALLS - AS NOTED
 - INDICATES INTERIOR LOAD BEARING WALLS, FRAME 16" O.C. (2x4), 24" O.C. (2x6) W/ DBL. TOP PLATE
 - ALL OTHER WALLS ARE 9'-1 1/8" HIGH
 - ALL STRUCTURAL HEADERS ARE (2) 2x6 - UNLESS NOTED OTHERWISE
 - ALL POINT LOADS TO BE BLOCKED SOLID TO FINAL SUPPORT MEMBER OR FOUNDATION.
 - STAIRS FROM 1st TO 2nd FLOOR ARE TO BE 16 RISERS
 - (3) JACK STUDS TYP. UNLESS NOTED (#2, SPF)
 - (#) INDICATES QUANTITY OF NON-STD. STUDS (#2 SPF)
 - (#/#) INDICATES QUANTITY OF RIPPED LVL (2650 Fd-1.9E) or PSL STUDS, WIDE BY WALL THICKNESS

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11x17 PRINTS ARE 1/2" SCALE

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LSP Date: X/XX/XX
LSP By: BY
LSP Rev: ---
Sheet Title:

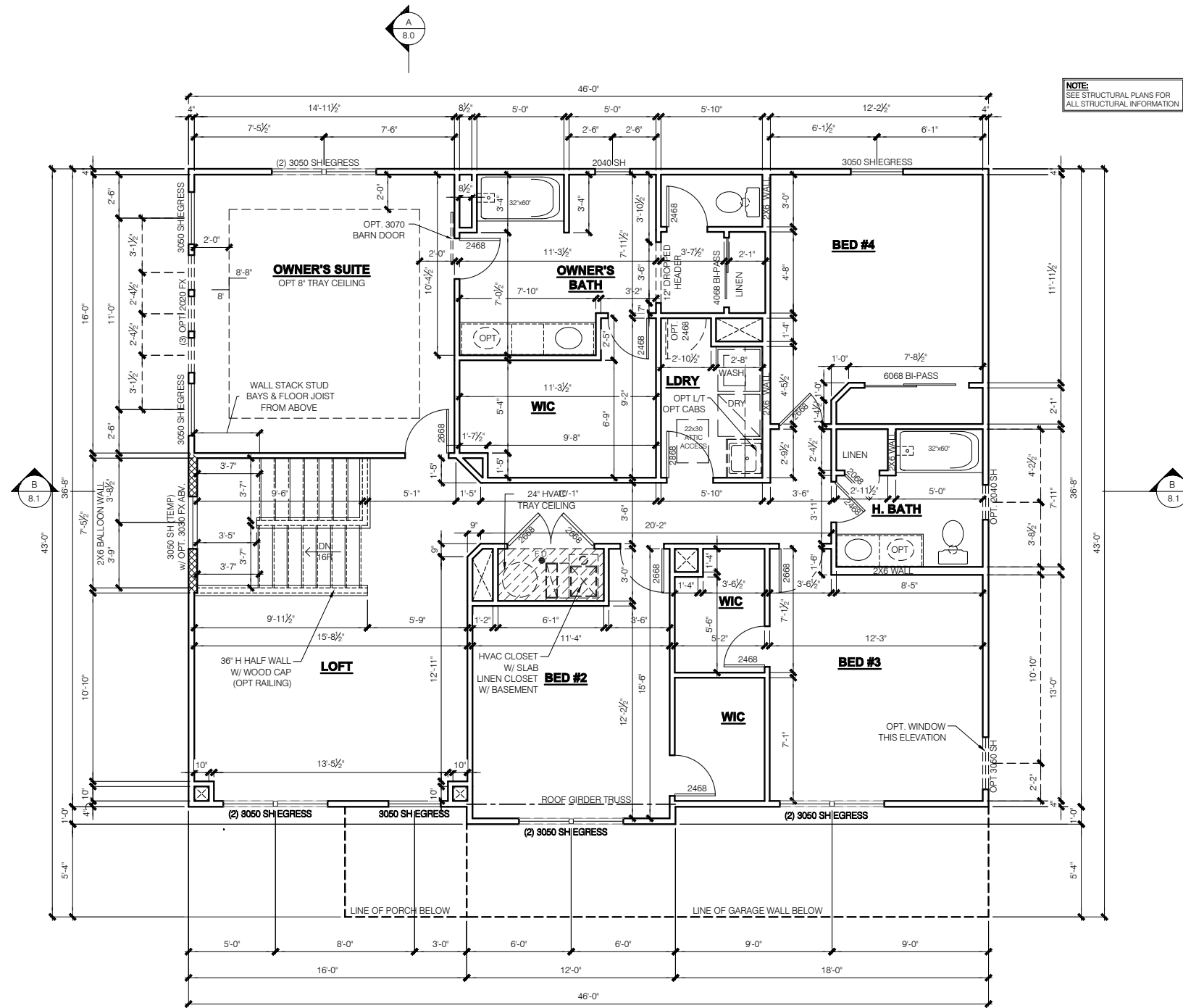
1st Floor Plan - Slab

Sheet:

4.0A

Issued Date: 03/29/17

BASE PLAN REVISION:



**ELEVATION "A" TRADITIONAL FRAMING PLAN
SECOND FLOOR PLAN**

SCALE: 1/4" = 1'-0"

WINDOW/DOOR FRAMING NOTE:
WINDOW AND DOOR FRAMING TO INCLUDE (1) JACK STUD AND (1) KING STUD EA. SIDE U.N.O. SEE DETAILS 1 & 2 SHEET D3.1

GARAGE DRYWALL NOTE:
ALL GARAGE /HOUSE COMMON WALLS, CEILINGS, BEAMS, COLUMNS THAT SUPPORT FLOOR-CEILING ASSEMBLY ABOVE TO HAVE 1/2" G.W.B. CEILING TO BE 5/8" TYPE "X" FIRECODE DRYWALL BELOW HABITABLE SPACES.

GARAGE FINISH:
1/2" DRYWALL WARM WALLS AND CEILING (UNFINISHED)

TYPICAL STUD WALL SIZES PER LOCATION:

- EXTERIOR WALLS AT CONDITIONED SPACES ARE 2x6's W/ 1/2" NOMINAL SHEATHING U.N.O. (4) STUDS @ 16" O.C. U.N.O.
- GARAGE/HOUSE COMMON WALLS ARE 2x6's U.N.O. (5/2) STUDS @ 24" O.C. U.N.O.
- GARAGE EXTERIOR WALLS ARE 2x6's W/ 1/2" NOMINAL SHEATHING U.N.O. (4) STUDS @ 16" O.C.
- WALLS ADJACENT TO ATTIC SPACES ARE 2x4's W/ 1/2" NOMINAL SHEATHING U.N.O. (6) STUDS @ 16" O.C. U.N.O.
- INTERIOR WALLS ARE 2x4's U.N.O. (3/2)

EXTERIOR WALLS ARE SHOWN WITH 1/2" NOMINAL SHEATHING WHICH IS HELD FLUSH WITH THE OUTSIDE OF THE FOUNDATION

NOTE:

- INDICATES WALL HEIGHTS LOWER THAN STANDARD HEIGHT- AS NOTED
- INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT- AS NOTED
- INDICATES SLOPED WALLS - AS NOTED
- INDICATES INTERIOR LOAD BEARING WALLS, FRAME 16" O.C. (2x4), 24" O.C. (2x6) W/ DBL. TOP PLATE
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- STAIRS FROM 1st TO 2nd FLOOR ARE TO BE 16 RISERS
- - INDICATES (3) JACK STUDS TYP. UNLESS NOTED (#2, SPF)
- # - INDICATES QUANTITY OF NON-STD. STUDS (#2 SPF)
- #/# - INDICATES QUANTITY OF RIPPED LVL (2650 Fd-1.9E) or PSL STUDS, WIDE BY WALL THICKNESS

PRESTIGE SERIES

11x17 PRINTS ARE 1/2 SCALE

1	---
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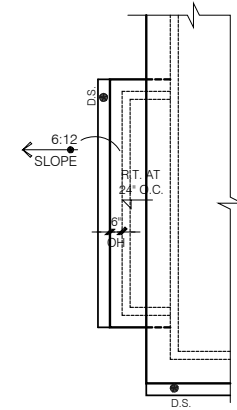
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LSP Date: X/XX/XX
LSP By: BY
LSP Rev: ----
Sheet Title :

2nd Floor Plan

Sheet:
6.0A

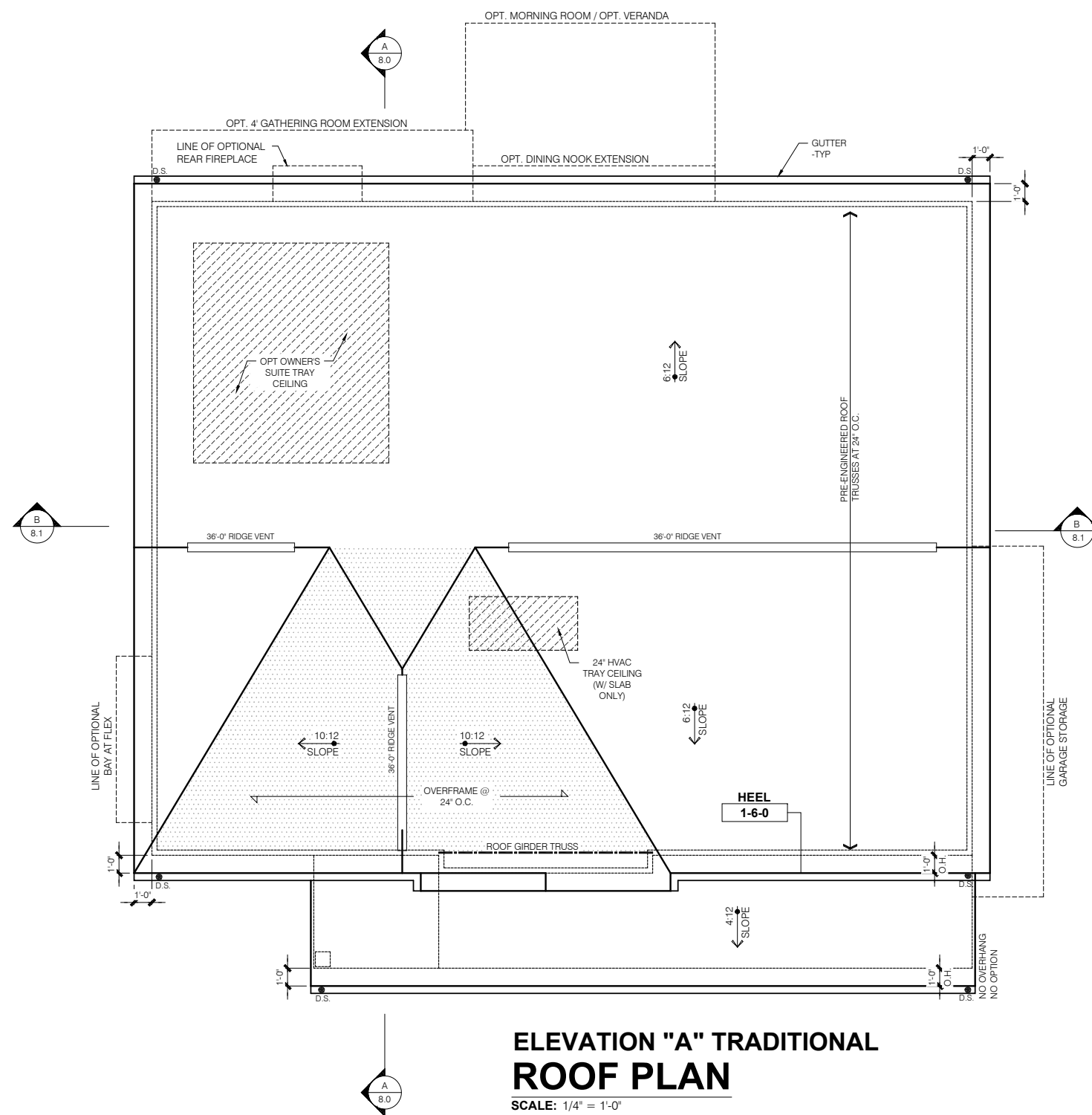
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FLEX SIDE BAY

SCALE: 1/4" = 1'-0"



ELEVATION "A" TRADITIONAL ROOF PLAN

SCALE: 1/4" = 1'-0"

ROOF FRAMING NOTES

1. THIS LAYOUT REPRESENTS DESIGN INTENT ONLY. SUPPLIER IS TO PROVIDE FINAL TRUSS LAYOUT AND ENGINEERED DRAWINGS FOR APPROVAL OF **M/I HOMES**.
2. TRUSS DRAWINGS STAMPED BY AN ENGINEER REGISTERED WITH THE STATE OF PERMIT, ALONG WITH LAYOUT SHEET, TO BE PROVIDED TO THE BUILDING INSPECTOR FOR FRAMING INSPECTION.
3. ALL TRUSS CONNECTIONS TO BE PROVIDED BY THE TRUSS MANUFACTURER.
4. 1" JOIST RAFTER DESIGN BASED ON LPI 20PLUS (1.5E) I-JOISTS BY LOUISIANA PACIFIC U.N.O.
5. ALL ROOF TRUSSES AND RAFTERS ARE TO BE CONNECTED TO DOUBLE TOP PLATE W/ A MINIMUM OF (1) H2.5A BY SIMPSON OR EQUAL U.N.O.
6. GIRDER TRUSSES ARE TO HAVE HOLD DOWNS TO RESIST THE REQUIRED UPLIFT AS SHOWN ON TRUSS MANUFACTURER'S DRAWINGS.
7. ALL DIMENSIONAL LUMBER TO BE SYP #2 OR BETTER UNLESS NOTED OTHERWISE.

PRESTIGE SERIES

11x17 PRINTS ARE 1/2 SCALE

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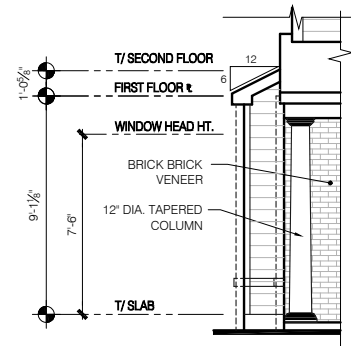


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LSP By:	BY
LSP Rev:	---
Sheet Title:	Roof Plan - Base Roof

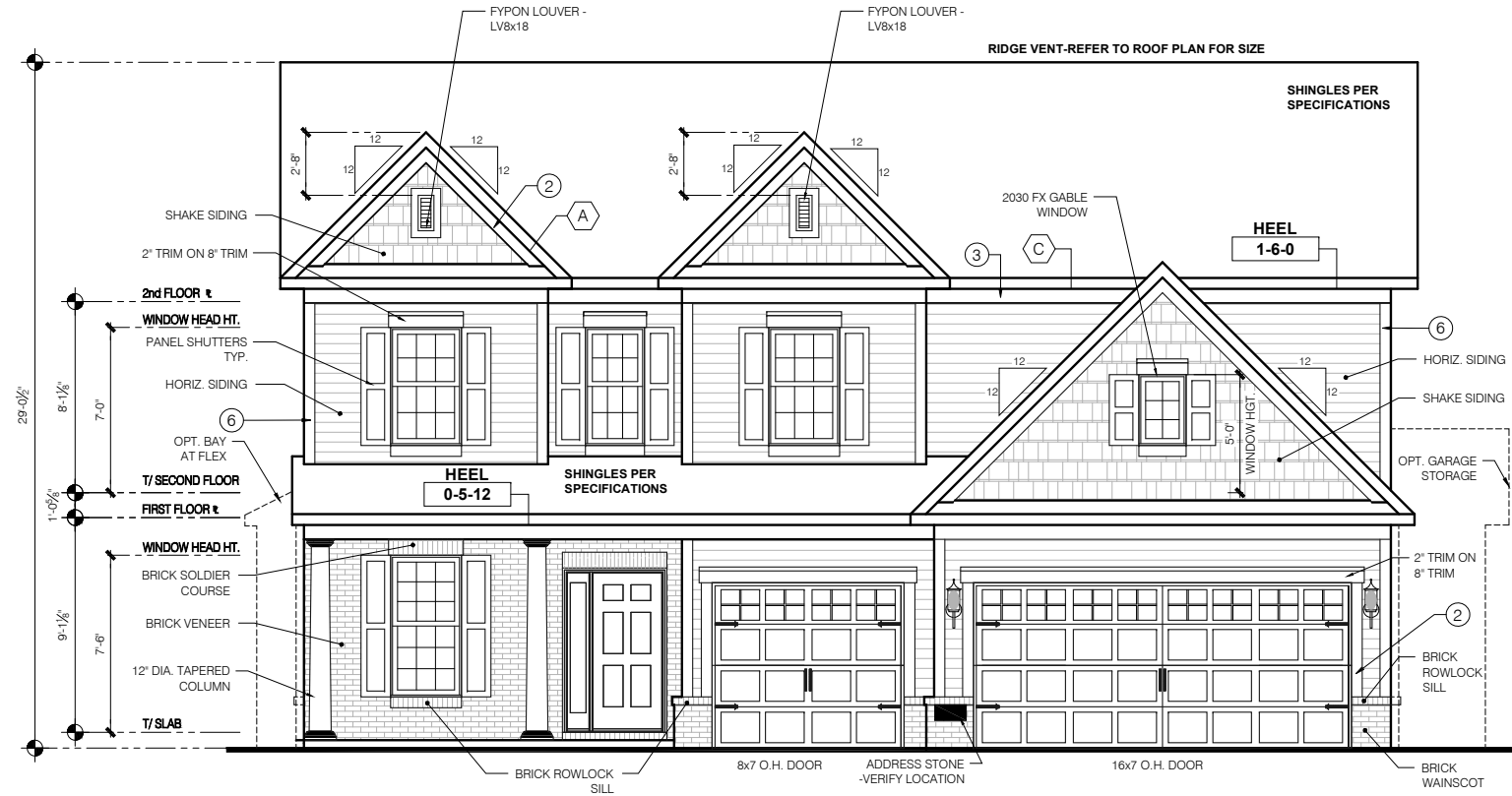
Sheet:

7.0A



OPT FLEX SIDE BAY FRONT ELEVATION

SCALE: 1/4" = 1'-0"



ELEVATION "B" COLONIAL REVIVAL FRONT ELEVATION

SCALE: 1/4" = 1'-0"

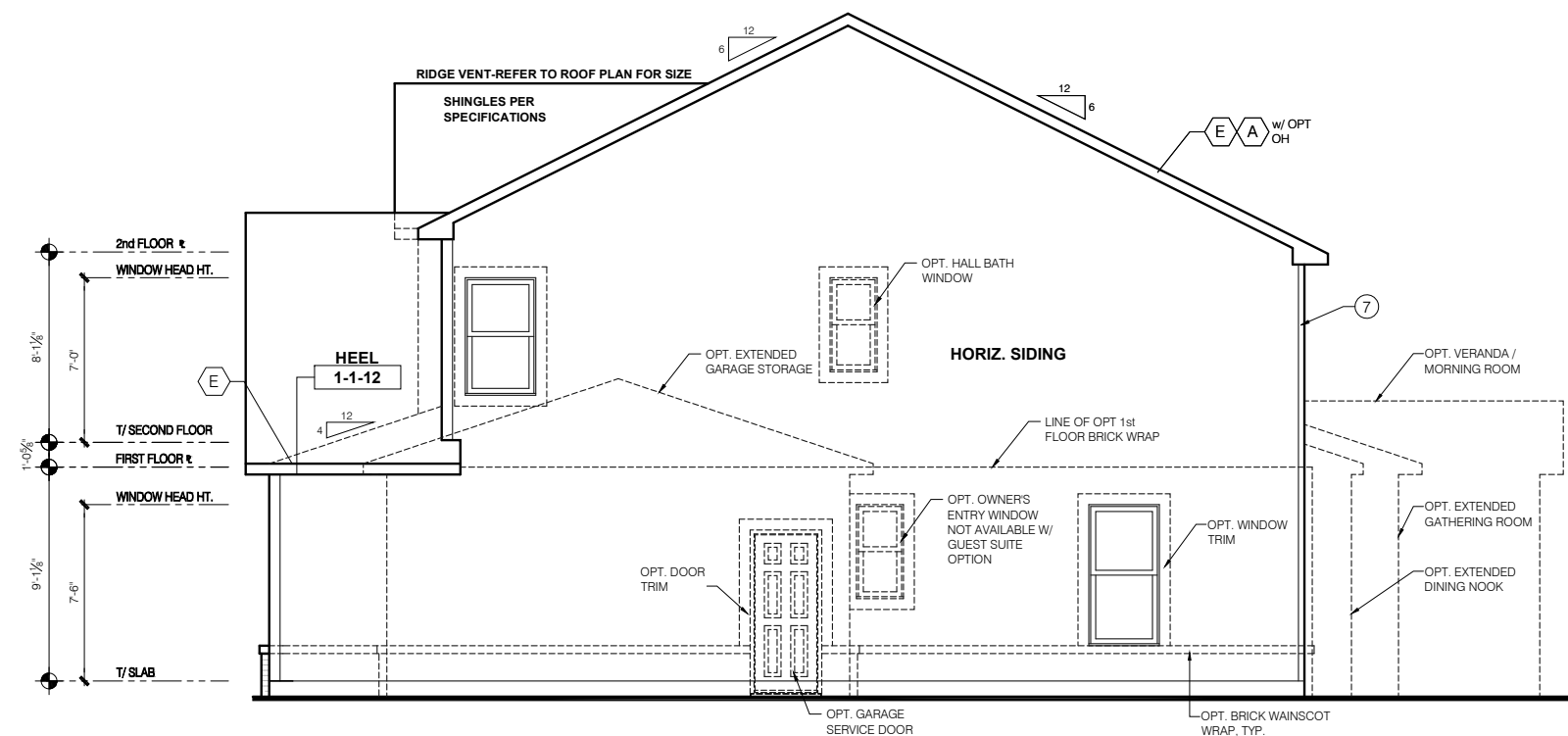
TYPICAL EXTERIOR TRIM FINISH
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⑤	= 12" TRIM
⑥	FRONT CORNERS = 5" TRIM PER DIVISION - SEE SPECS
⑦	REAR CORNERS = 3" TRIM PER DIVISION - SEE SPECS

DIVISION NOTE:
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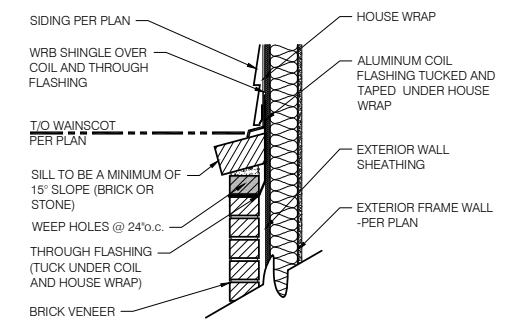
WINDOW GRID NOTE:
- FRONT WINDOW GRIDS ARE STANDARD
- SIDE AND REAR GRIDS ARE OPTIONAL PER DIVISION
*GRID PATTERNS TO MATCH FRONT ELEVATION

ELEVATION DEPICTED IS A REPRESENTATIVE SAMPLE WHICH WILL VARY BASED ON FOUNDATION TYPE AND GRADING REQUIREMENTS.



