



PLANNING

**CITY OF NOBLESVILLE  
BOARD OF ZONING APPEALS  
VARIANCE OF DEVELOPMENT STANDARDS APPLICATION**

Application Number: BZNA 0182-2022

The undersigned requests a Variance of Development Standards as specified below. Should this variance request be approved, such approval shall only authorize the particular use described in this application and as further limited by reasonable conditions imposed upon such approval by the Board of Zoning Appeals.

Project Name or Occupant Name: Gina + James Chiani  
Common Address: 8802 E. 206<sup>th</sup> St. Noblesville 46060

Applicant Name: Gina + James Chiani  
Applicant Address: 8802 E. 206<sup>th</sup> St.

Applicant City/State/Zip: Noblesville, IN 46060 E-mail: gina.chiani@eng-answers.com  
Applicant Phone #1: 317-650-8978 Phone #2: 317-650-0001 Fax: \_\_\_\_\_  
*Gina Jim*

Owner Name: GMC Holdings, LLC  
Owner Address: 842 Dorchester Dr.

Owner City/State/Zip: Noblesville, IN 46062 E-mail: \_\_\_\_\_  
Owner Phone #1: 317-650-8978 Phone #2: 317-650-0001 Fax: \_\_\_\_\_  
*Gina Jim*

Property Location:  Not located in a recorded subdivision, see legal description attached.

Subdivision Name