ELEVATION "B" COLONIAL REVIVAL GARAGE SIDE ELEVATION

SCALE: 1/4" = 1'-0"



1 BRICK WAINSCOT DETAIL
SCALE: 1" = 1'-0"

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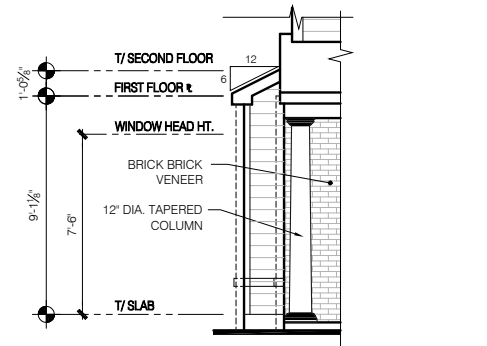
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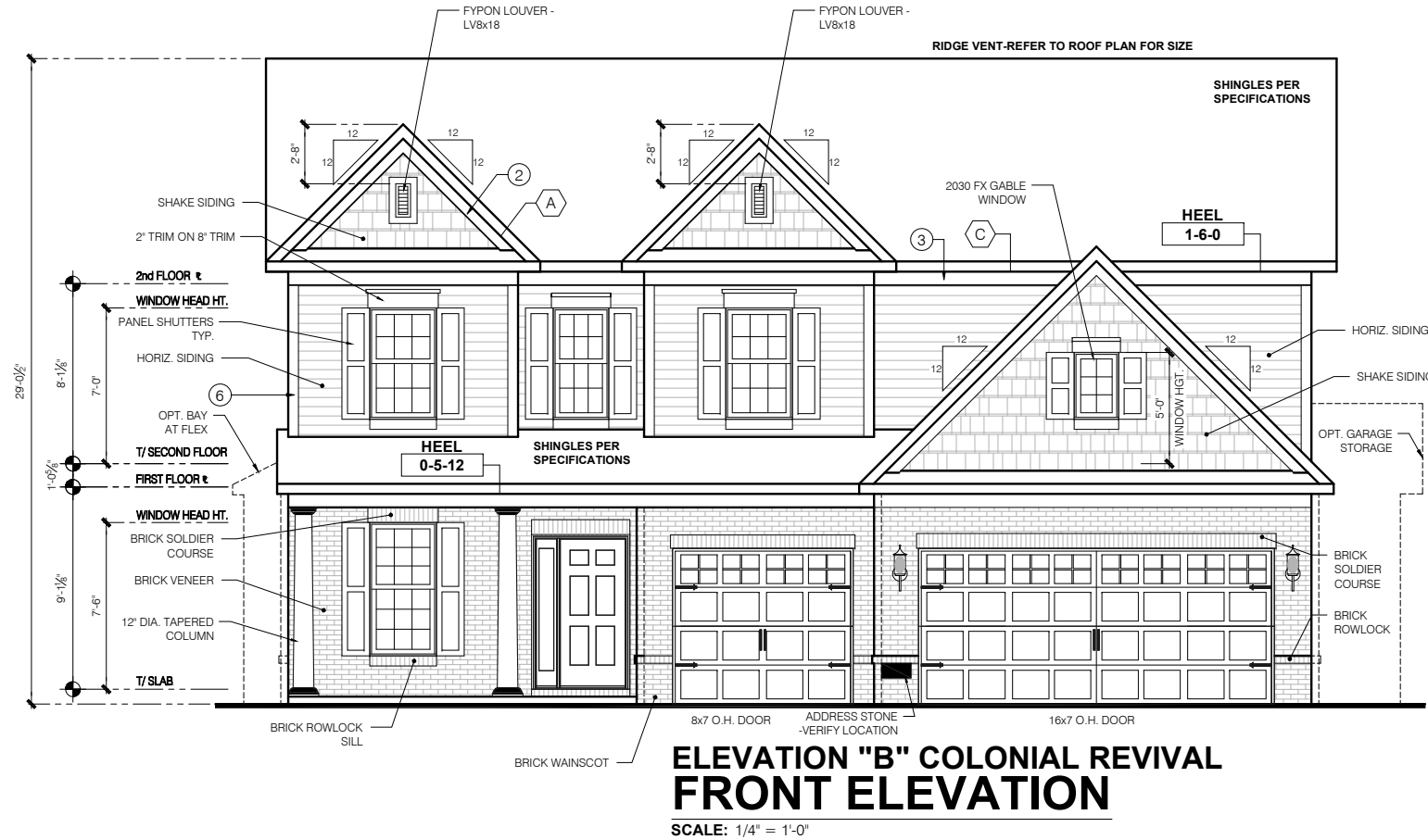
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LSP Date:	X/X/XX
LSP By:	BY
LSP Rev:	----
Sheet Title:	Front And Garage Elevations
Sheet:	1.0B



OPT FLEX SIDE BAY FRONT ELEVATION

SCALE: 1/4" = 1'-0"



ELEVATION "B" COLONIAL REVIVAL FRONT ELEVATION

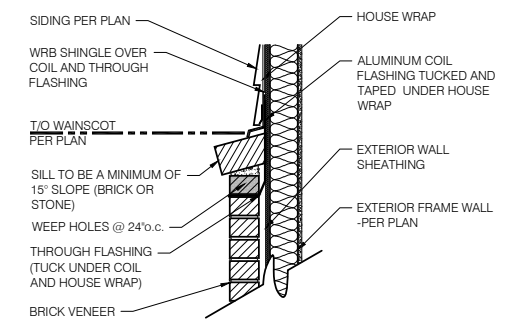
SCALE: 1/4" = 1'-0"

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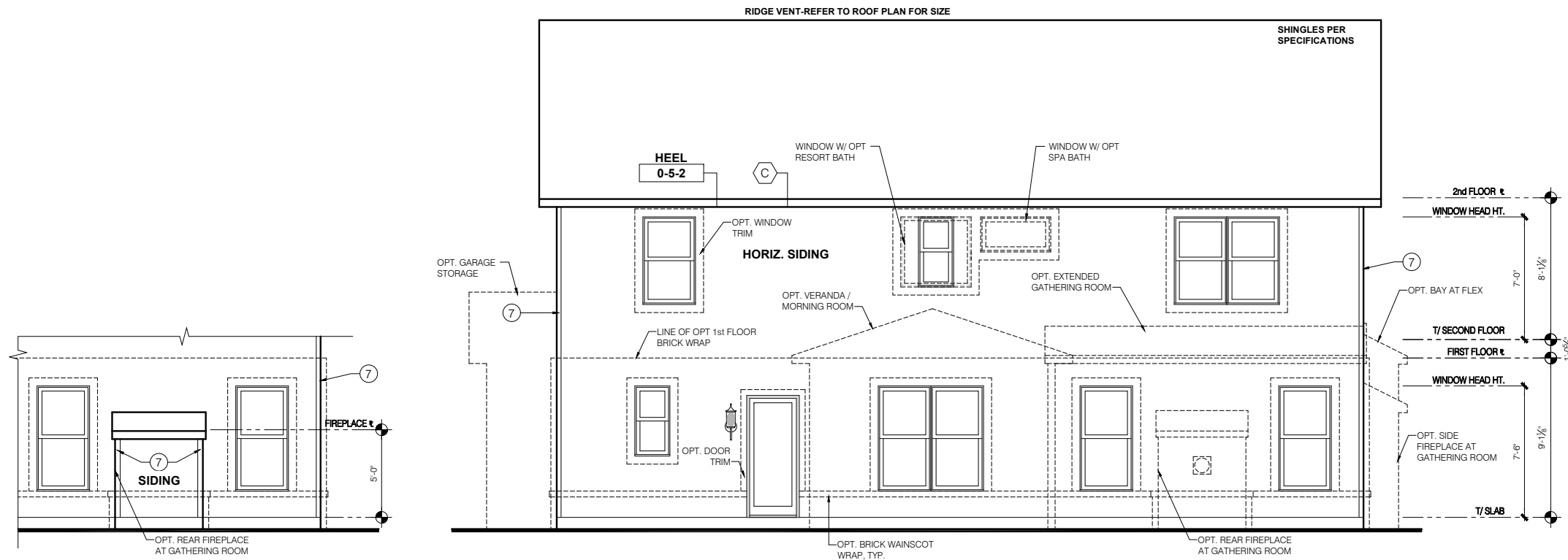
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1 BRICK WAINSCOT DETAIL
 SCALE: 1" = 1'-0"

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 LSP By: BY
 LSP Rev: ----
 Sheet Title :
 Front Elevation
 Brick Garage
 Sheet:
1.01B

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OPT REAR FIREPLACE REAR ELEVATION

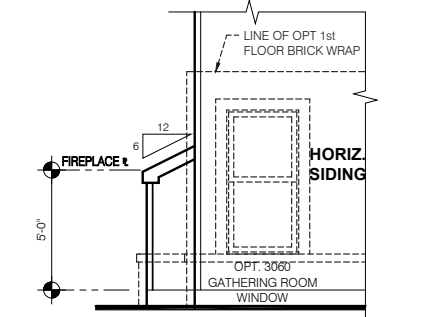
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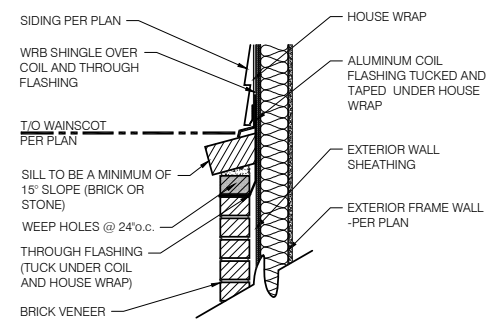
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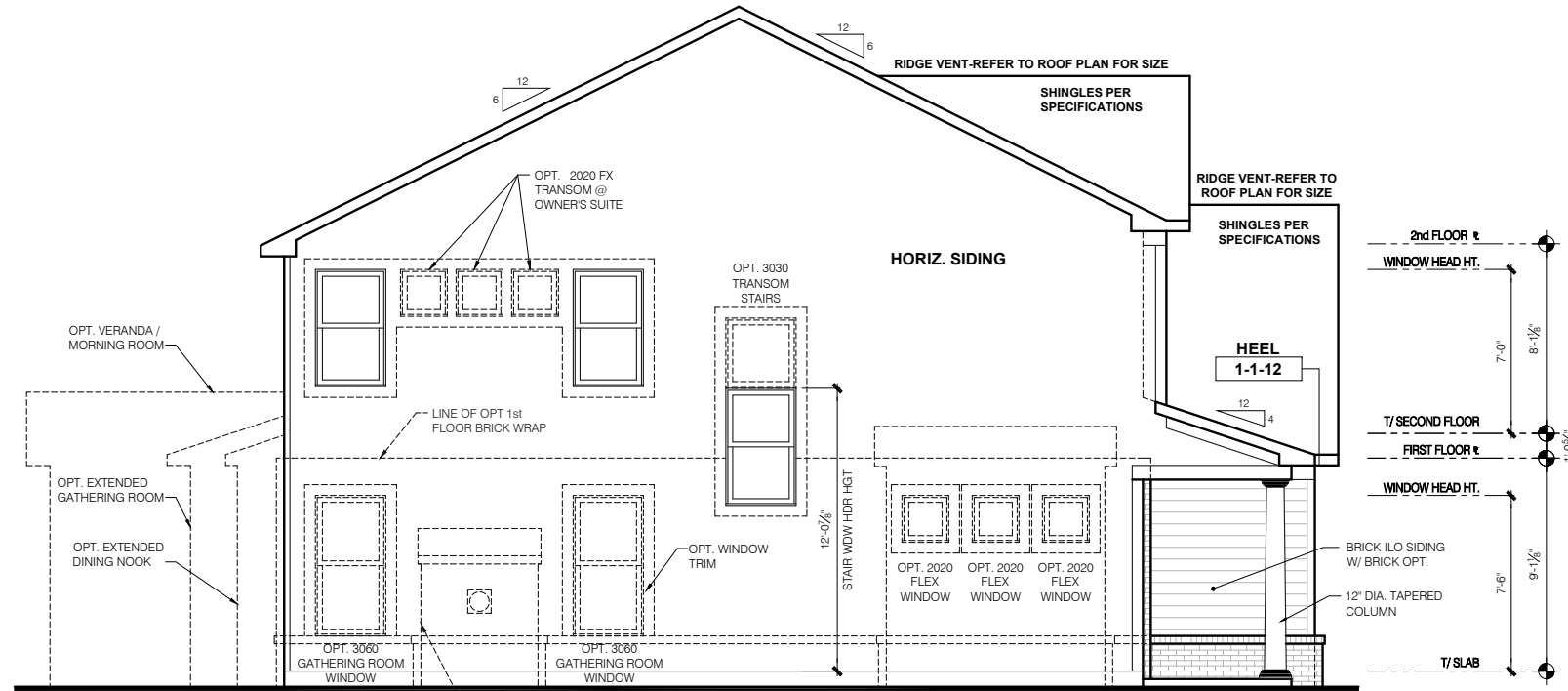


OPT REAR FIREPLACE SIDE ELEVATION

SCALE: 1/4" = 1'-0"

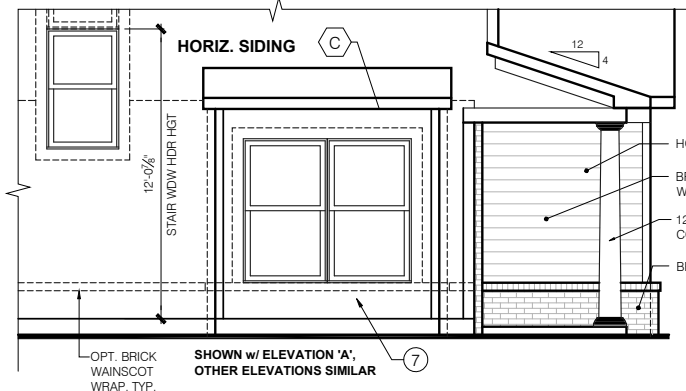


1 BRICK WAINSCOT DETAIL
SCALE: 1" = 1'-0"



ELEVATION "B" COLONIAL REVIVAL SIDE ELEVATION

SCALE: 1/4" = 1'-0"



OPT FLEX SIDE BAY SIDE ELEVATION

SCALE: 1/4" = 1'-0"

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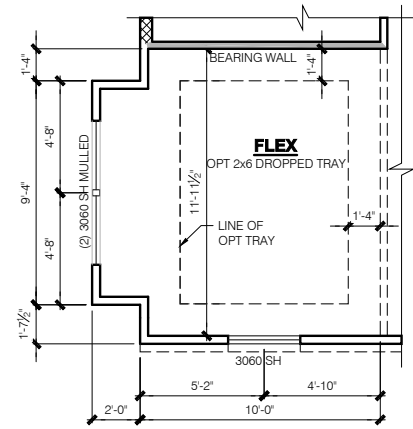
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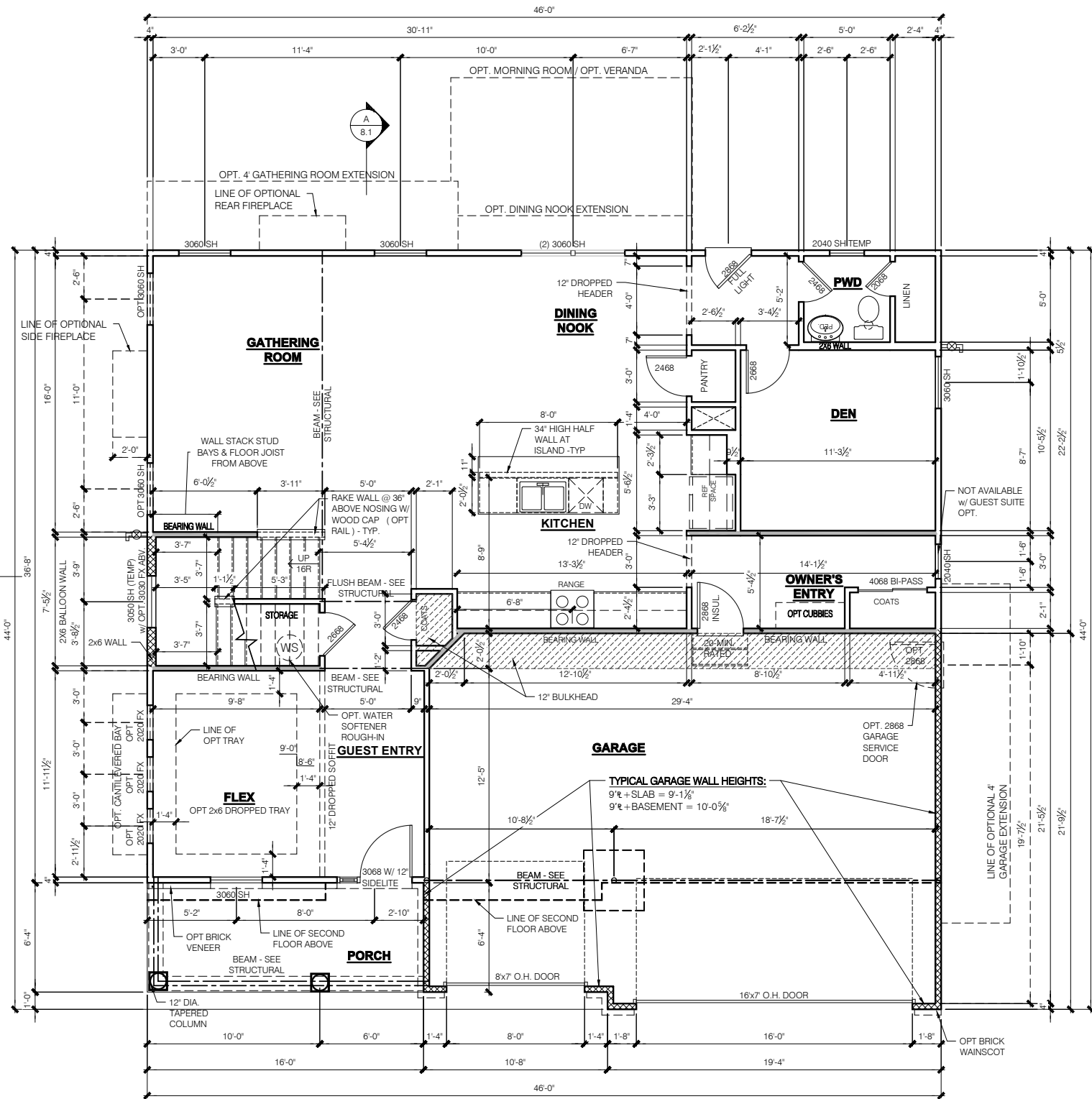
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4/08/20

Job #: ----
LSP Date: X/X/XX
LSP By: BY
LSP Rev: ----
Sheet Title :
Rear and Side Elevations
Sheet:
1.1B



**FRAMING PLAN
OPT FLEX SIDE BAY**

SCALE: 1/4" = 1'-0"



**ELEVATION "B" COLONIAL REVIVAL
SLAB
FRAMING PLAN
FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"

WINDOW/DOOR FRAMING NOTE:

WINDOW AND DOOR FRAMING TO INCLUDE (1) JACK STUD AND (1) KING STUD EA. SIDE U.N.O. SEE DETAILS 1 & 2 SHEET D3.1

GARAGE DRYWALL NOTE:

ALL GARAGE /HOUSE COMMON WALLS, CEILINGS, BEAMS, COLUMNS THAT SUPPORT FLOOR-CEILING ASSEMBLY ABOVE TO HAVE 1/2" G.W.B. CEILING TO BE 5/8" TYPE "X" FIRECODE DRYWALL BELOW HABITABLE SPACES.

GARAGE FINISH:
3/4" DRYWALL WARM WALLS AND CEILING (UNFINISHED)

TYPICAL STUD WALL SIZES PER LOCATION:

- EXTERIOR WALLS AT CONDITIONED SPACES ARE 2x6's W/ 1/2" NOMINAL SHEATHING U.N.O. (4) STUDS @ 16" O.C. U.N.O.
- GARAGE/HOUSE COMMON WALLS ARE 2x6's U.N.O. (5/2) STUDS @ 24" O.C. U.N.O.
- GARAGE EXTERIOR WALLS ARE 2x6's W/ 1/2" NOMINAL SHEATHING U.N.O. (4) STUDS @ 16" O.C.
- WALLS ADJACENT TO ATTIC SPACES ARE 2x4's W/ 1/2" NOMINAL SHEATHING U.N.O. (6) STUDS @ 16" O.C. U.N.O.
- INTERIOR WALLS ARE 2x4's U.N.O. (3/2)

EXTERIOR WALLS ARE SHOWN WITH 1/2" NOMINAL SHEATHING WHICH IS HELD FLUSH WITH THE OUTSIDE OF THE FOUNDATION

- NOTE:**
- INDICATES WALL HEIGHTS LOWER THAN STANDARD HEIGHT- AS NOTED
 - INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT- AS NOTED
 - INDICATES SLOPED WALLS - AS NOTED
 - INDICATES INTERIOR LOAD BEARING WALLS, FRAME 16" O.C. (2x4), 24" O.C. (2x6) W/ DBL. TOP PLATE
 - ALL OTHER WALLS ARE 9'-1 1/8" HIGH
 - ALL STRUCTURAL HEADERS ARE (2) 2x6 - UNLESS NOTED OTHERWISE
 - ALL POINT LOADS TO BE BLOCKED SOLID TO FINAL SUPPORT MEMBER OR FOUNDATION.
 - STAIRS FROM 1st TO 2nd FLOOR ARE TO BE 16 RISERS
 - (3) JACK STUDS TYP. UNLESS NOTED (#2, SPF)
 - (#) INDICATES QUANTITY OF NON-STD. STUDS (#2 SPF)
 - (#/#) INDICATES QUANTITY OF RIPPED LVL (2650 Fd-1.9E) or PSL STUDS, WIDE BY WALL THICKNESS

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PRESTIGE SERIES

11x17 PRINTS ARE 1/2" SCALE

1	---
2	---
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4/08/20

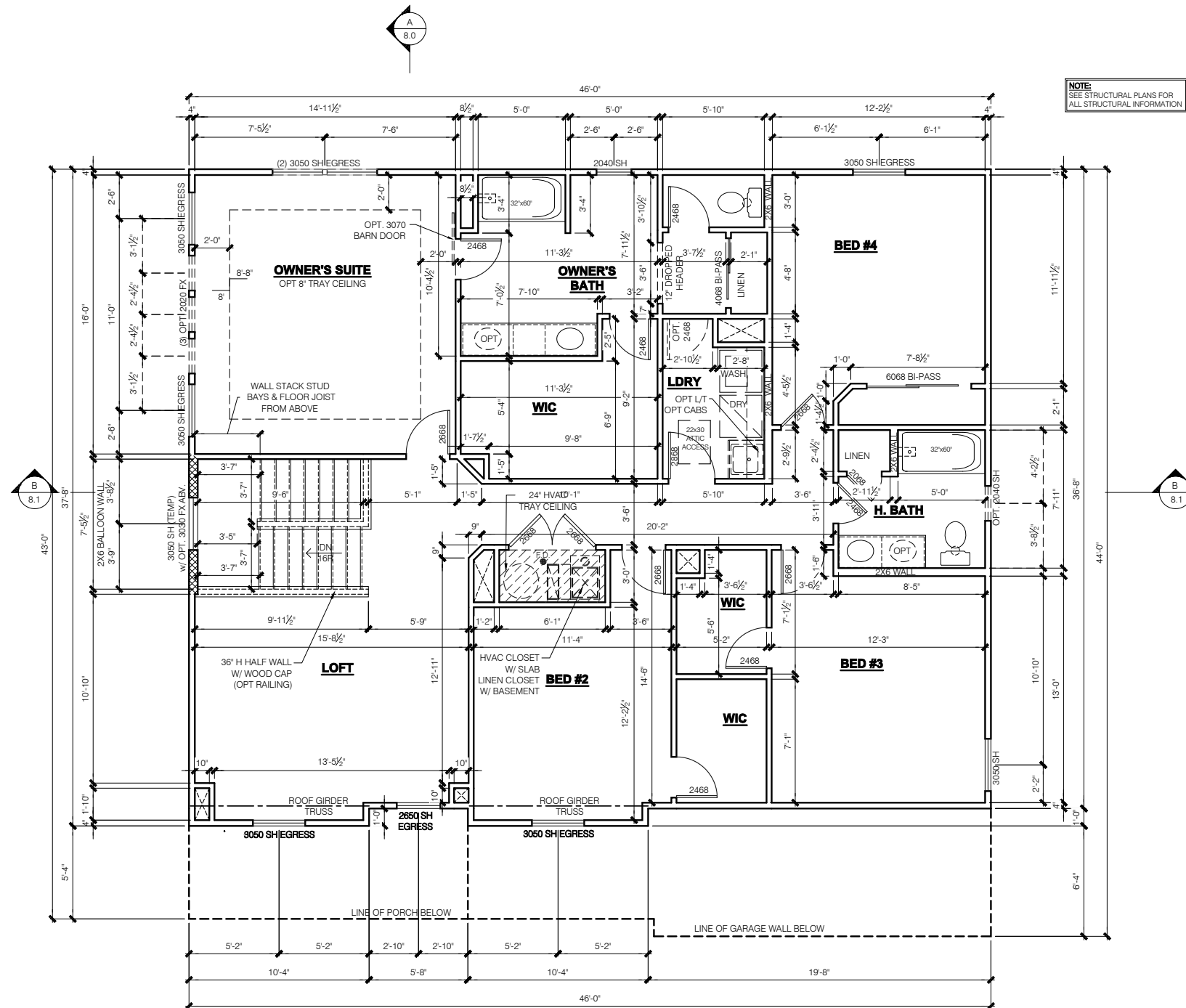
Job #: ---
LSP Date: X/XX/XX
LSP By: BY
LSP Rev: ---
Sheet Title:

1st Floor Plan - Slab

Sheet:

4.0B

Issued Date: 03/29/17
BASE PLAN REVISION:



**ELEVATION "B" COLONIAL REVIVAL
FRAMING PLAN
SECOND FLOOR PLAN**

SCALE: 1/4" = 1'-0"

WINDOW/DOOR FRAMING NOTE:

WINDOW AND DOOR FRAMING TO INCLUDE (1) JACK STUD AND (1) KING STUD EA. SIDE U.N.O. SEE DETAILS 1 & 2 SHEET D3.1

GARAGE DRYWALL NOTE:

ALL GARAGE /HOUSE COMMON WALLS, CEILINGS, BEAMS, COLUMNS THAT SUPPORT FLOOR-CEILING ASSEMBLY ABOVE TO HAVE 1/2" G.W.B. CEILING TO BE 5/8" TYPE "X" FIRECODE DRYWALL BELOW HABITABLE SPACES.

GARAGE FINISH:
1/2" DRYWALL WARM WALLS AND CEILING (UNFINISHED)

TYPICAL STUD WALL SIZES PER LOCATION:

- EXTERIOR WALLS AT CONDITIONED SPACES ARE 2x6's W/ 1/2" NOMINAL SHEATHING U.N.O. (4) STUDS @ 16" O.C. U.N.O.
- GARAGE/HOUSE COMMON WALLS ARE 2x6's U.N.O. (5/2) STUDS @ 24" O.C. U.N.O.
- GARAGE EXTERIOR WALLS ARE 2x6's W/ 1/2" NOMINAL SHEATHING U.N.O. (4) STUDS @ 16" O.C.
- WALLS ADJACENT TO ATTIC SPACES ARE 2x4's W/ 1/2" NOMINAL SHEATHING U.N.O. (6) STUDS @ 16" O.C. U.N.O.
- INTERIOR WALLS ARE 2x4's U.N.O. (3/2)

EXTERIOR WALLS ARE SHOWN WITH 1/2" NOMINAL SHEATHING WHICH IS HELD FLUSH WITH THE OUTSIDE OF THE FOUNDATION

- NOTE:**
- INDICATES WALL HEIGHTS LOWER THAN STANDARD HEIGHT- AS NOTED
 - INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT- AS NOTED
 - INDICATES SLOPED WALLS - AS NOTED
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 - ALL STRUCTURAL HEADERS ARE (2) 2x6 - UNLESS NOTED OTHERWISE
 - ALL POINT LOADS TO BE BLOCKED SOLID TO FINAL SUPPORT MEMBER OR FOUNDATION.
 - STAIRS FROM 1st TO 2nd FLOOR ARE TO BE 16 RISERS
 - - INDICATES (3) JACK STUDS TYP. UNLESS NOTED (#2, SPF)
 - - INDICATES QUANTITY OF NON-STD. STUDS (#2 SPF)
 - - INDICATES QUANTITY OF RIPPED LVL (2650 Fd-1.9E) or PSL STUDS, WIDE BY WALL THICKNESS

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11x17 PRINTS ARE 1/2" SCALE

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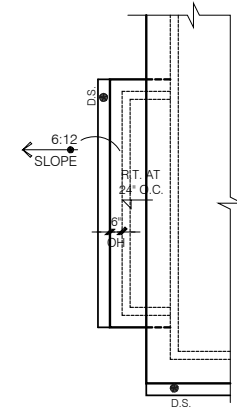


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LSP Date: X/XX/XX
LSP By: BY
LSP Rev: ----
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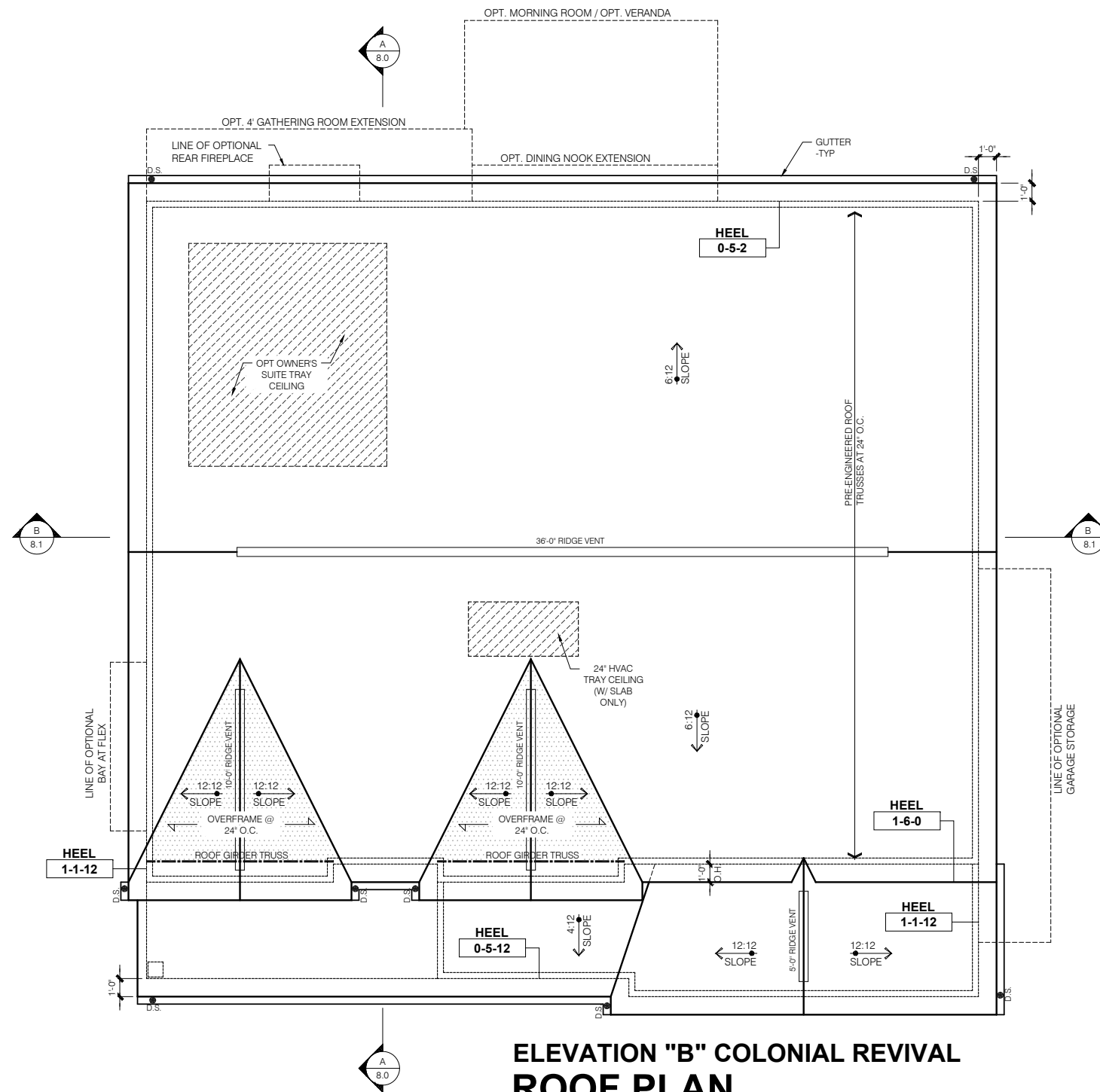
2nd Floor Plan

Sheet:
6.0B



FLEX SIDE BAY

SCALE: 1/4" = 1'-0"



**ELEVATION "B" COLONIAL REVIVAL
ROOF PLAN**

SCALE: 1/4" = 1'-0"

ROOF FRAMING NOTES

1. THIS LAYOUT REPRESENTS DESIGN INTENT ONLY. SUPPLIER IS TO PROVIDE FINAL TRUSS LAYOUT AND ENGINEERED DRAWINGS FOR APPROVAL OF **M/I HOMES**.
2. TRUSS DRAWINGS STAMPED BY AN ENGINEER REGISTERED WITH THE STATE OF PERMIT, ALONG WITH LAYOUT SHEET, TO BE PROVIDED TO THE BUILDING INSPECTOR FOR FRAMING INSPECTION.
3. ALL TRUSS CONNECTIONS TO BE PROVIDED BY THE TRUSS MANUFACTURER.
4. 1" JOIST RAFTER DESIGN BASED ON LPI 20PLUS (1.5E) I-JOISTS BY LOUISIANA PACIFIC U.N.O.
5. ALL ROOF TRUSSES AND RAFTERS ARE TO BE CONNECTED TO DOUBLE TOP PLATE w/ A MINIMUM OF (1) H2.5A BY SIMPSON OR EQUAL U.N.O.
6. GIRDER TRUSSES ARE TO HAVE HOLD DOWNS TO RESIST THE REQUIRED UPLIFT AS SHOWN ON TRUSS MANUFACTURER'S DRAWINGS.
7. ALL DIMENSIONAL LUMBER TO BE SYP #2 OR BETTER UNLESS NOTED OTHERWISE.

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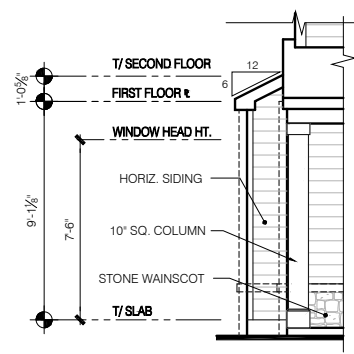
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11x17 PRINTS ARE 1/2 SCALE

Job #:	----
LSP Date:	X/X/XX
LSP By:	BY
LSP Rev:	----
Sheet Title:	Roof Plan - Base Roof

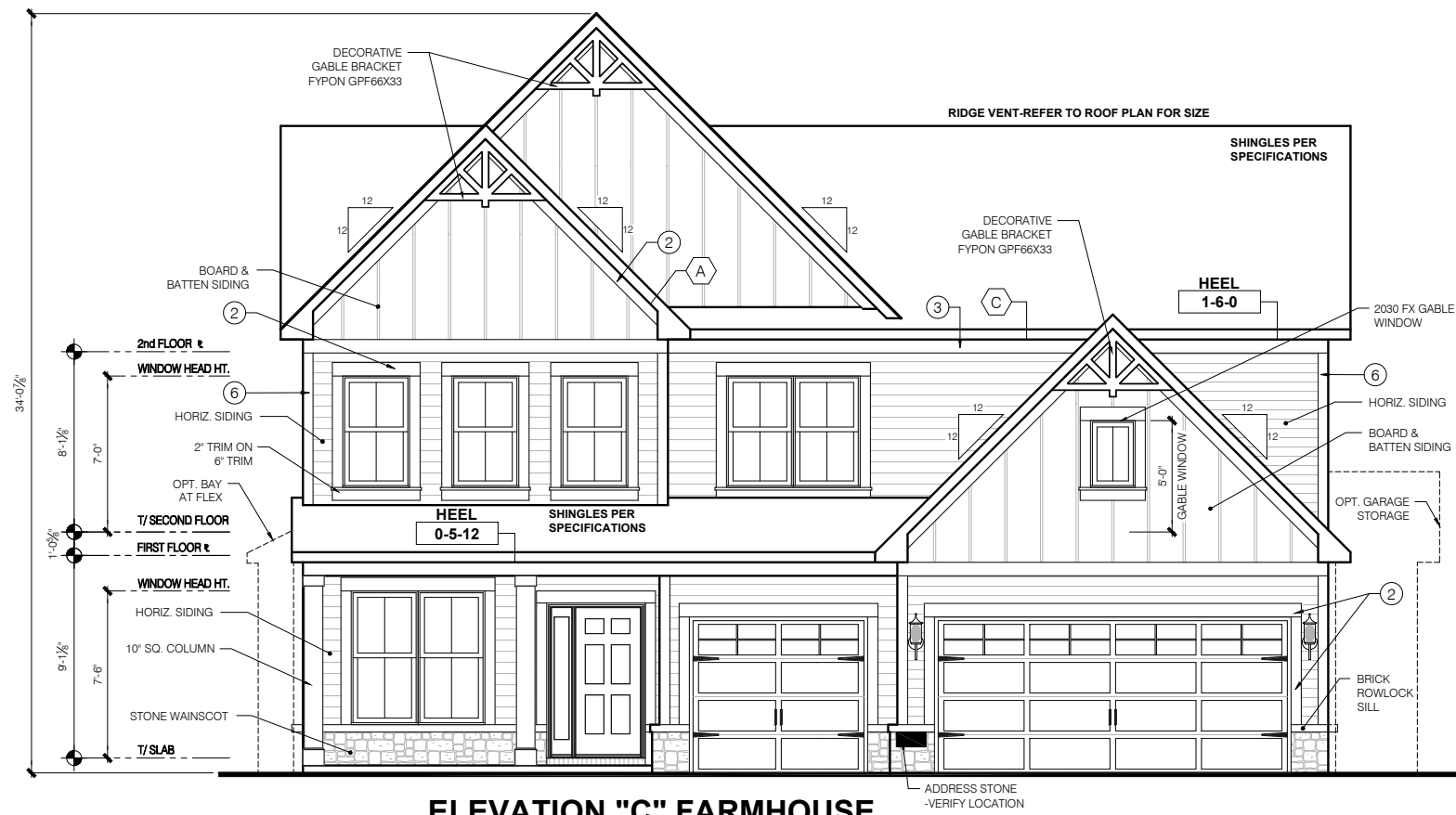
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7.0B



OPT FLEX SIDE BAY FRONT ELEVATION

SCALE: 1/4" = 1'-0"



ELEVATION "C" FARMHOUSE FRONT ELEVATION

SCALE: 1/4" = 1'-0"

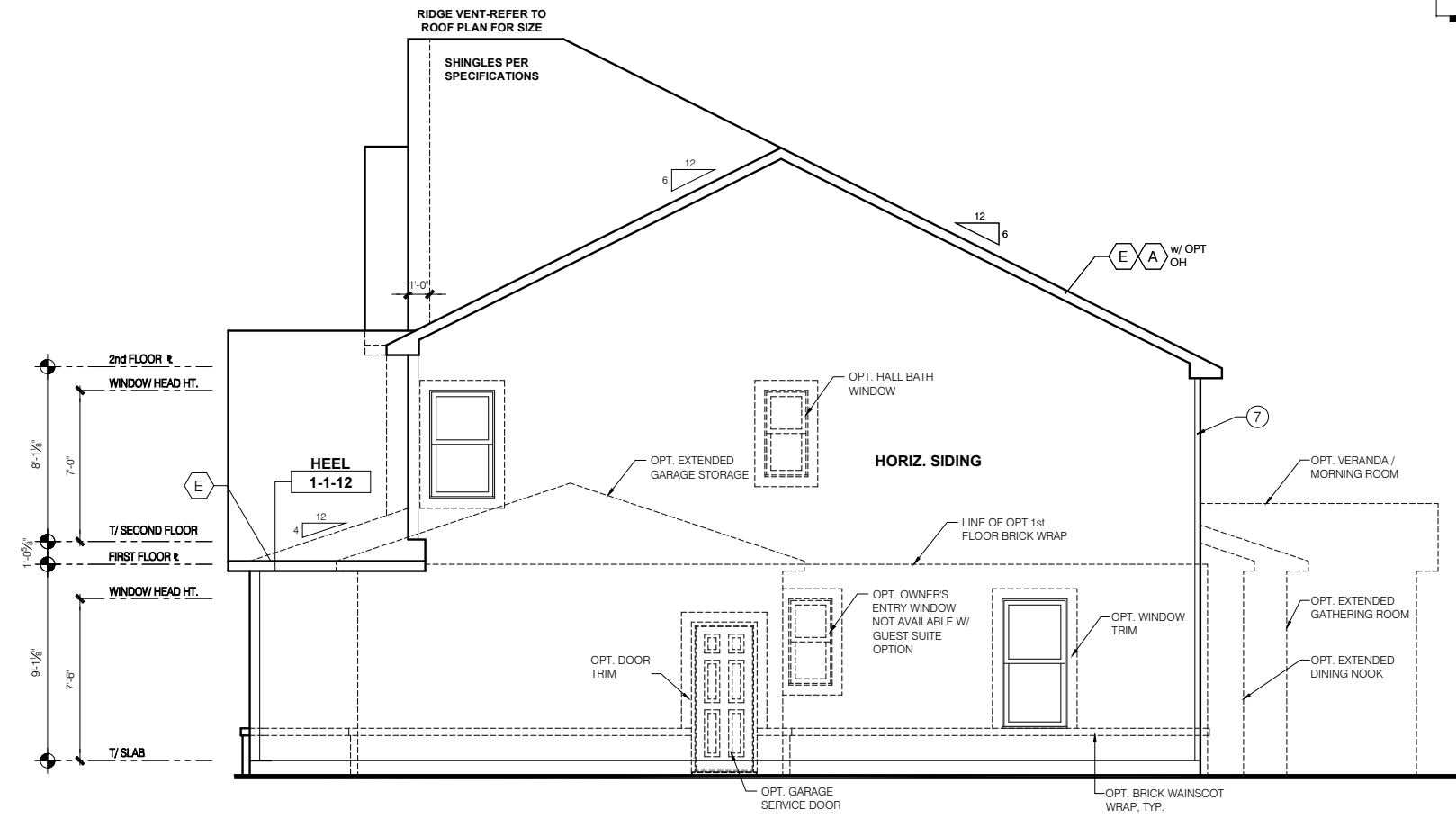
TYPICAL EXTERIOR TRIM FINISH
 THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.

1	= 4" TRIM (1x4, 5/4x4, 3 1/2" VINYL LINEAL)
2	= 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)
3	= 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)
4	= 10" TRIM
5	= 12" TRIM
6	FRONT CORNERS = 6" TRIM PER DIVISION - SEE SPECS
7	REAR CORNERS = 8" TRIM PER DIVISION - SEE SPECS

DIVISION NOTE:
 IT IS THE RESPONSIBILITY OF EACH DIVISION TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL, THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES; WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED.

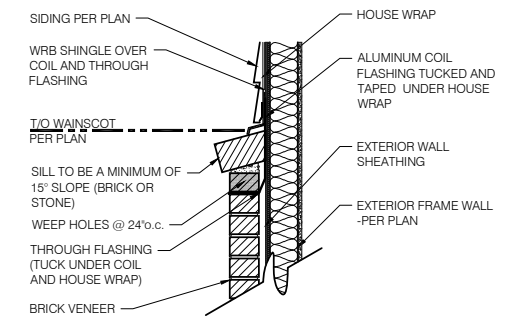
WINDOW GRID NOTE:
 - FRONT WINDOW GRIDS ARE STANDARD
 - SIDE AND REAR GRIDS ARE OPTIONAL PER DIVISION
 *GRID PATTERNS TO MATCH FRONT ELEVATION

ELEVATION DEPICTED IS A REPRESENTATIVE SAMPLE WHICH WILL VARY BASED ON FOUNDATION TYPE AND GRADING REQUIREMENTS.



ELEVATION "C" FARMHOUSE GARAGE SIDE ELEVATION

SCALE: 1/4" = 1'-0"



1 BRICK WAINSCOT DETAIL
 SCALE: 1" = 1'-0"

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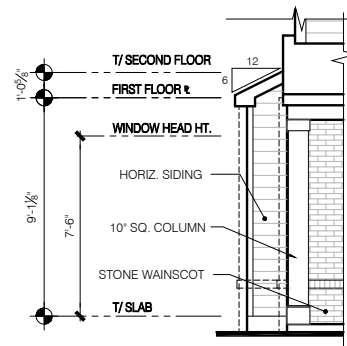
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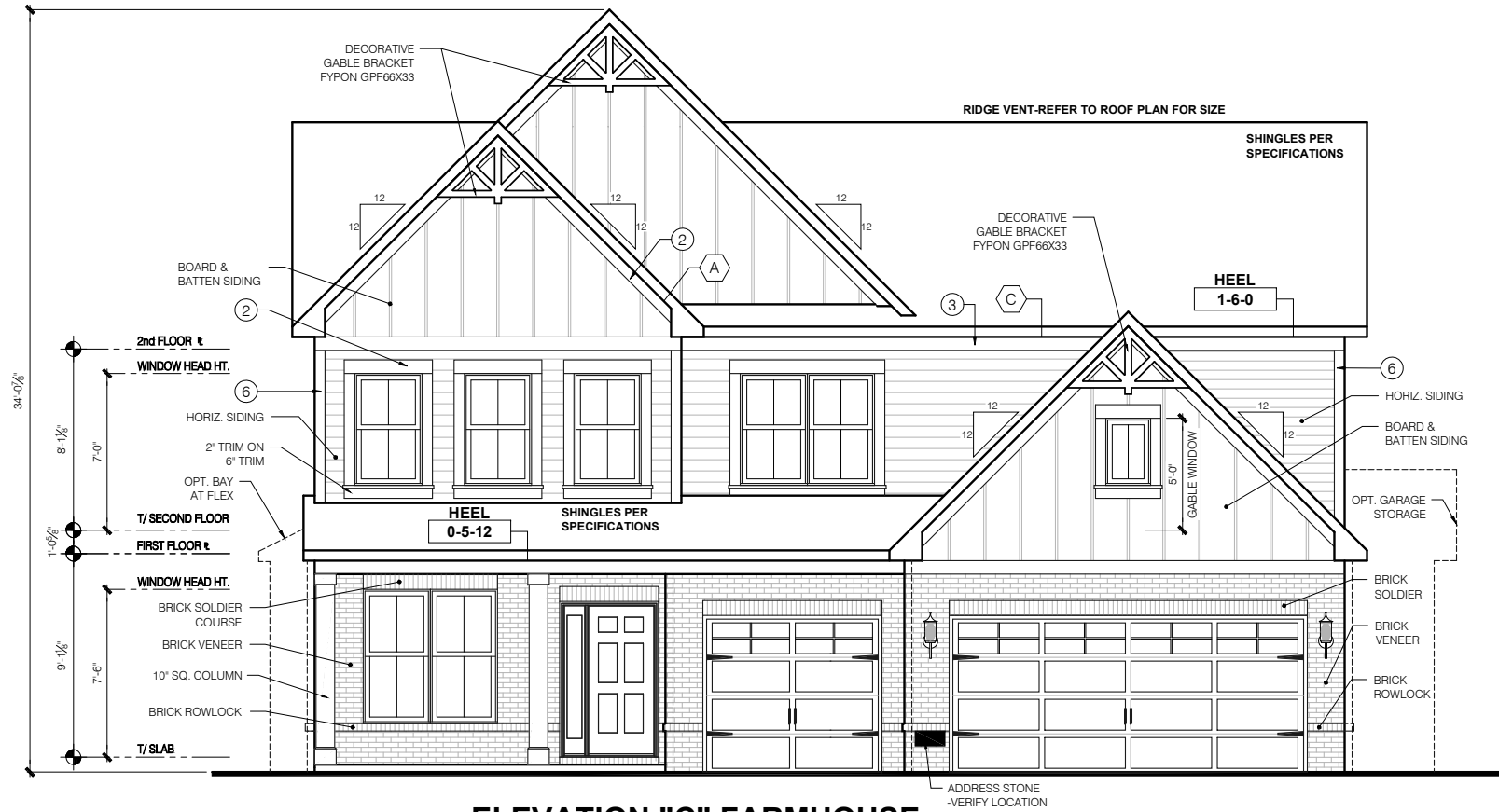
Job #:	----
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LSP By:	BY
LSP Rev:	----
Sheet Title:	Front And Garage Elevations
Sheet:	1.0C

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 3 ---
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**OPT FLEX SIDE BAY
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



**ELEVATION "C" FARMHOUSE
FRONT ELEVATION W/ BRICK**

SCALE: 1/4" = 1'-0"

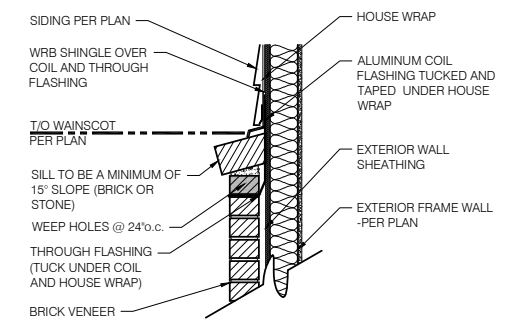
TYPICAL EXTERIOR TRIM FINISH
THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.

①	= 4" TRIM (1x4, 5/4x4, 3 1/2" VINYL LINEAL)
②	= 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)
③	= 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)
④	= 10" TRIM
⑤	= 12" TRIM
⑥	FRONT CORNERS = 5" TRIM PER DIVISION - SEE SPECS
⑦	REAR CORNERS = 3" TRIM PER DIVISION - SEE SPECS

DIVISION NOTE:
IT IS THE RESPONSIBILITY OF EACH DIVISION TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL, THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES; WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED.

WINDOW GRID NOTE:
- FRONT WINDOW GRIDS ARE STANDARD
- SIDE AND REAR GRIDS ARE OPTIONAL PER DIVISION
*GRID PATTERNS TO MATCH FRONT ELEVATION

ELEVATION DEPICTED IS A REPRESENTATIVE SAMPLE WHICH WILL VARY BASED ON FOUNDATION TYPE AND GRADING REQUIREMENTS.



1 BRICK WAINSCOT DETAIL
SCALE: 1" = 1'-0"

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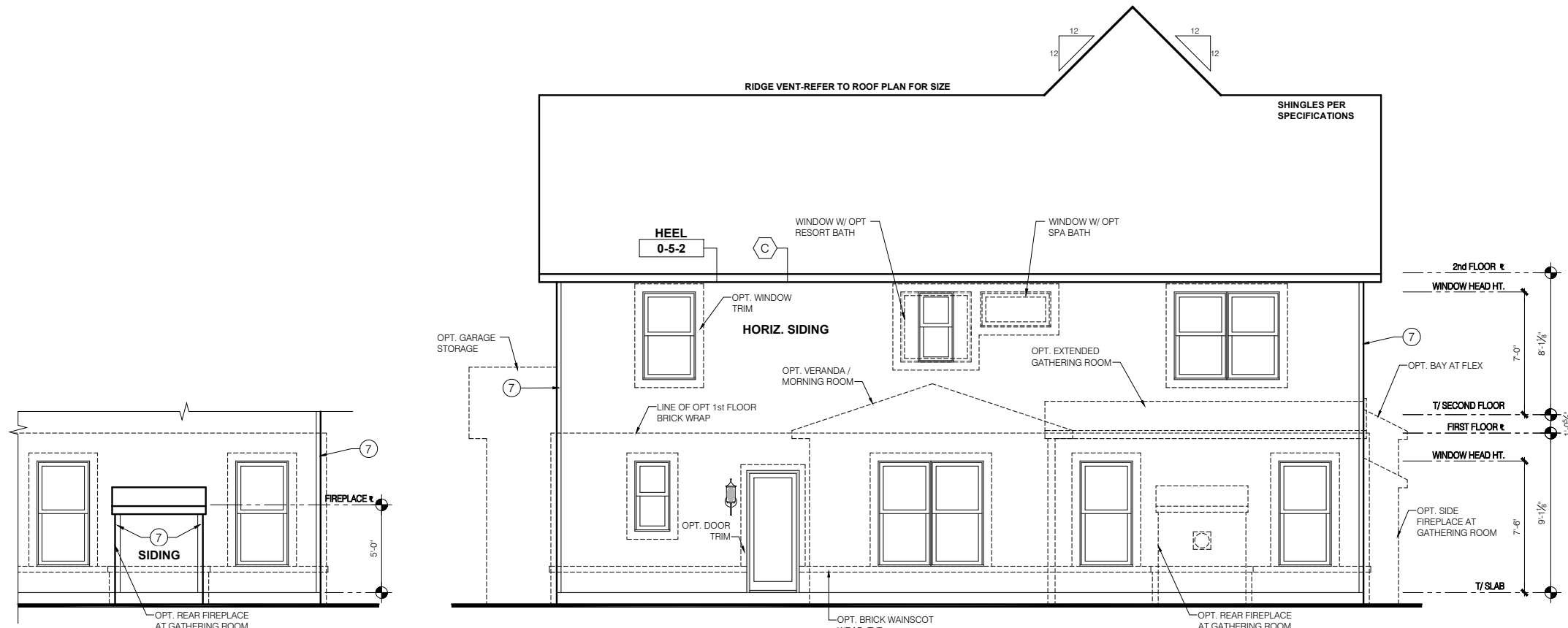
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LSP By:	BY
LSP Rev:	----
Sheet Title:	Front Elevation Brick Garage
Sheet:	1.01C



ELEVATION "C" FARMHOUSE REAR ELEVATION

SCALE: 1/4" = 1'-0"

TYPICAL EXTERIOR TRIM FINISH	
THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.	
①	= 4" TRIM (1x4, 5/4x4, 3 1/2" VINYL LINEAL)
②	= 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)
③	= 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)
④	= 10" TRIM
⑤	= 12" TRIM
⑥	FRONT CORNERS = 8" TRIM PER DIVISION - SEE SPECS
⑦	REAR CORNERS = 8" TRIM PER DIVISION - SEE SPECS

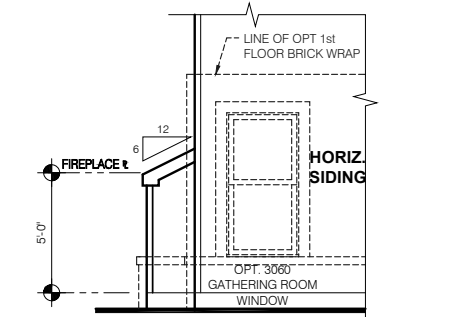
DIVISION NOTE:
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WINDOW GRID NOTE:
- FRONT WINDOW GRIDS ARE STANDARD
- SIDE AND REAR GRIDS ARE OPTIONAL PER DIVISION
*GRID PATTERNS TO MATCH FRONT ELEVATION

ELEVATION DEPICTED IS A REPRESENTATIVE SAMPLE WHICH WILL VARY BASED ON FOUNDATION TYPE AND GRADING REQUIREMENTS.

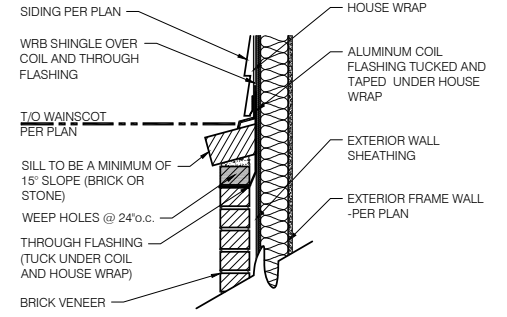
OPT REAR FIREPLACE REAR ELEVATION

SCALE: 1/4" = 1'-0"



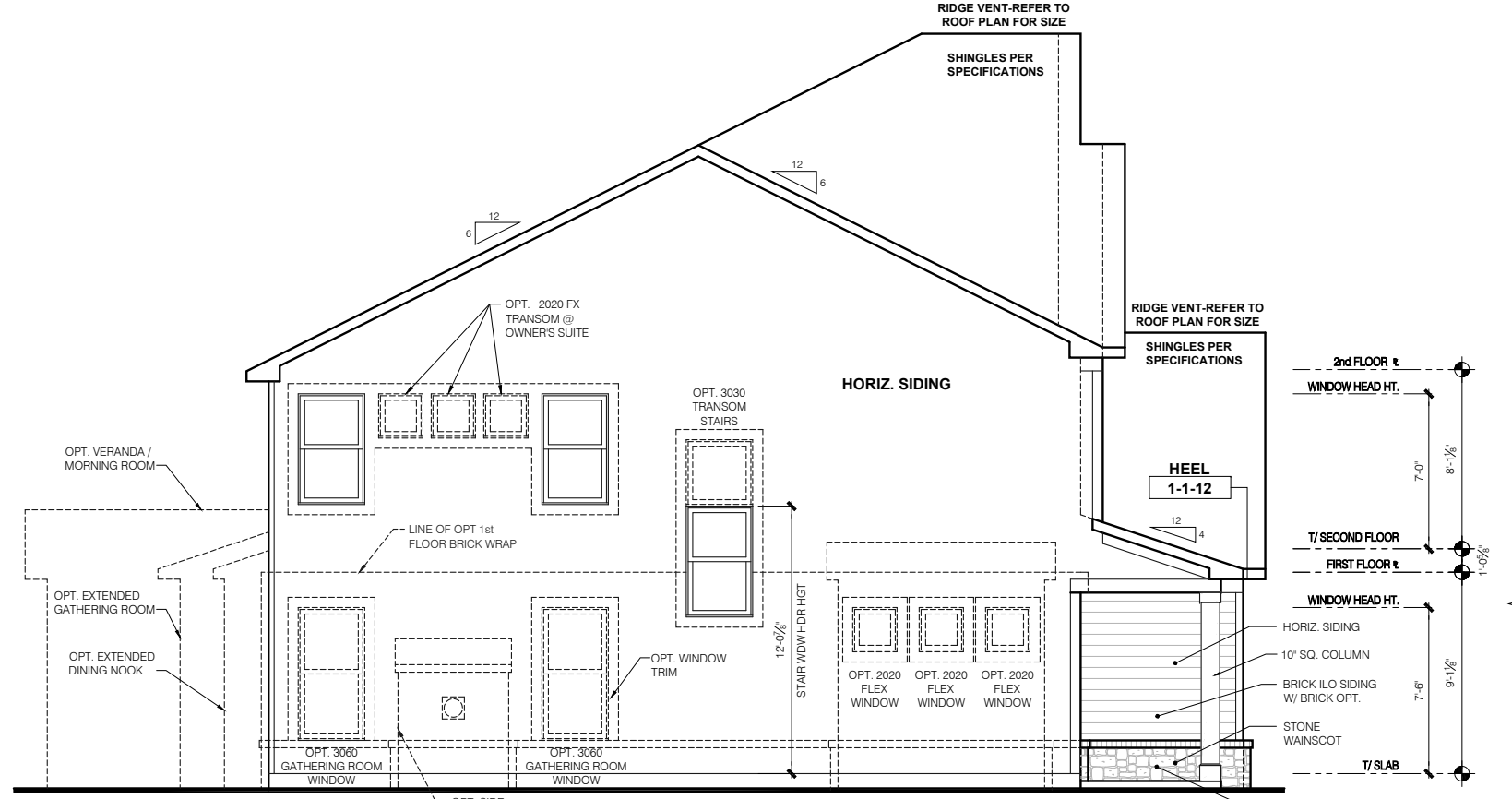
OPT REAR FIREPLACE SIDE ELEVATION

SCALE: 1/4" = 1'-0"



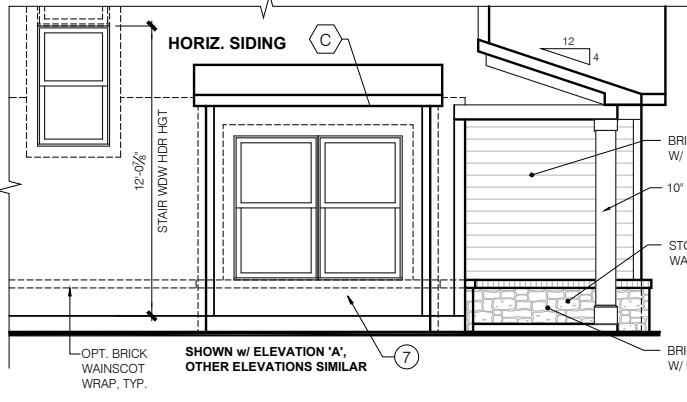
1 BRICK WAINSCOT DETAIL

SCALE: 1" = 1'-0"



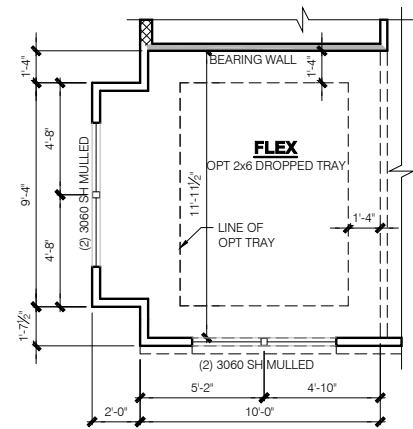
ELEVATION "C" FARMHOUSE SIDE ELEVATION

SCALE: 1/4" = 1'-0"



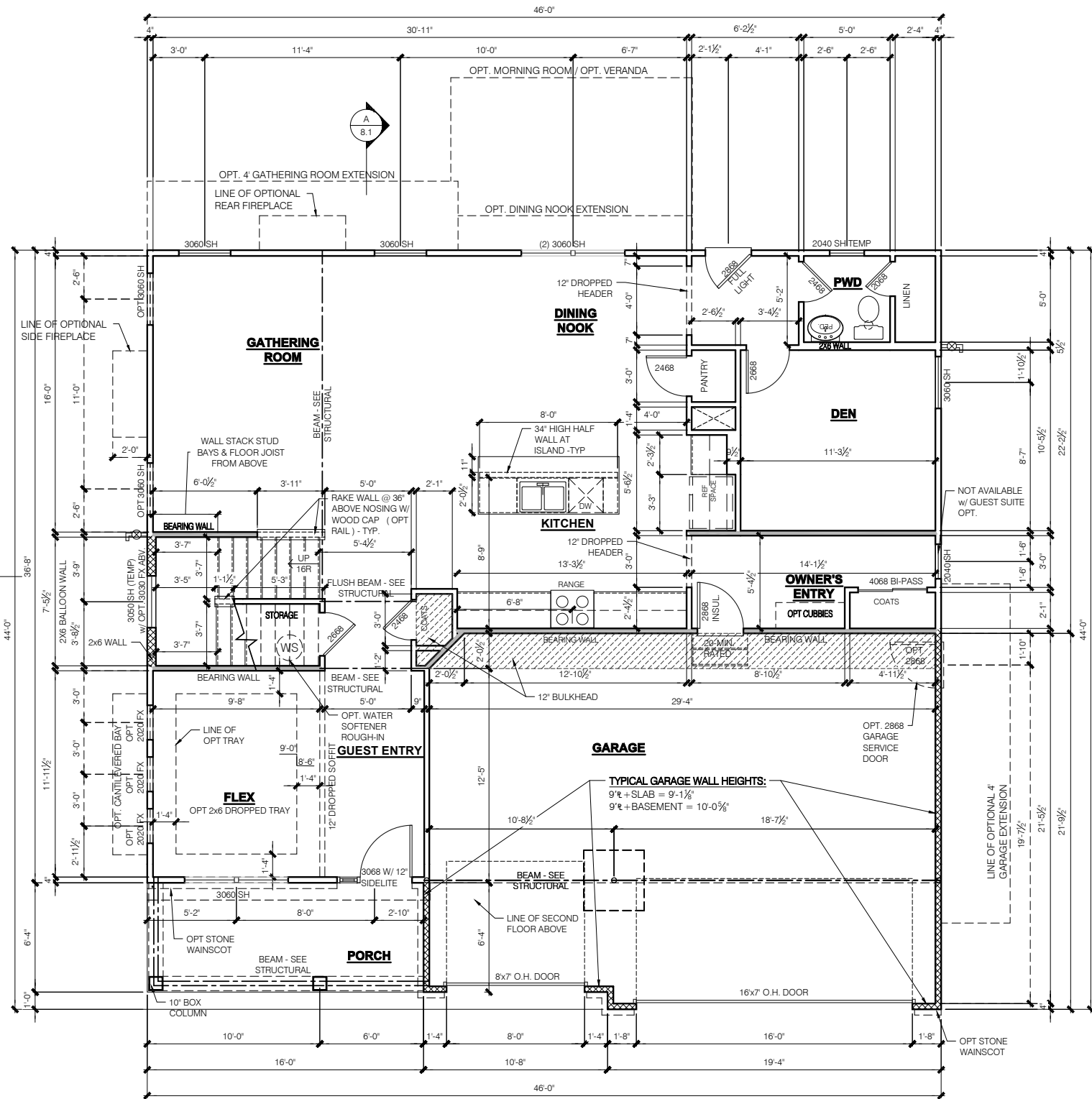
OPT FLEX SIDE BAY SIDE ELEVATION

SCALE: 1/4" = 1'-0"



**FRAMING PLAN
OPT FLEX SIDE BAY**

SCALE: 1/4" = 1'-0"



**ELEVATION "C" FARMHOUSE
SLAB
FRAMING PLAN
FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"

WINDOW/DOOR FRAMING NOTE:
WINDOW AND DOOR FRAMING TO INCLUDE (1) JACK STUD AND (1) KING STUD EA. SIDE U.N.O. SEE DETAILS 1 & 2 SHEET D3.1

GARAGE DRYWALL NOTE:
ALL GARAGE /HOUSE COMMON WALLS, CEILINGS, BEAMS, COLUMNS THAT SUPPORT FLOOR-CEILING ASSEMBLY ABOVE TO HAVE 1/2" G.W.B. CEILING TO BE 1/2" TYPE "X" FIRECODE DRYWALL BELOW HABITABLE SPACES.

GARAGE FINISH:
1/2" DRYWALL W/ARM WALLS AND CEILING (UNFINISHED)

TYPICAL STUD WALL SIZES PER LOCATION:

- EXTERIOR WALLS AT CONDITIONED SPACES ARE 2x6's W/ 1/2" NOMINAL SHEATHING U.N.O. (4) STUDS @ 16" O.C. U.N.O.
- GARAGE/HOUSE COMMON WALLS ARE 2x6's U.N.O. (5/2) STUDS @ 24" O.C. U.N.O.
- GARAGE EXTERIOR WALLS ARE 2x6's W/ 1/2" NOMINAL SHEATHING U.N.O. (4) STUDS @ 16" O.C.
- WALLS ADJACENT TO ATTIC SPACES ARE 2x4's W/ 1/2" NOMINAL SHEATHING U.N.O. (6) STUDS @ 16" O.C. U.N.O.
- INTERIOR WALLS ARE 2x4's U.N.O. (3/2)

EXTERIOR WALLS ARE SHOWN WITH 1/2" NOMINAL SHEATHING WHICH IS HELD FLUSH WITH THE OUTSIDE OF THE FOUNDATION

NOTE:

- INDICATES WALL HEIGHTS LOWER THAN STANDARD HEIGHT- AS NOTED
- INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT- AS NOTED
- INDICATES SLOPED WALLS - AS NOTED
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- STAIRS FROM 1st TO 2nd FLOOR ARE TO BE 16 RISERS
- - INDICATES (3) JACK STUDS TYP. UNLESS NOTED (#2, SPF)
- # - INDICATES QUANTITY OF NON-STD. STUDS (#2 SPF)
- #/# - INDICATES QUANTITY OF RIPPED LVL (2650 Fd-1.9E) or PSL STUDS, WIDE BY WALL THICKNESS

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11x17 PRINTS ARE 1/2" SCALE

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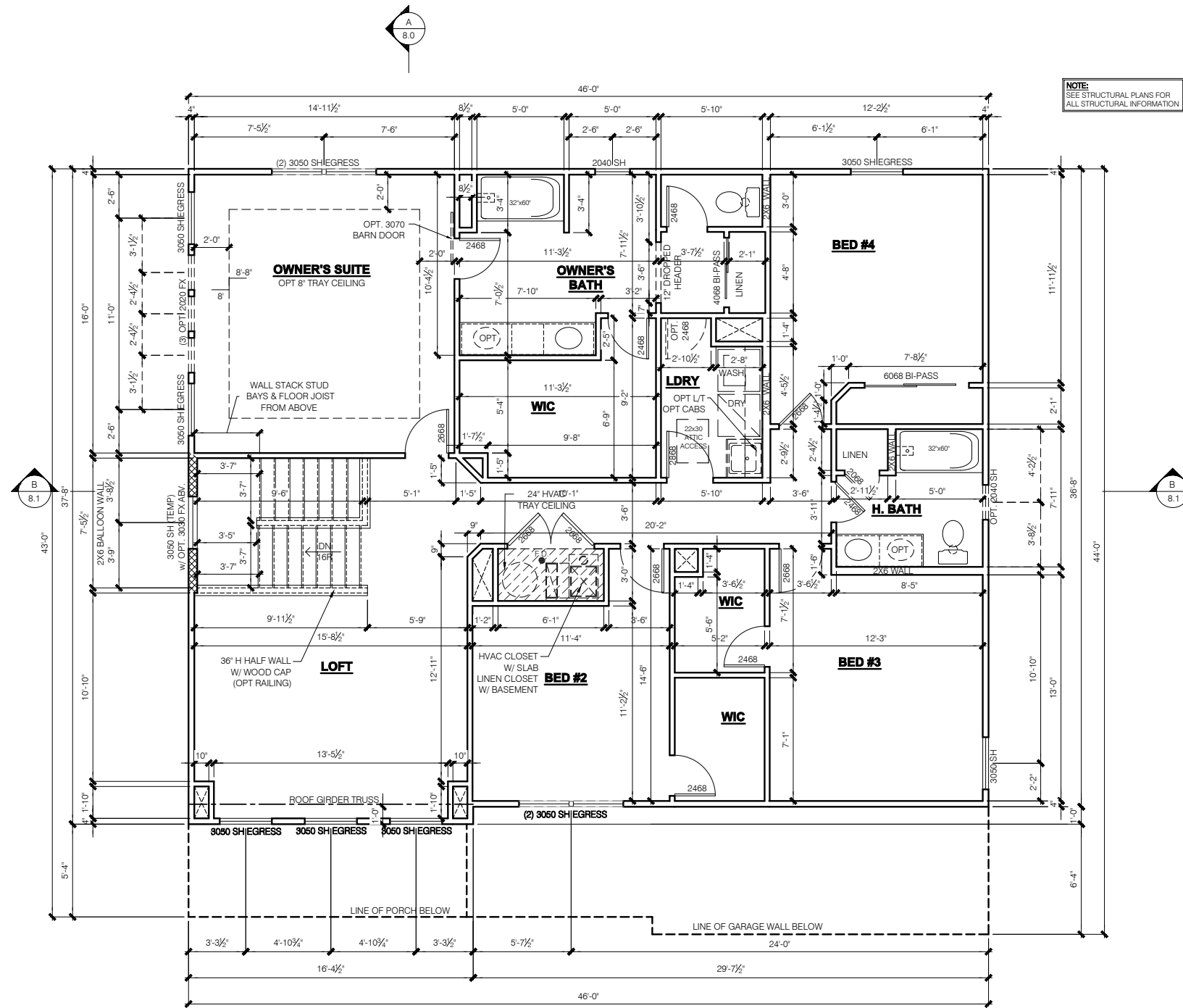
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LSP Date: X/XX/XX
LSP By: BY
LSP Rev: ----
Sheet Title :
1st Floor Plan - Slab
Sheet:

4.0C



NOTE:
SEE STRUCTURAL PLANS FOR ALL STRUCTURAL INFORMATION

NOTE:

- INDICATES WALL HEIGHTS LOWER THAN STANDARD HEIGHT- AS NOTED
- INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT- AS NOTED
- INDICATES SLOPED WALLS - AS NOTED
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- #/# - INDICATES QUANTITY OF RIPPED LVL (2650 Fd-1.9E) or PSL STUDS, WIDE BY WALL THICKNESS

GARAGE FINISH:
1/2" DRYWALL WARM WALLS AND CEILING (UNFINISHED)

TYPICAL STUD WALL SIZES PER LOCATION:

- EXTERIOR WALLS AT CONDITIONED SPACES ARE 2x6's W/ 1/2" NOMINAL SHEATHING U.N.O. (4) **STUDS @ 16" O.C. U.N.O.**
- GARAGE/HOUSE COMMON WALLS ARE 2x6's U.N.O. (5/2") **STUDS @ 24" O.C. U.N.O.**
- GARAGE EXTERIOR WALLS ARE 2x6's W/ 1/2" NOMINAL SHEATHING U.N.O. (4) **STUDS @ 16" O.C.**
- WALLS ADJACENT TO ATTIC SPACES ARE 2x4's W/ 1/2" NOMINAL SHEATHING U.N.O. (6) **STUDS @ 16" O.C. U.N.O.**
- INTERIOR WALLS ARE 2x4's U.N.O. (3/2")

EXTERIOR WALLS ARE SHOWN WITH 1/2" NOMINAL SHEATHING WHICH IS HELD FLUSH WITH THE OUTSIDE OF THE FOUNDATION

**ELEVATION "C" FARMHOUSE
FRAMING PLAN
SECOND FLOOR PLAN**

SCALE: 1/4" = 1'-0"

WINDOW/DOOR FRAMING NOTE:
WINDOW AND DOOR FRAMING TO INCLUDE (1) JACK STUD AND (1) KING STUD EA. SIDE U.N.O. SEE DETAILS 1 & 2 SHEET D3.1

GARAGE DRYWALL NOTE:
ALL GARAGE /HOUSE COMMON WALLS, CEILINGS, BEAMS, COLUMNS THAT SUPPORT FLOOR-CEILING ASSEMBLY ABOVE TO HAVE 1/2" G.W.B. CEILING TO BE 1/2" TYPE "X" FIRECODE DRYWALL BELOW HABITABLE SPACES.

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11x17 PRINTS ARE 1/2 SCALE

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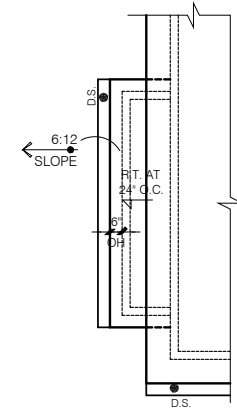
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4/08/20

Job #:	----
LSP Date:	X/XX/XX
LSP By:	BY
LSP Rev:	----
Sheet Title:	2nd Floor Plan
Sheet:	6.0C

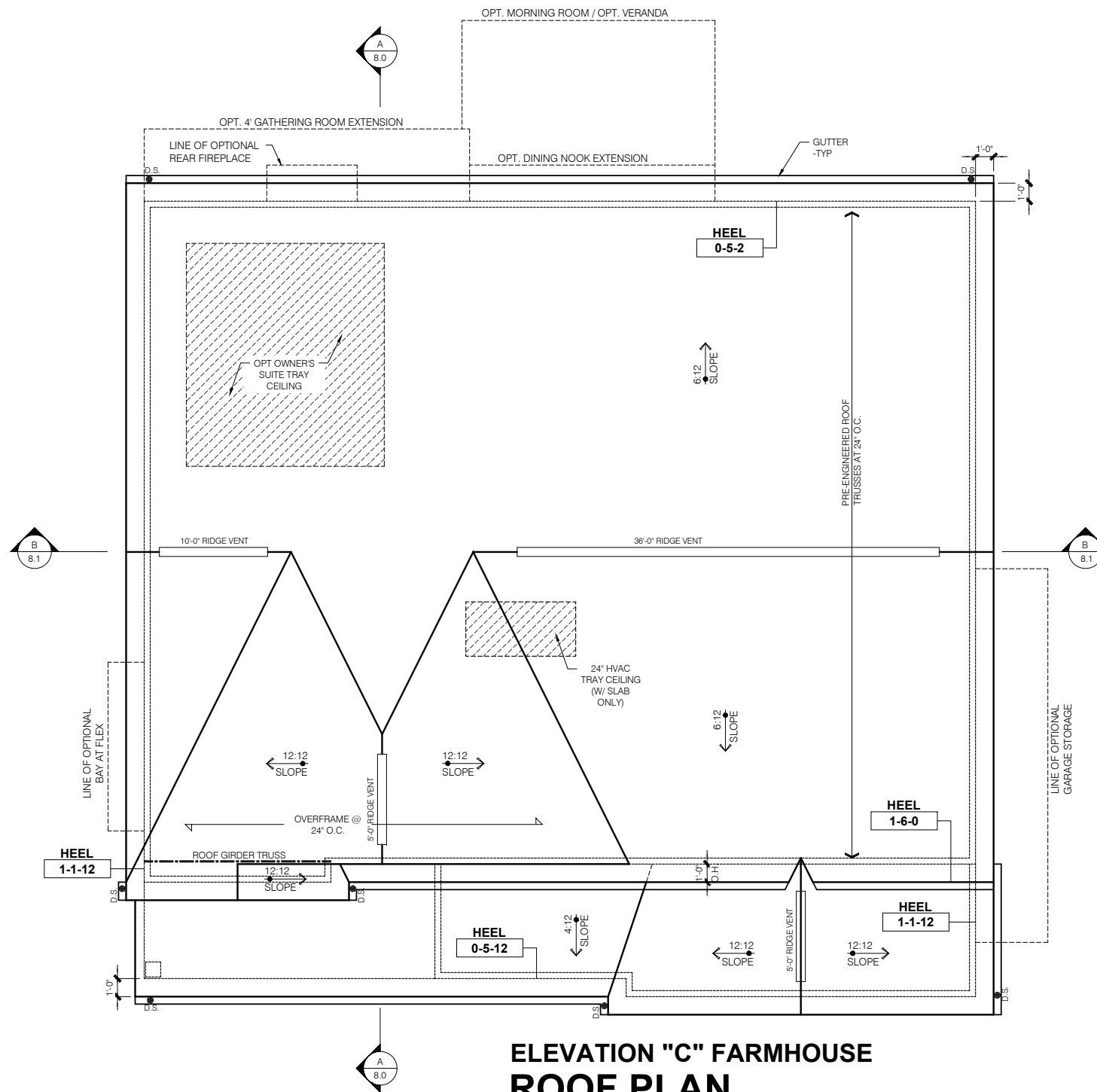
Issued Date: 03/29/17
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FLEX SIDE BAY

SCALE: 1/4" = 1'-0"



**ELEVATION "C" FARMHOUSE
ROOF PLAN**

SCALE: 1/4" = 1'-0"

ROOF FRAMING NOTES

1. THIS LAYOUT REPRESENTS DESIGN INTENT ONLY. SUPPLIER IS TO PROVIDE FINAL TRUSS LAYOUT AND ENGINEERED DRAWINGS FOR APPROVAL OF **M/I HOMES**.
2. TRUSS DRAWINGS STAMPED BY AN ENGINEER REGISTERED WITH THE STATE OF PERMIT, ALONG WITH LAYOUT SHEET, TO BE PROVIDED TO THE BUILDING INSPECTOR FOR FRAMING INSPECTION.
3. ALL TRUSS CONNECTIONS TO BE PROVIDED BY THE TRUSS MANUFACTURER.
4. 1" JOIST RAFTER DESIGN BASED ON LPI 20PLUS (1.5E) I-JOISTS BY LOUISIANA PACIFIC U.N.O.
5. ALL ROOF TRUSSES AND RAFTERS ARE TO BE CONNECTED TO DOUBLE TOP PLATE W/ A MINIMUM OF (1) H2.5A BY SIMPSON OR EQUAL U.N.O.
6. GIRDER TRUSSES ARE TO HAVE HOLD DOWNS TO RESIST THE REQUIRED UPLIFT AS SHOWN ON TRUSS MANUFACTURER'S DRAWINGS.
7. ALL DIMENSIONAL LUMBER TO BE SYP #2 OR BETTER UNLESS NOTED OTHERWISE.

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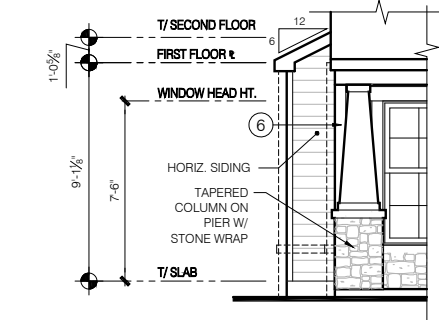
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11x17 PRINTS ARE 1/2 SCALE

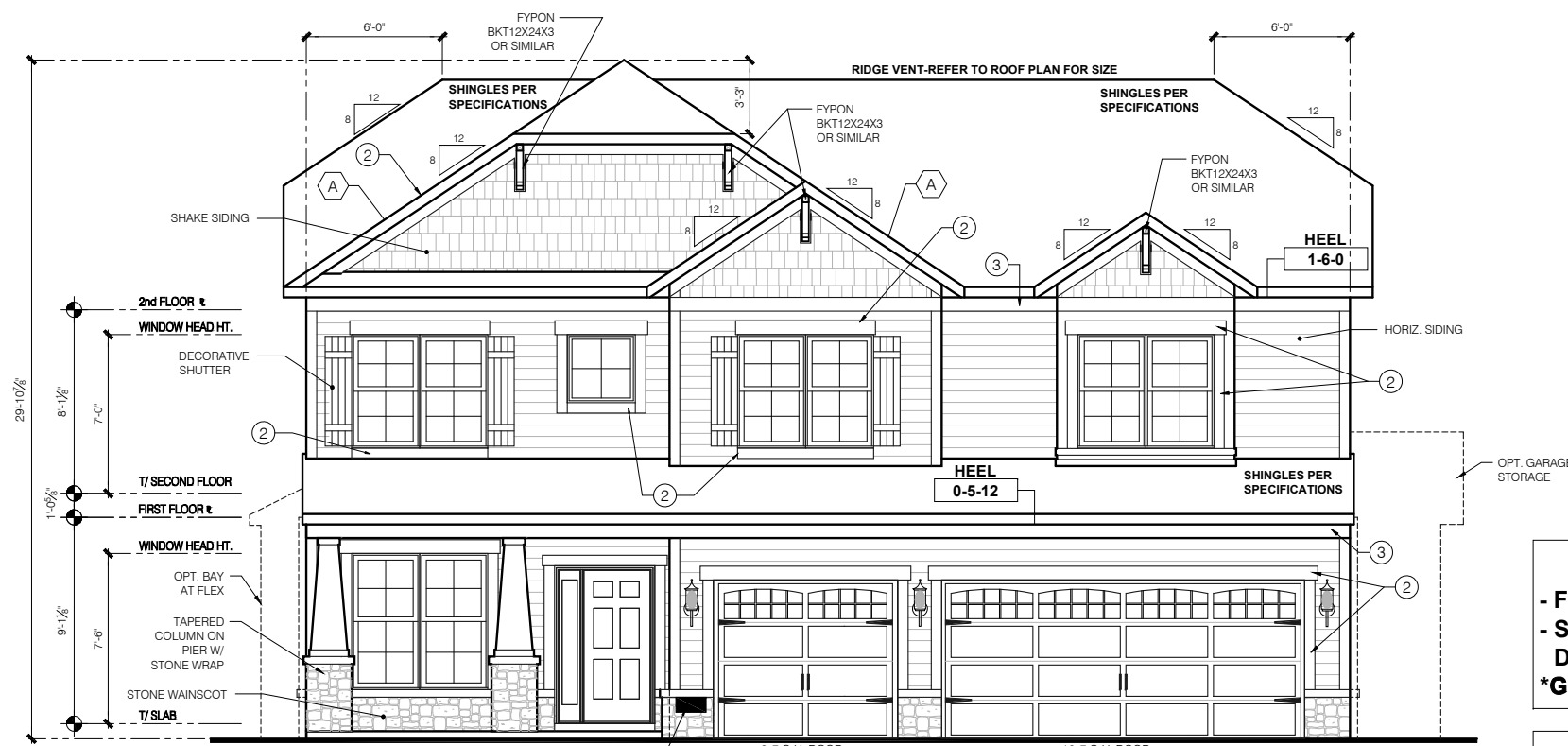
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LSP Date:	X/X/XX
LSP By:	BY
LSP Rev:	---
Sheet Title:	Roof Plan - Base Roof

Sheet:

7.0C



OPT FLEX SIDE BAY FRONT ELEVATION
SCALE: 1/4" = 1'-0"



ELEVATION "D" CRAFTSMAN FRONT ELEVATION
SCALE: 1/4" = 1'-0"

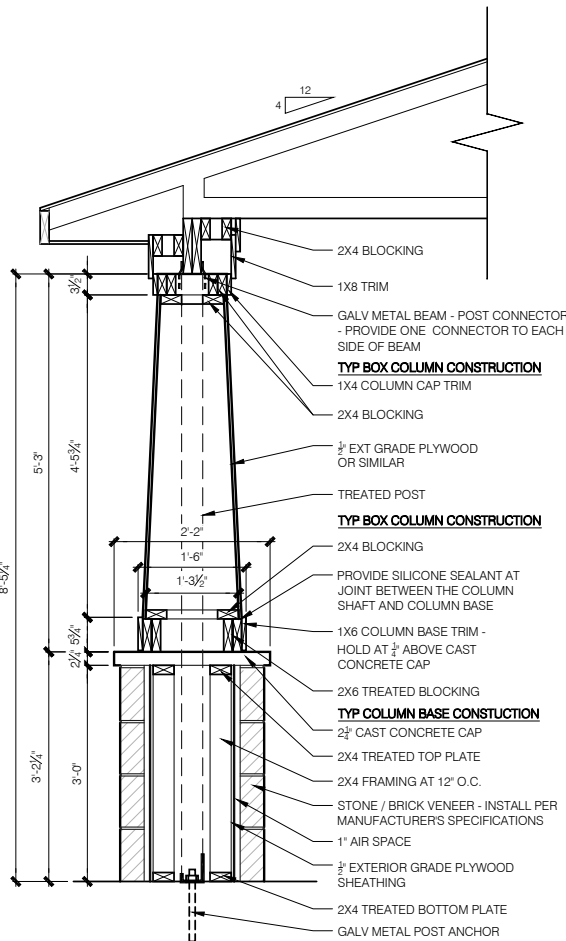
TYPICAL EXTERIOR TRIM FINISH
THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.

1	= 4" TRIM (1x4, 5/4x4, 3/2" VINYL LINEAL)
2	= 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)
3	= 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)
4	= 10" TRIM
5	= 12" TRIM
6	FRONT CORNERS = 5" TRIM PER DIVISION - SEE SPECS
7	REAR CORNERS = 3" TRIM PER DIVISION - SEE SPECS

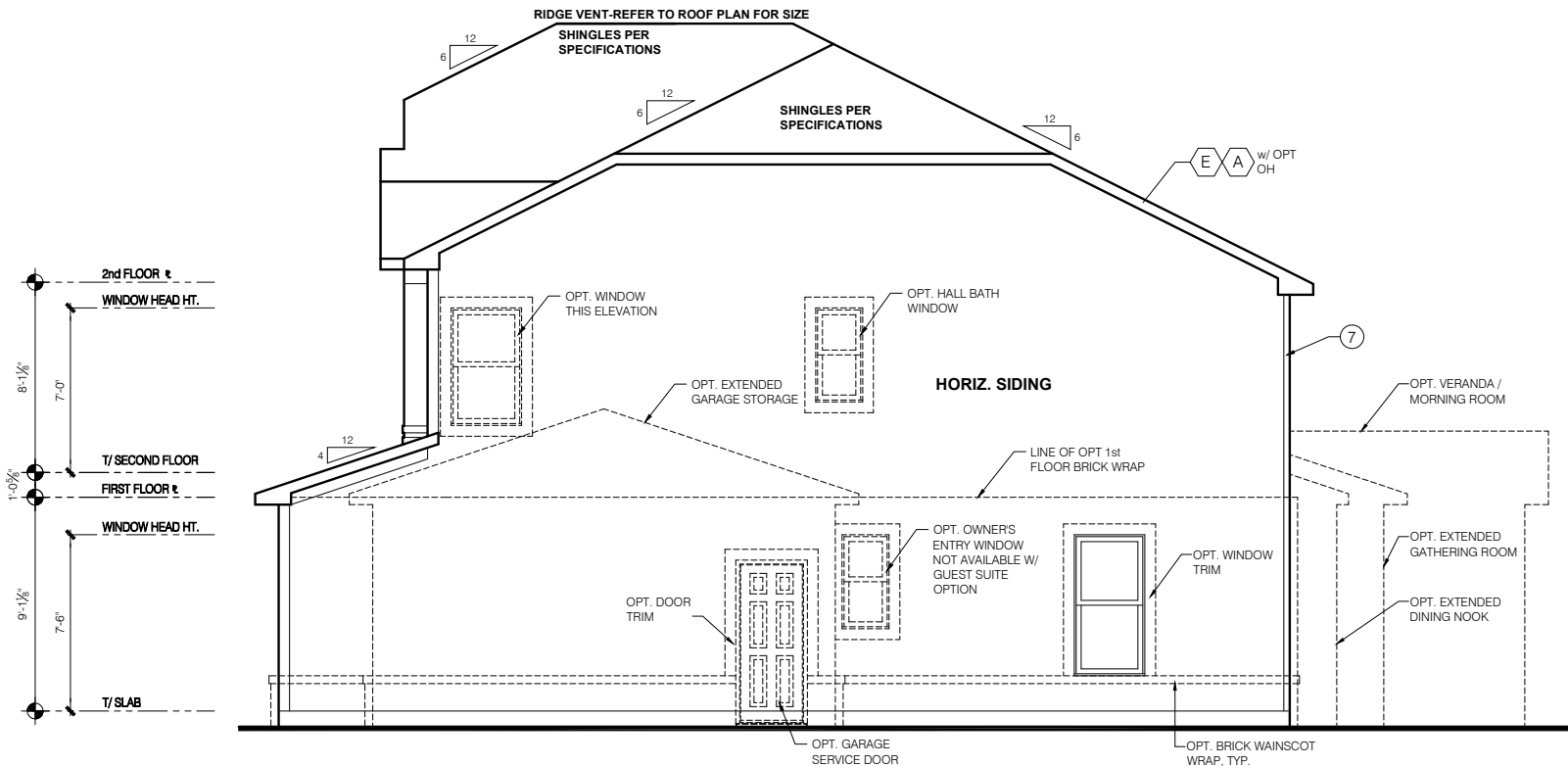
DIVISION NOTE:
IT IS THE RESPONSIBILITY OF EACH DIVISION TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL, THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES; WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED.

WINDOW GRID NOTE:
- FRONT WINDOW GRIDS ARE STANDARD
- SIDE AND REAR GRIDS ARE OPTIONAL PER DIVISION
*GRID PATTERNS TO MATCH FRONT ELEVATION

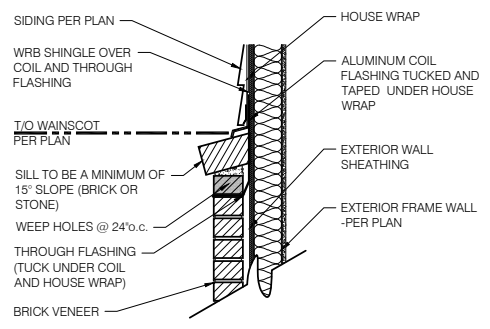
ELEVATION DEPICTED IS A REPRESENTATIVE SAMPLE WHICH WILL VARY BASED ON FOUNDATION TYPE AND GRADING REQUIREMENTS.



TAPERED COLUMN ON PIER DETAIL
SCALE: 3/4" = 1'-0"



ELEVATION "D" CRAFTSMAN GARAGE SIDE ELEVATION
SCALE: 1/4" = 1'-0"



1 BRICK WAINSCOT DETAIL
SCALE: 1" = 1'-0"

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PRESTIGE SERIES

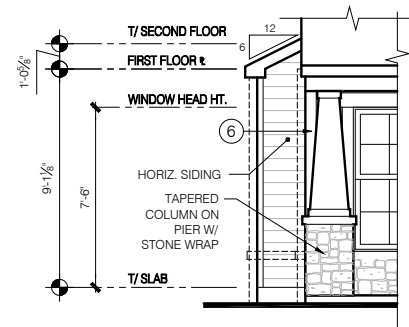
11x17 PRINTS ARE 1/2" SCALE

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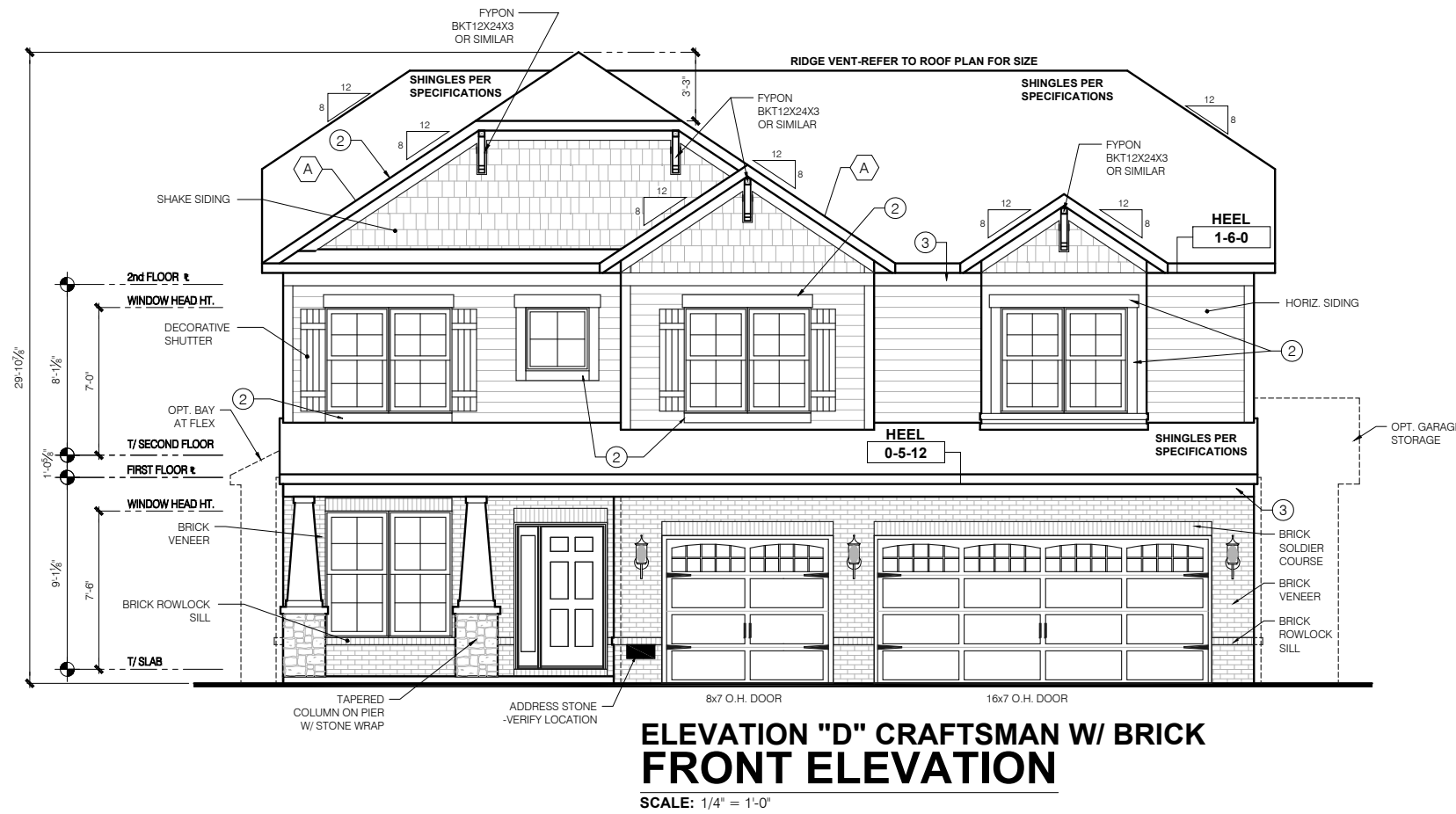
Job #: ----
LSP Date: X/XX/XX
LSP By: BY
LSP Rev: ----
Sheet Title: Front And Garage Elevations
Sheet: 1.0D

Issued Date: 03/29/17
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OPT FLEX SIDE BAY FRONT ELEVATION

SCALE: 1/4" = 1'-0"



ELEVATION "D" CRAFTSMAN W/ BRICK FRONT ELEVATION

SCALE: 1/4" = 1'-0"

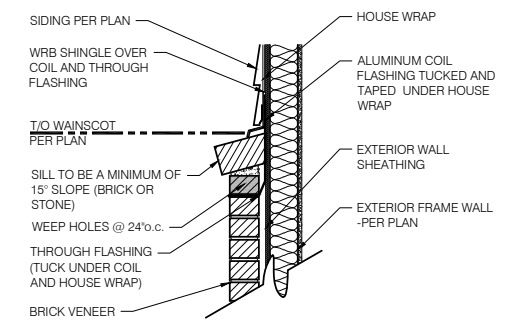
TYPICAL EXTERIOR TRIM FINISH
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②	= 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)
③	= 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)
④	= 10" TRIM
⑤	= 12" TRIM
⑥	FRONT CORNERS = 5" TRIM PER DIVISION - SEE SPECS
⑦	REAR CORNERS = 3" TRIM PER DIVISION - SEE SPECS

DIVISION NOTE:
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WINDOW GRID NOTE:
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- SIDE AND REAR GRIDS ARE OPTIONAL PER DIVISION
*GRID PATTERNS TO MATCH FRONT ELEVATION

ELEVATION DEPICTED IS A REPRESENTATIVE SAMPLE WHICH WILL VARY BASED ON FOUNDATION TYPE AND GRADING REQUIREMENTS.



1 BRICK WAINSCOT DETAIL
SCALE: 1" = 1'-0"

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11x17 PRINTS ARE 1/2 SCALE

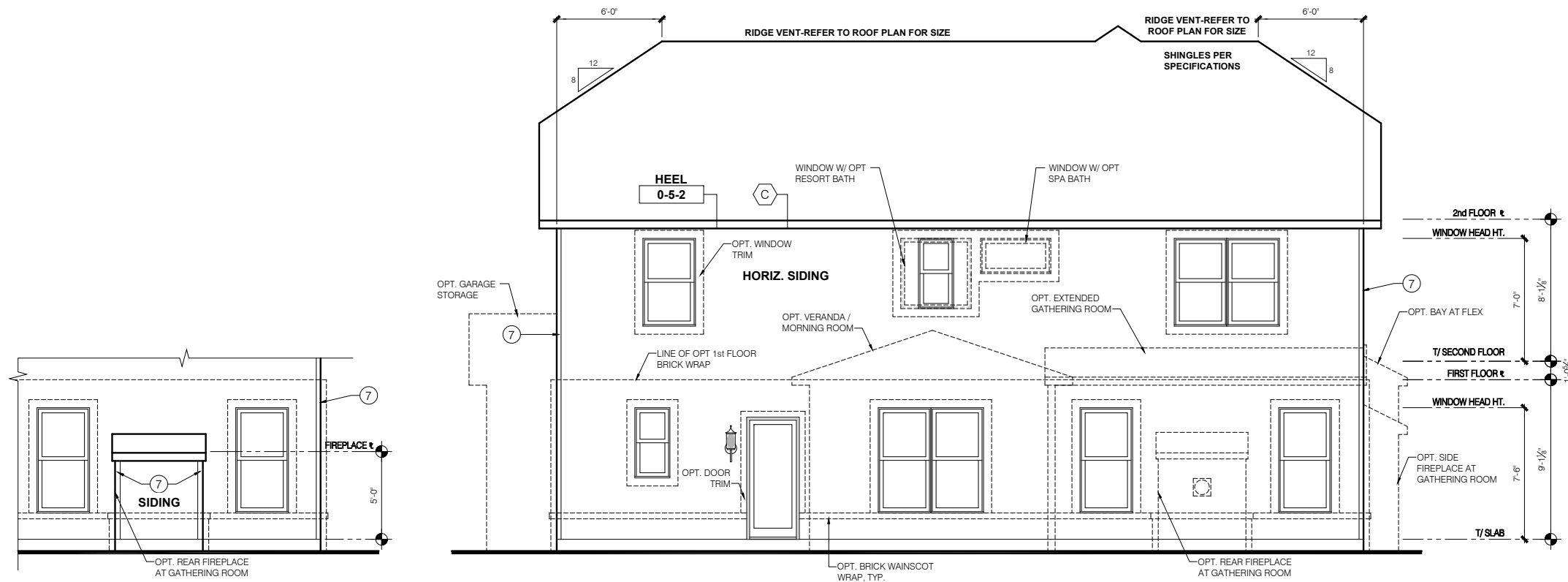
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Job #:	----
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LSP By:	BY
LSP Rev:	----
Sheet Title:	Front And Garage Elevations Brick
Sheet:	1.0.1D

Issued Date: 03/29/17
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OPT REAR FIREPLACE REAR ELEVATION

SCALE: 1/4" = 1'-0"

ELEVATION "D" CRAFTSMAN REAR ELEVATION

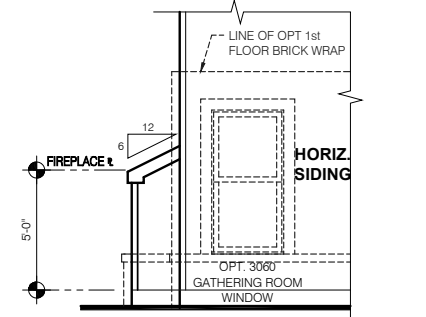
SCALE: 1/4" = 1'-0"

TYPICAL EXTERIOR TRIM FINISH	
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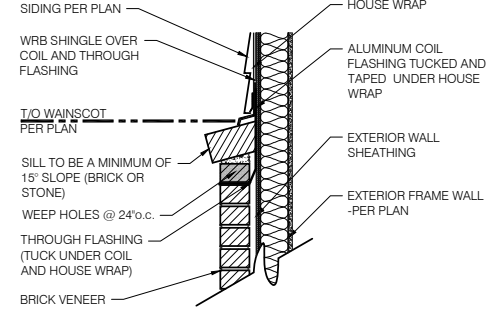
WINDOW GRID NOTE:
- FRONT WINDOW GRIDS ARE STANDARD
- SIDE AND REAR GRIDS ARE OPTIONAL PER DIVISION
*GRID PATTERNS TO MATCH FRONT ELEVATION

ELEVATION DEPICTED IS A REPRESENTATIVE SAMPLE WHICH WILL VARY BASED ON FOUNDATION TYPE AND GRADING REQUIREMENTS.



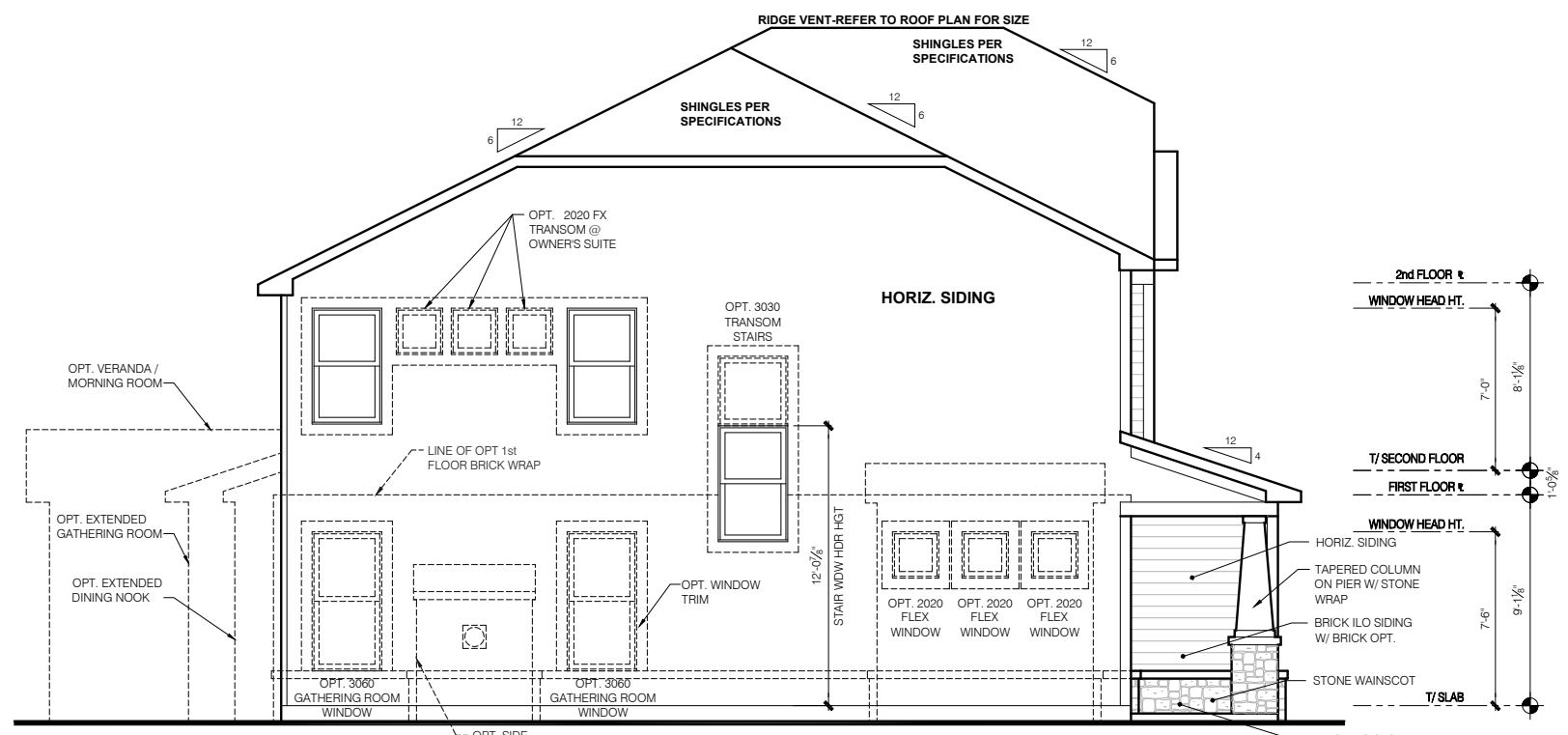
OPT REAR FIREPLACE SIDE ELEVATION

SCALE: 1/4" = 1'-0"



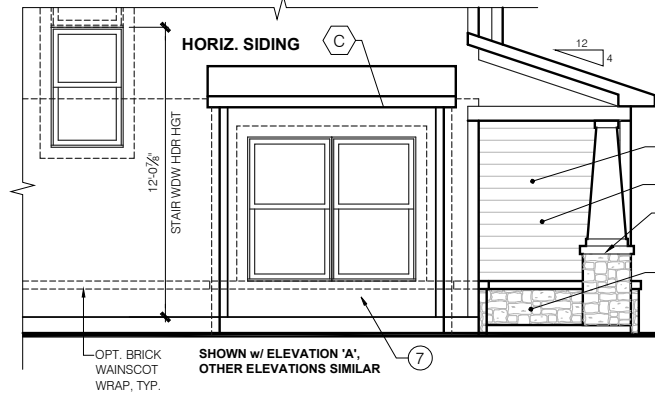
1 BRICK WAINSCOT DETAIL

SCALE: 1" = 1'-0"



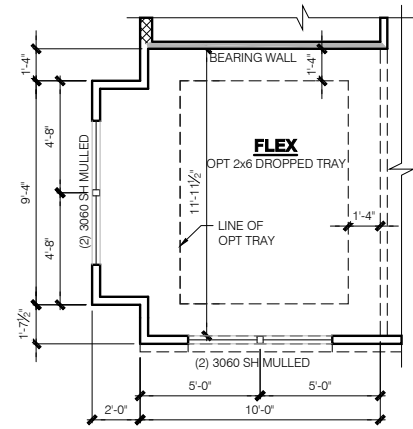
ELEVATION "D" CRAFTSMAN SIDE ELEVATION

SCALE: 1/4" = 1'-0"



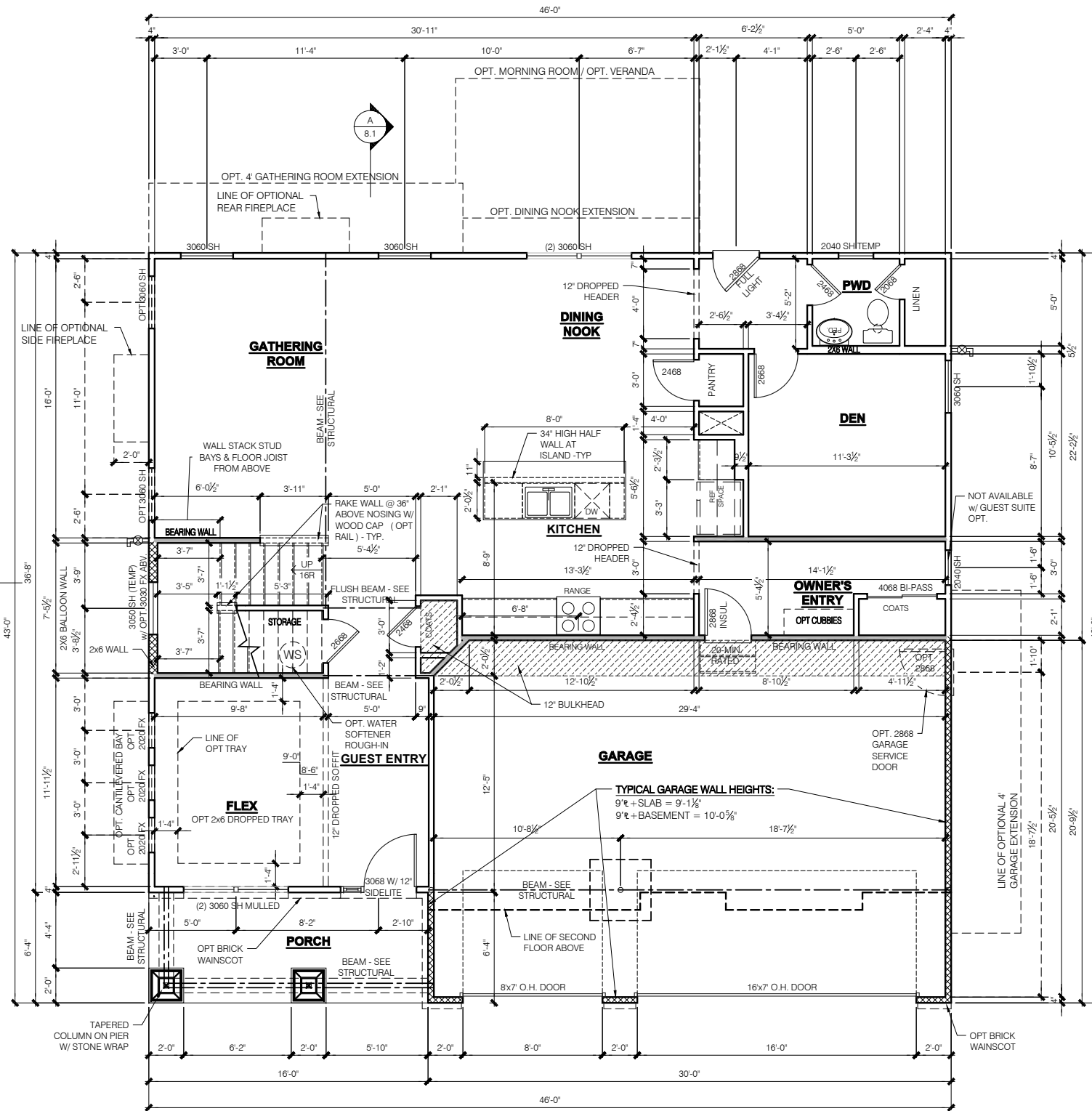
OPT FLEX SIDE BAY SIDE ELEVATION

SCALE: 1/4" = 1'-0"



**FRAMING PLAN
OPT FLEX SIDE BAY**

SCALE: 1/4" = 1'-0"



**ELEVATION "D" CRAFTSMAN
SLAB
FRAMING PLAN
FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"

WINDOW/DOOR FRAMING NOTE:

WINDOW AND DOOR FRAMING TO INCLUDE (1) JACK STUD AND (1) KING STUD EA. SIDE U.N.O. SEE DETAILS 1 & 2 SHEET D3.1

GARAGE DRYWALL NOTE:

ALL GARAGE /HOUSE COMMON WALLS, CEILINGS, BEAMS, COLUMNS THAT SUPPORT FLOOR-CEILING ASSEMBLY ABOVE TO HAVE 1/2" G.W.B. CEILING TO BE 1/2" TYPE "X" FIRECODE DRYWALL BELOW HABITABLE SPACES.

GARAGE FINISH:
1/2" DRYWALL WARM WALLS AND CEILING (UNFINISHED)

TYPICAL STUD WALL SIZES PER LOCATION:

- EXTERIOR WALLS AT CONDITIONED SPACES ARE 2x6's W/ 1/2" NOMINAL SHEATHING U.N.O. (4) STUDS @ 16" O.C. U.N.O.
- GARAGE/HOUSE COMMON WALLS ARE 2x6's U.N.O. (5/2) STUDS @ 24" O.C. U.N.O.
- GARAGE EXTERIOR WALLS ARE 2x6's W/ 1/2" NOMINAL SHEATHING U.N.O. (4) STUDS @ 16" O.C.
- WALLS ADJACENT TO ATTIC SPACES ARE 2x4's W/ 1/2" NOMINAL SHEATHING U.N.O. (6) STUDS @ 16" O.C. U.N.O.
- INTERIOR WALLS ARE 2x4's U.N.O. (3/2)

EXTERIOR WALLS ARE SHOWN WITH 1/2" NOMINAL SHEATHING WHICH IS HELD FLUSH WITH THE OUTSIDE OF THE FOUNDATION

- NOTE:**
- INDICATES WALL HEIGHTS LOWER THAN STANDARD HEIGHT - AS NOTED
 - INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT - AS NOTED
 - INDICATES SLOPED WALLS - AS NOTED
 - INDICATES INTERIOR LOAD BEARING WALLS, FRAME 16" O.C. (2x4), 24" O.C. (2x6) W/ DBL. TOP PLATE
 - ALL OTHER WALLS ARE 9'-1 1/8" HIGH
 - ALL STRUCTURAL HEADERS ARE (2) 2x6 - UNLESS NOTED OTHERWISE
 - ALL POINT LOADS TO BE BLOCKED SOLID TO FINAL SUPPORT MEMBER OR FOUNDATION.
 - STAIRS FROM 1st TO 2nd FLOOR ARE TO BE 16 RISERS
 - - INDICATES (3) JACK STUDS TYP. UNLESS NOTED (#2, SPF)
 - # - INDICATES QUANTITY OF NON-STD. STUDS (#2, SPF)
 - #/# - INDICATES QUANTITY OF RIPPED LVL (2650 Fd-1.9E) or PSL STUDS, WIDE BY WALL THICKNESS

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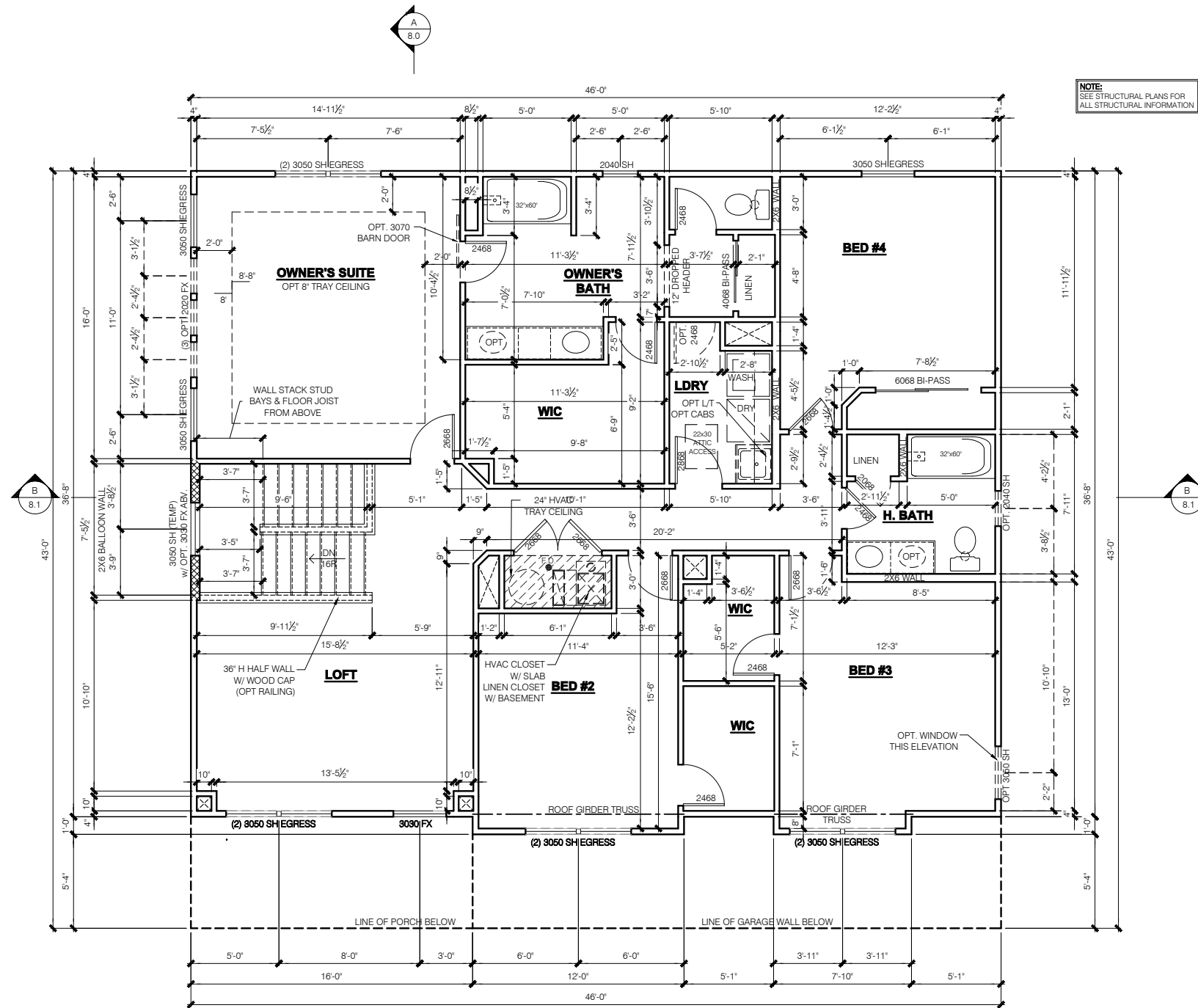
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LSP Date: X/XX/XX
LSP By: BY
LSP Rev: ---
Sheet Title:

1st Floor Plan - Slab

Sheet:

4.0D



NOTE:
SEE STRUCTURAL PLANS FOR ALL STRUCTURAL INFORMATION

NOTE:

- INDICATES WALL HEIGHTS LOWER THAN STANDARD HEIGHT- AS NOTED
- INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT- AS NOTED
- INDICATES SLOPED WALLS - AS NOTED
- INDICATES INTERIOR LOAD BEARING WALLS, FRAME 16" O.C.(2x4), 24" O.C.(2x6) W/ DBL. TOP PLATE
- ALL OTHER WALLS ARE 9'-1 1/8" HIGH
- ALL STRUCTURAL HEADERS ARE (2) 2x6 - UNLESS NOTED OTHERWISE
- ALL POINT LOADS TO BE BLOCKED SOLID TO FINAL SUPPORT MEMBER OR FOUNDATION.
- STAIRS FROM 1st TO 2nd FLOOR ARE TO BE 16 RISERS
- - INDICATES (3) JACK STUDS TYP. UNLESS NOTED (#2, SPF)
- # - INDICATES QUANTITY OF NON-STD. STUDS (#2 SPF)
- #/# - INDICATES QUANTITY OF RIPPED LVL (2650 Fd-1.9E) or PSL STUDS, WIDE BY WALL THICKNESS

ELEVATION "D" CRAFTSMAN FRAMING PLAN SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

GARAGE FINISH:
3/4" DRYWALL WARM WALLS AND CEILING (UNFINISHED)

WINDOW/DOOR FRAMING NOTE:
WINDOW AND DOOR FRAMING TO INCLUDE (1) JACK STUD AND (1) KING STUD EA. SIDE U.N.O. SEE DETAILS 1 & 2 SHEET D3.1

GARAGE DRYWALL NOTE:
ALL GARAGE /HOUSE COMMON WALLS, CEILINGS, BEAMS, COLUMNS THAT SUPPORT FLOOR-CEILING ASSEMBLY ABOVE TO HAVE 3/4" G.W.B. CEILING TO BE 3/2" TYPE "X" FIRECODE DRYWALL BELOW HABITABLE SPACES.

TYPICAL STUD WALL SIZES PER LOCATION:

- EXTERIOR WALLS AT CONDITIONED SPACES ARE 2x6's W/ 1/2" NOMINAL SHEATHING U.N.O. (4) STUDS @ 16" O.C. U.N.O.
- GARAGE/HOUSE COMMON WALLS ARE 2x6's U.N.O. (5/2) STUDS @ 24" O.C. U.N.O.
- GARAGE EXTERIOR WALLS ARE 2x6's W/ 1/2" NOMINAL SHEATHING U.N.O. (4) STUDS @ 16" O.C.
- WALLS ADJACENT TO ATTIC SPACES ARE 2x4's W/ 1/2" NOMINAL SHEATHING U.N.O. (6) STUDS @ 16" O.C. U.N.O.
- INTERIOR WALLS ARE 2x4's U.N.O. (3/2)

EXTERIOR WALLS ARE SHOWN WITH 1/2" NOMINAL SHEATHING WHICH IS HELD FLUSH WITH THE OUTSIDE OF THE FOUNDATION

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11x17 PRINTS ARE 1/2 SCALE

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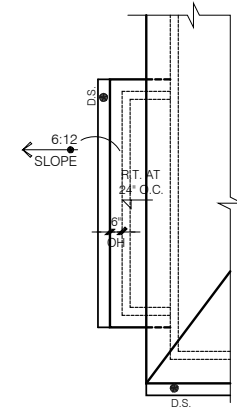
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LSP By:	BY
LSP Rev:	----
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Sheet:	6.0D

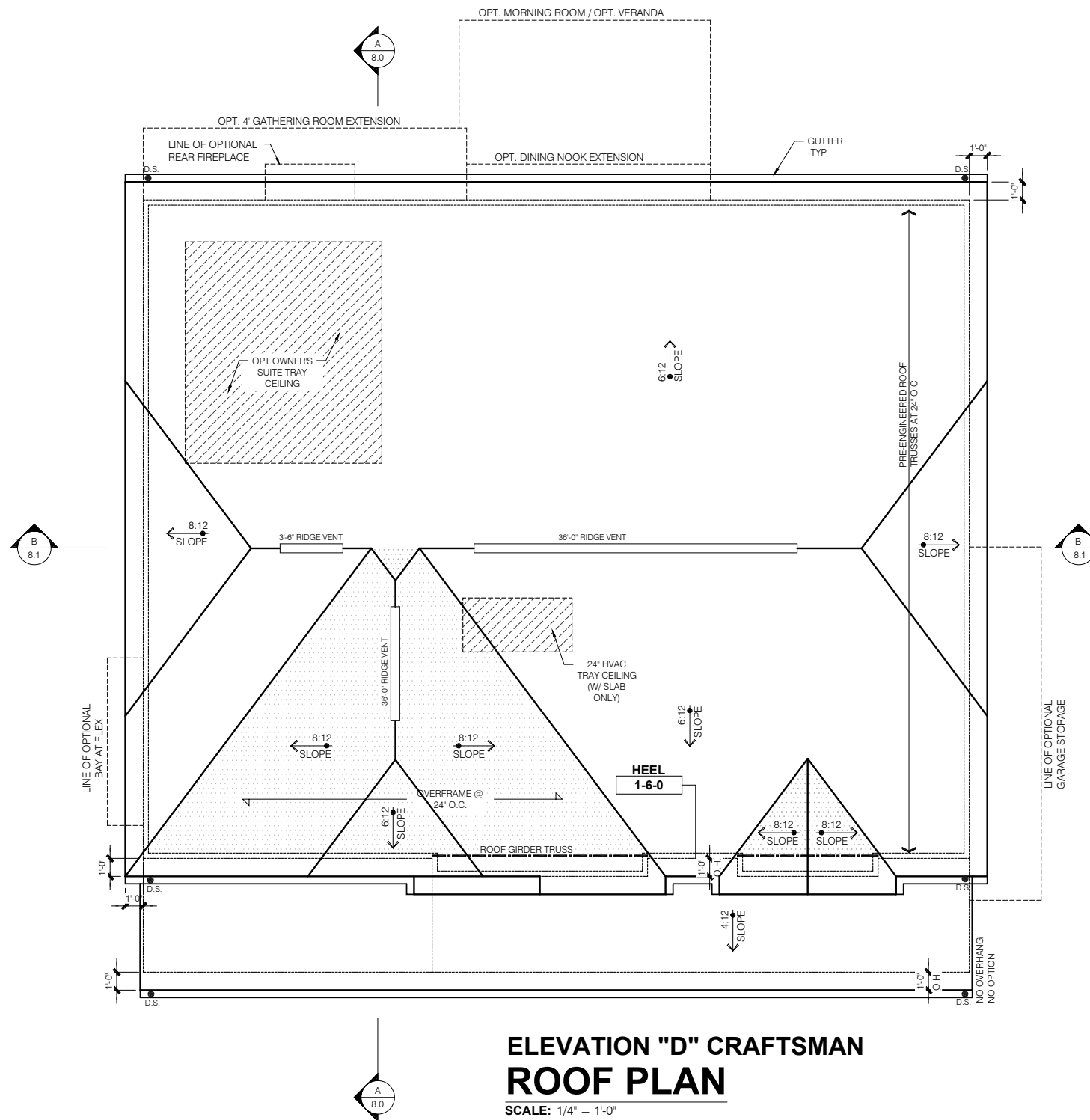
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FLEX SIDE BAY

SCALE: 1/4" = 1'-0"



**ELEVATION "D" CRAFTSMAN
ROOF PLAN**

SCALE: 1/4" = 1'-0"

ROOF FRAMING NOTES

1. THIS LAYOUT REPRESENTS DESIGN INTENT ONLY. SUPPLIER IS TO PROVIDE FINAL TRUSS LAYOUT AND ENGINEERED DRAWINGS FOR APPROVAL OF **M/I HOMES**.
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3. ALL TRUSS CONNECTIONS TO BE PROVIDED BY THE TRUSS MANUFACTURER.
4. 1" JOIST RAFTER DESIGN BASED ON LPI 20PLUS (1.5E) I-JOISTS BY LOUISIANA PACIFIC U.N.O.
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6. GIRDER TRUSSES ARE TO HAVE HOLD DOWNS TO RESIST THE REQUIRED UPLIFT AS SHOWN ON TRUSS MANUFACTURER'S DRAWINGS.
7. ALL DIMENSIONAL LUMBER TO BE SYP #2 OR BETTER UNLESS NOTED OTHERWISE.

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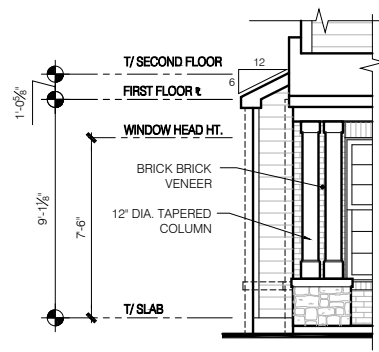
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11x17 PRINTS ARE 1/2 SCALE

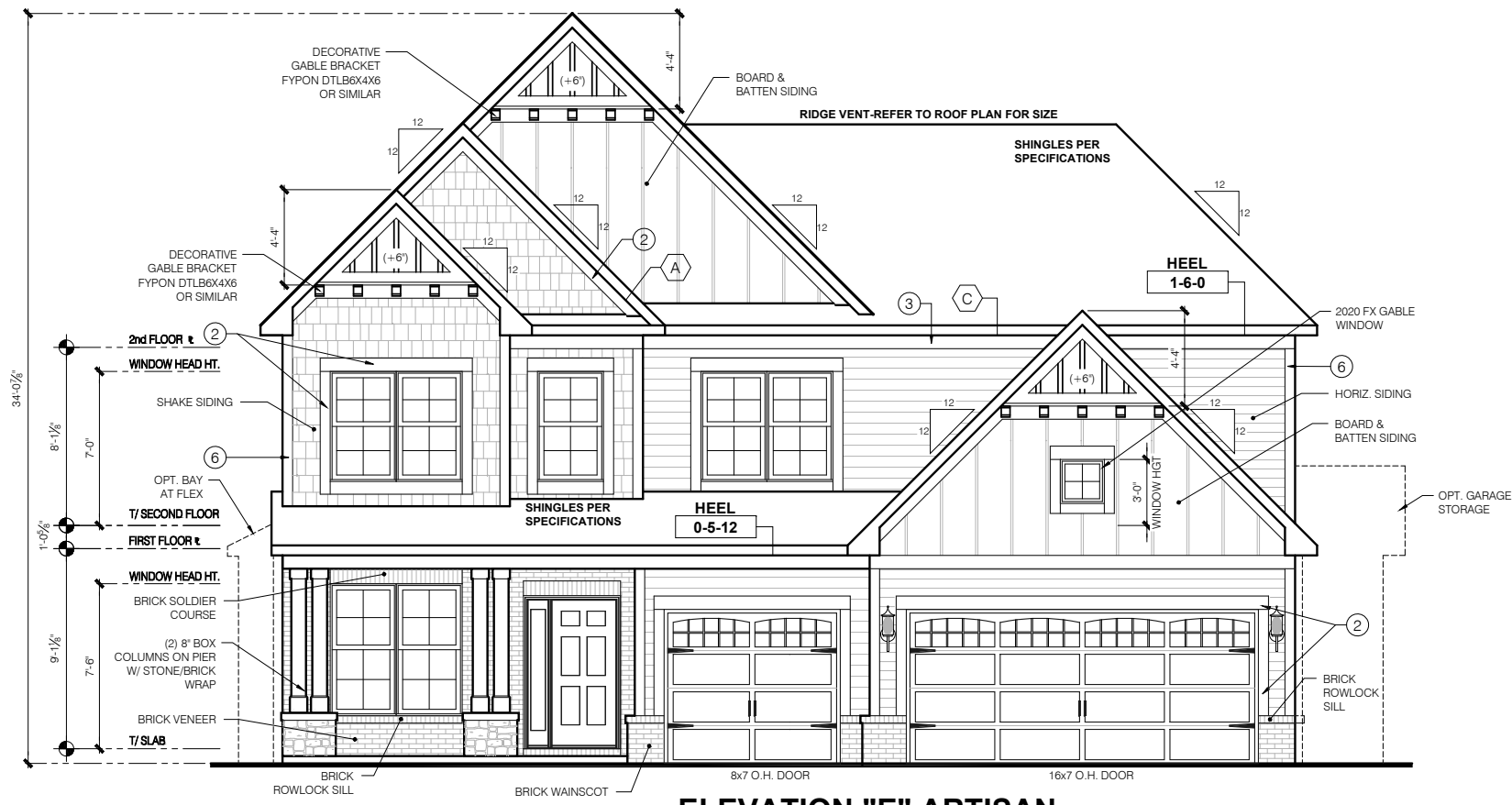
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LSP Date:	X/XX/XX
LSP By:	BY
LSP Rev:	----
Sheet Title:	Roof Plan - Base Roof

Sheet:
7.0D



OPT FLEX SIDE BAY FRONT ELEVATION

SCALE: 1/4" = 1'-0"



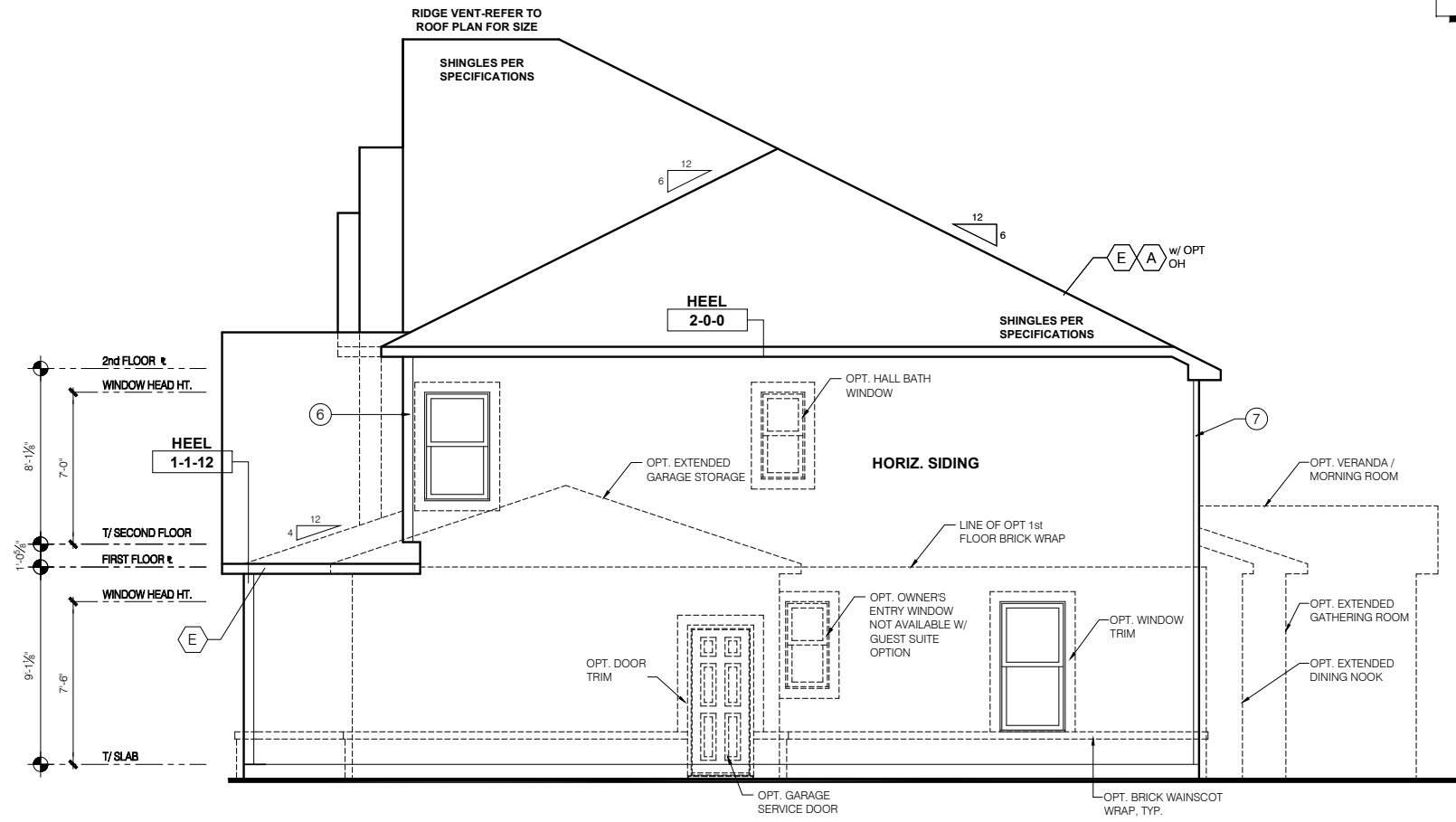
ELEVATION "E" ARTISAN FRONT ELEVATION

SCALE: 1/4" = 1'-0"

TYPICAL EXTERIOR TRIM FINISH	
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⑦	REAR CORNERS = 3" TRIM PER DIVISION - SEE SPECS
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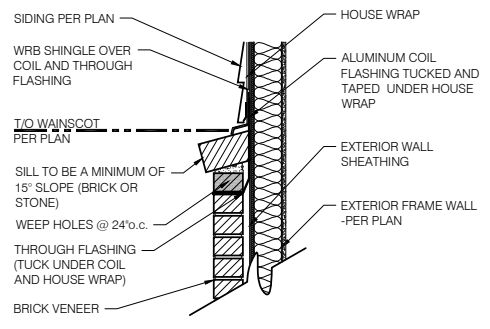
WINDOW GRID NOTE:
 - FRONT WINDOW GRIDS ARE STANDARD
 - SIDE AND REAR GRIDS ARE OPTIONAL PER DIVISION
 *GRID PATTERNS TO MATCH FRONT ELEVATION

ELEVATION DEPICTED IS A REPRESENTATIVE SAMPLE WHICH WILL VARY BASED ON FOUNDATION TYPE AND GRADING REQUIREMENTS.



ELEVATION "E" ARTISAN GARAGE SIDE ELEVATION

SCALE: 1/4" = 1'-0"

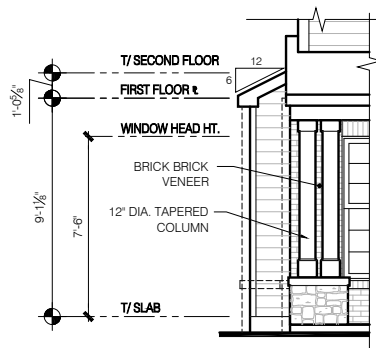


1 BRICK WAINSCOT DETAIL
 SCALE: 1" = 1'-0"

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 LSP By: BY
 LSP Rev: _____
 Sheet Title: Front And Garage Elevations
 Sheet: 1.0E

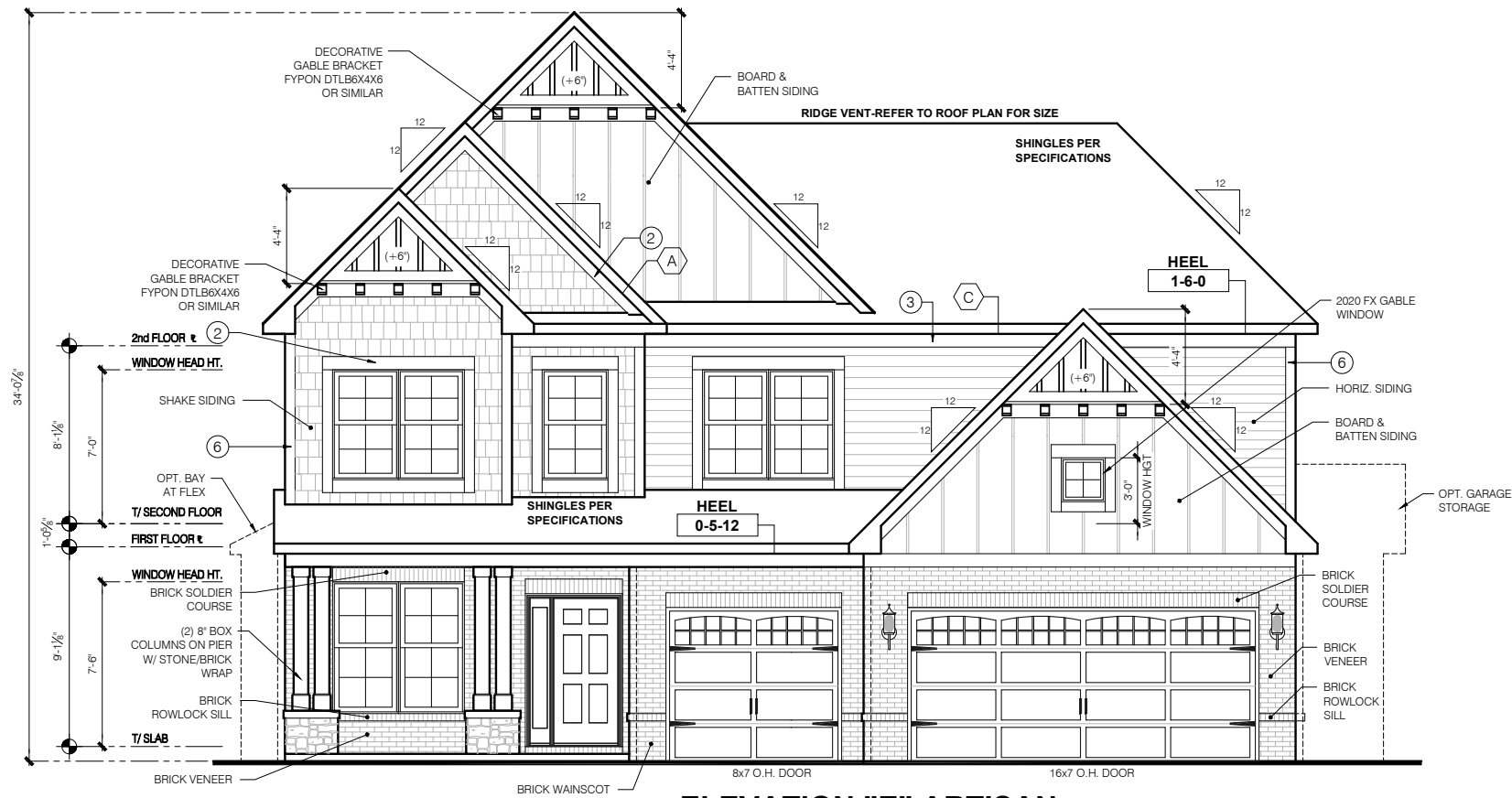
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OPT FLEX SIDE BAY FRONT ELEVATION

SCALE: 1/4" = 1'-0"



ELEVATION "E" ARTISAN FRONT ELEVATION

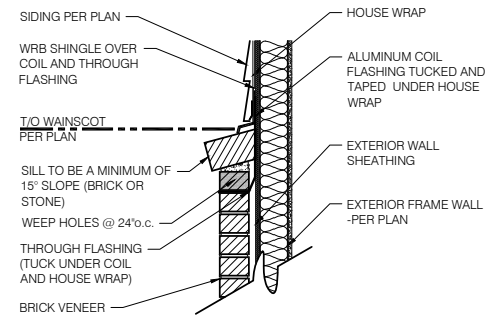
SCALE: 1/4" = 1'-0"

TYPICAL EXTERIOR TRIM FINISH	
THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.	
①	= 4" TRIM (1x4, 5/4x4, 3/2" VINYL LINEAL)
②	= 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)
③	= 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)
④	= 10" TRIM
⑤	= 12" TRIM
⑥	FRONT CORNERS = 5" TRIM PER DIVISION - SEE SPECS
⑦	REAR CORNERS = 5" TRIM PER DIVISION - SEE SPECS

DIVISION NOTE:	
IT IS THE RESPONSIBILITY OF EACH DIVISION TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL, THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES; WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED.	

WINDOW GRID NOTE:
 - FRONT WINDOW GRIDS ARE STANDARD
 - SIDE AND REAR GRIDS ARE OPTIONAL PER DIVISION
 *GRID PATTERNS TO MATCH FRONT ELEVATION

ELEVATION DEPICTED IS A REPRESENTATIVE SAMPLE WHICH WILL VARY BASED ON FOUNDATION TYPE AND GRADING REQUIREMENTS.

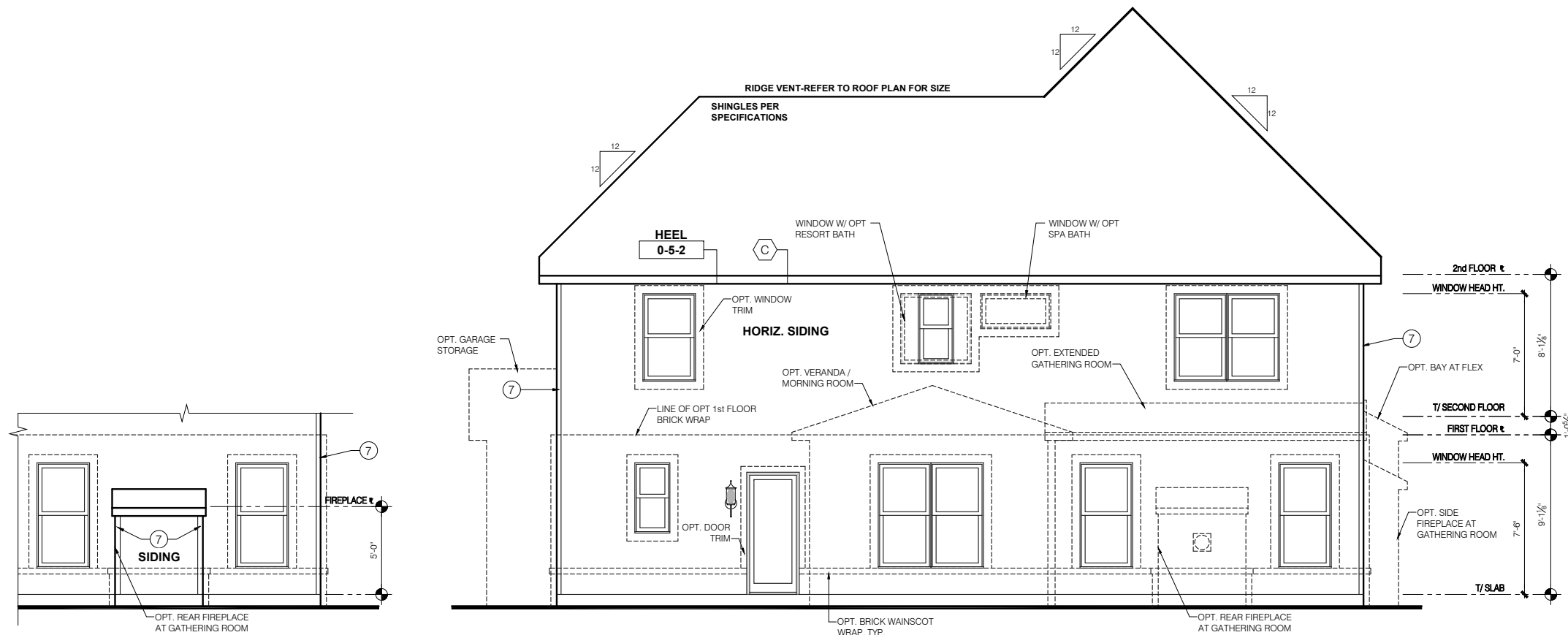


1 BRICK WAINSCOT DETAIL
 SCALE: 1" = 1'-0"

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 PRESTIGE SERIES
 11x17 PRINTS ARE 1/2 SCALE
 Drake
 FINAL SET
 4/08/20
 Job #: ----
 LSP Date: X/X/XX
 LSP By: BY
 LSP Rev: ----
 Sheet Title :
 Front And Garage Elevations Brick
 Sheet:
 1.0.1E

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 Indianapolis, IN 46240
 Ph: 317.255.9900

Issued Date: 03/29/17
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OPT REAR FIREPLACE REAR ELEVATION

SCALE: 1/4" = 1'-0"

ELEVATION "E" ARTISAN REAR ELEVATION

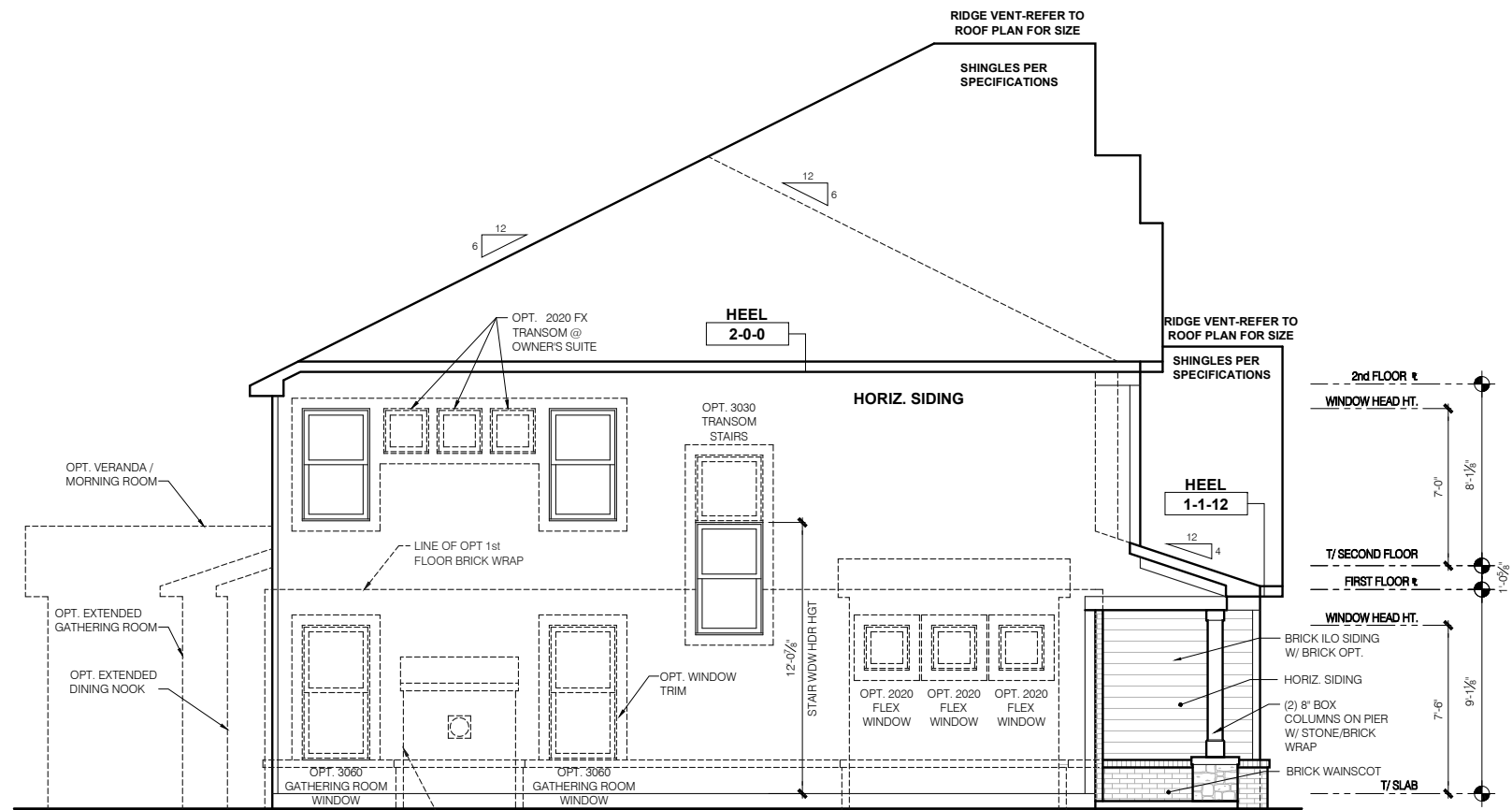
SCALE: 1/4" = 1'-0"

TYPICAL EXTERIOR TRIM FINISH	
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②	= 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)
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④	= 10" TRIM
⑤	= 12" TRIM
⑥	FRONT CORNERS = 8" TRIM PER DIVISION - SEE SPECS
⑦	REAR CORNERS = 8" TRIM PER DIVISION - SEE SPECS

DIVISION NOTE:
IT IS THE RESPONSIBILITY OF EACH DIVISION TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL, THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES, WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED.

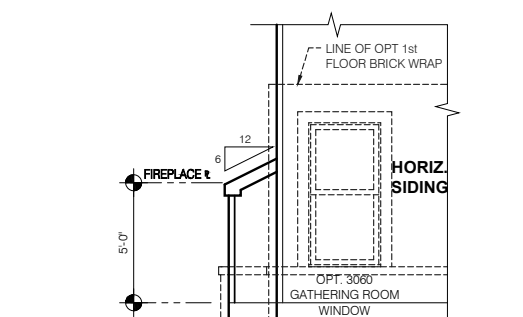
WINDOW GRID NOTE:
- FRONT WINDOW GRIDS ARE STANDARD
- SIDE AND REAR GRIDS ARE OPTIONAL PER DIVISION
*GRID PATTERNS TO MATCH FRONT ELEVATION

ELEVATION DEPICTED IS A REPRESENTATIVE SAMPLE WHICH WILL VARY BASED ON FOUNDATION TYPE AND GRADING REQUIREMENTS.



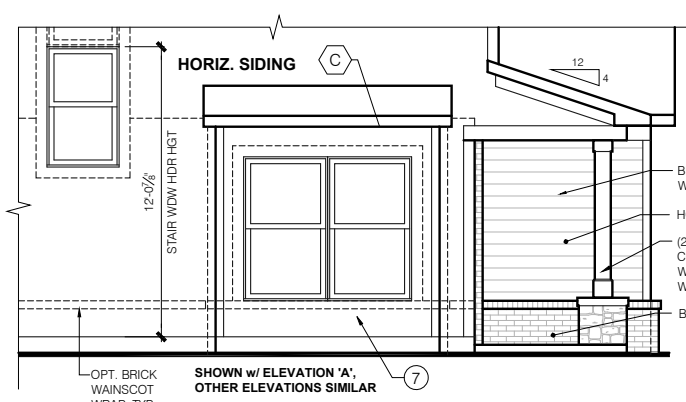
ELEVATION "E" ARTISAN SIDE ELEVATION

SCALE: 1/4" = 1'-0"



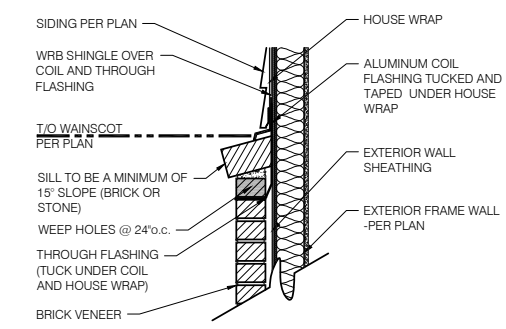
OPT REAR FIREPLACE SIDE ELEVATION

SCALE: 1/4" = 1'-0"



OPT FLEX SIDE BAY SIDE ELEVATION

SCALE: 1/4" = 1'-0"



1 BRICK WAINSCOT DETAIL
SCALE: 1" = 1'-0"

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11x17 PRINTS ARE 1/2 SCALE

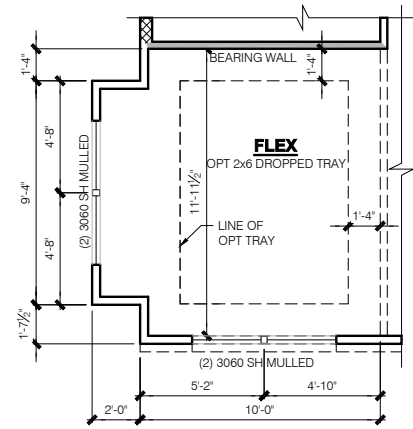
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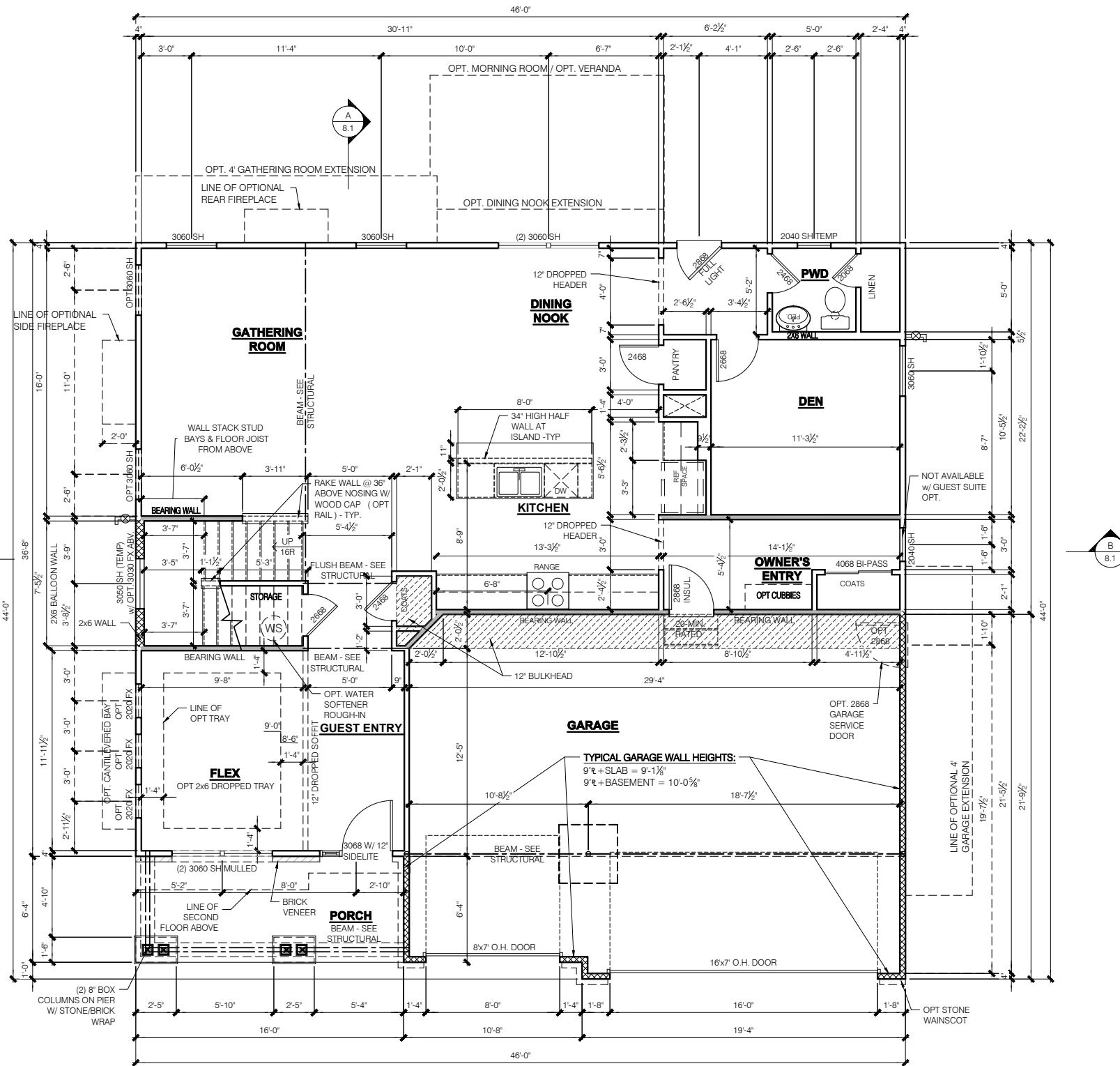
Job #:	----
LSP Date:	X/X/XX
LSP By:	BY
LSP Rev:	----
Sheet Title:	Rear and Side Elevations
Sheet:	1.1E

Issued Date: 03/29/17
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**FRAMING PLAN
OPT FLEX SIDE BAY**

SCALE: 1/4" = 1'-0"



**ELEVATION "E" ARTISAN
SLAB
FRAMING PLAN
FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"

WINDOW/DOOR FRAMING NOTE:

WINDOW AND DOOR FRAMING TO INCLUDE (1) JACK STUD AND (1) KING STUD EA. SIDE U.N.O. SEE DETAILS 1 & 2 SHEET D3.1

GARAGE DRYWALL NOTE:

ALL GARAGE /HOUSE COMMON WALLS, CEILINGS, BEAMS, COLUMNS THAT SUPPORT FLOOR-CEILING ASSEMBLY ABOVE TO HAVE 1/2" G.W.B. CEILING TO BE 1/2" TYPE "X" FIRECODE DRYWALL BELOW HABITABLE SPACES.

TYPICAL STUD WALL SIZES PER LOCATION:

- EXTERIOR WALLS AT CONDITIONED SPACES ARE 2x6's W/ 1/2" NOMINAL SHEATHING U.N.O. (4) STUDS @ 16" O.C. U.N.O.
- GARAGE/HOUSE COMMON WALLS ARE 2x6's U.N.O. (5/2) STUDS @ 24" O.C. U.N.O.
- GARAGE EXTERIOR WALLS ARE 2x6's W/ 1/2" NOMINAL SHEATHING U.N.O. (4) STUDS @ 16" O.C.
- WALLS ADJACENT TO ATTIC SPACES ARE 2x4's W/ 1/2" NOMINAL SHEATHING U.N.O. (6) STUDS @ 16" O.C. U.N.O.
- INTERIOR WALLS ARE 2x4's U.N.O. (3/2)

EXTERIOR WALLS ARE SHOWN WITH 1/2" NOMINAL SHEATHING WHICH IS HELD FLUSH WITH THE OUTSIDE OF THE FOUNDATION

- NOTE:**
- INDICATES WALL HEIGHTS LOWER THAN STANDARD HEIGHT - AS NOTED
 - INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT - AS NOTED
 - INDICATES SLOPED WALLS - AS NOTED
 - INDICATES INTERIOR LOAD BEARING WALLS, FRAME 16" O.C. (2x4), 24" O.C. (2x6) W/ DBL. TOP PLATE
 - ALL OTHER WALLS ARE 9'-1 1/8" HIGH
 - ALL STRUCTURAL HEADERS ARE (2) 2x6 - UNLESS NOTED OTHERWISE
 - ALL POINT LOADS TO BE BLOCKED SOLID TO FINAL SUPPORT MEMBER OR FOUNDATION.
 - STAIRS FROM 1st TO 2nd FLOOR ARE TO BE 16 RISERS
 - - INDICATES (3) JACK STUDS TYP. UNLESS NOTED (#2, SPF)
 - - INDICATES QUANTITY OF NON-STD. STUDS (#2, SPF)
 - - INDICATES QUANTITY OF RIPPED LVL (2650 Fd-1.9E) or PSL STUDS, WIDE BY WALL THICKNESS

GARAGE FINISH:
1/2" DRYWALL WARM WALLS AND CEILING (UNFINISHED)

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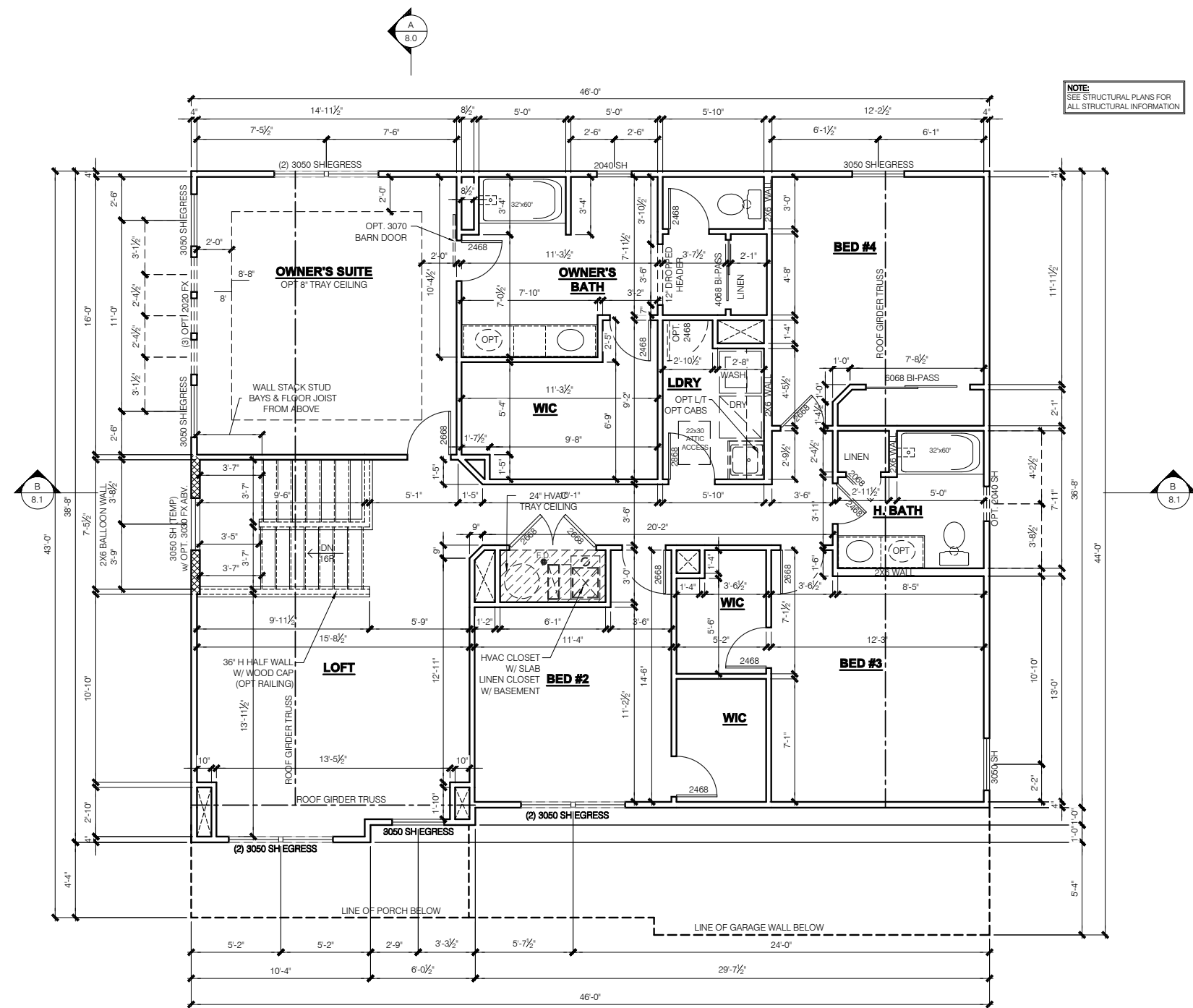
11x17 PRINTS ARE 1/2" SCALE

Job #: ---
LSP Date: X/XX
LSP By: BY
LSP Rev: ---
Sheet Title:

1st Floor Plan - Slab

Sheet:

4.0E



NOTE:
SEE STRUCTURAL PLANS FOR
ALL STRUCTURAL INFORMATION

NOTE:

- INDICATES WALL HEIGHTS LOWER THAN STANDARD HEIGHT- AS NOTED
- INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT- AS NOTED
- INDICATES SLOPED WALLS - AS NOTED
- INDICATES INTERIOR LOAD BEARING WALLS, FRAME 16" O.C. (2x4), 24" O.C. (2x6) W/ DBL. TOP PLATE
- ALL OTHER WALLS ARE 9'-1 1/8" HIGH
- ALL STRUCTURAL HEADERS ARE (2) 2x6 - UNLESS NOTED OTHERWISE
- ALL POINT LOADS TO BE BLOCKED SOLID TO FINAL SUPPORT MEMBER OR FOUNDATION.
- STAIRS FROM 1st TO 2nd FLOOR ARE TO BE 16 RISERS
- - INDICATES (3) JACK STUDS TYP. UNLESS NOTED (#2, SPF)
- # - INDICATES QUANTITY OF NON-STD. STUDS (#2 SPF)
- #/# - INDICATES QUANTITY OF RIPPED LVL (2650 Fd-1.9E) or PSL STUDS, WIDE BY WALL THICKNESS

**ELEVATION "E" ARTISAN
FRAMING PLAN
SECOND FLOOR PLAN**

SCALE: 1/4" = 1'-0"

GARAGE FINISH:
3/4" DRYWALL WARM WALLS
AND CEILING (UNFINISHED)

TYPICAL STUD WALL SIZES PER LOCATION:

- EXTERIOR WALLS AT CONDITIONED SPACES ARE 2x6's W/ 1/2" NOMINAL SHEATHING U.N.O. (4) **STUDS @ 16" O.C. U.N.O.**
- GARAGE/HOUSE COMMON WALLS ARE 2x6's U.N.O. (5/2") **STUDS @ 24" O.C. U.N.O.**
- GARAGE EXTERIOR WALLS ARE 2x6's W/ 1/2" NOMINAL SHEATHING U.N.O. (4) **STUDS @ 16" O.C.**
- WALLS ADJACENT TO ATTIC SPACES ARE 2x4's W/ 1/2" NOMINAL SHEATHING U.N.O. (6) **STUDS @ 16" O.C. U.N.O.**
- INTERIOR WALLS ARE 2x4's U.N.O. (3/2")

EXTERIOR WALLS ARE SHOWN WITH 1/2" NOMINAL SHEATHING WHICH IS HELD FLUSH WITH THE OUTSIDE OF THE FOUNDATION

WINDOW/DOOR FRAMING NOTE:
WINDOW AND DOOR FRAMING TO INCLUDE (1) JACK STUD AND (1) KING STUD EA. SIDE U.N.O.
SEE DETAILS 1 & 2 SHEET D3.1

GARAGE DRYWALL NOTE:
ALL GARAGE /HOUSE COMMON WALLS, CEILINGS, BEAMS, COLUMNS THAT SUPPORT FLOOR-CEILING ASSEMBLY ABOVE TO HAVE 1/2" G.W.B. CEILING TO BE 3/4" TYPE "X" FIRECODE DRYWALL BELOW HABITABLE SPACES.

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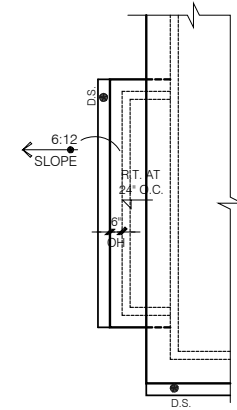
11x17 PRINTS ARE 1/2" SCALE

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LSP Date: X/XX/XX
LSP By: BY
LSP Rev: ----
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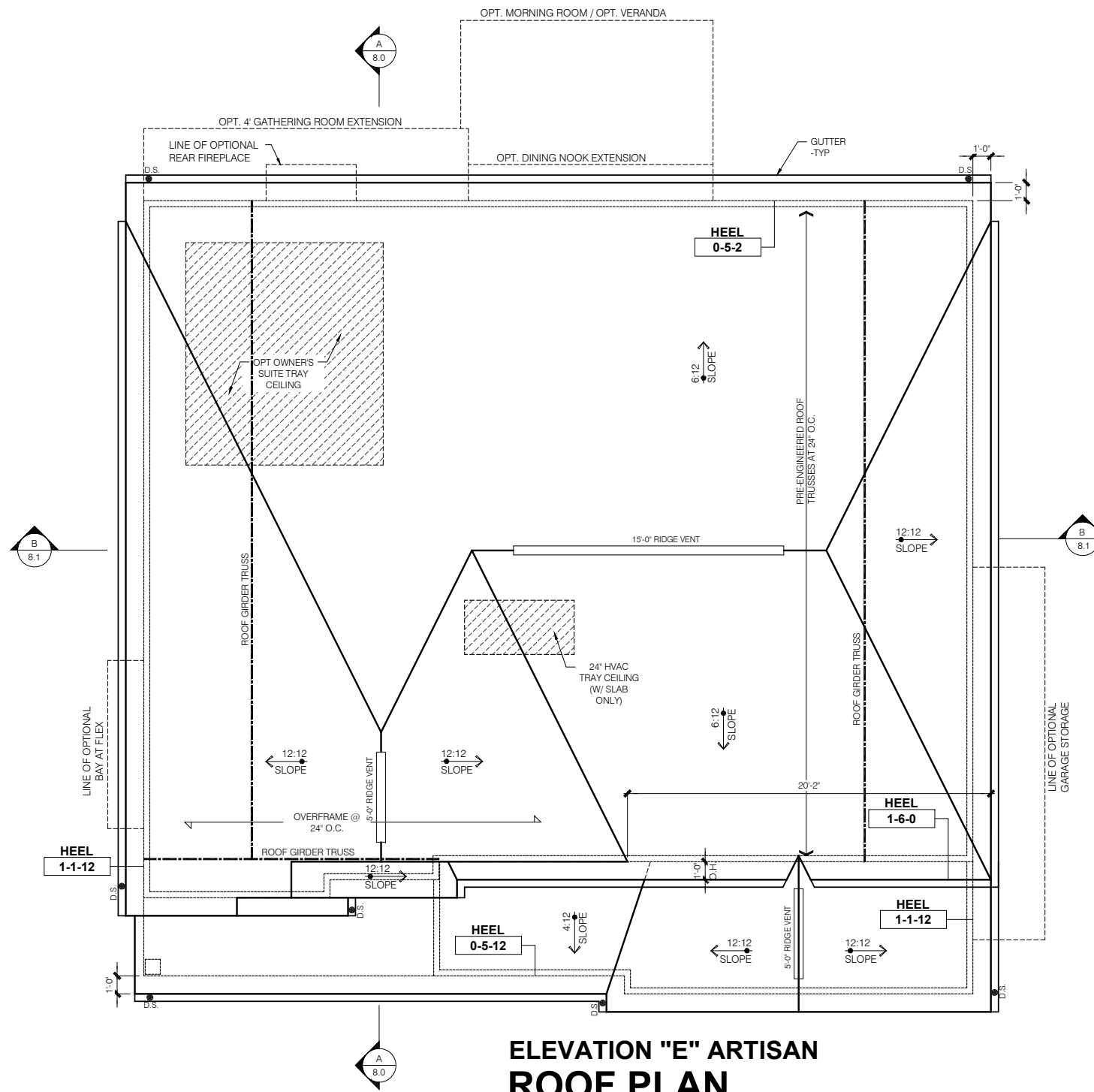
2nd Floor Plan

Sheet:
6.0E



FLEX SIDE BAY

SCALE: 1/4" = 1'-0"



**ELEVATION "E" ARTISAN
ROOF PLAN**

SCALE: 1/4" = 1'-0"

ROOF FRAMING NOTES

1. THIS LAYOUT REPRESENTS DESIGN INTENT ONLY. SUPPLIER IS TO PROVIDE FINAL TRUSS LAYOUT AND ENGINEERED DRAWINGS FOR APPROVAL OF **M/I HOMES**.
2. TRUSS DRAWINGS STAMPED BY AN ENGINEER REGISTERED WITH THE STATE OF PERMIT, ALONG WITH LAYOUT SHEET, TO BE PROVIDED TO THE BUILDING INSPECTOR FOR FRAMING INSPECTION.
3. ALL TRUSS CONNECTIONS TO BE PROVIDED BY THE TRUSS MANUFACTURER.
4. 1" JOIST RAFTER DESIGN BASED ON LPI 20PLUS (1.5E) I-JOISTS BY LOUISIANA PACIFIC U.N.O.
5. ALL ROOF TRUSSES AND RAFTERS ARE TO BE CONNECTED TO DOUBLE TOP PLATE W/ A MINIMUM OF (1) H2.5A BY SIMPSON OR EQUAL U.N.O.
6. GIRDER TRUSSES ARE TO HAVE HOLD DOWNS TO RESIST THE REQUIRED UPLIFT AS SHOWN ON TRUSS MANUFACTURER'S DRAWINGS.
7. ALL DIMENSIONAL LUMBER TO BE SYP #2 OR BETTER UNLESS NOTED OTHERWISE.

PRESTIGE SERIES

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2	---
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11x17 PRINTS ARE 1/2 SCALE

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LSP Rev:	---
Sheet Title:	Roof Plan - Base Roof

Sheet:

7.0E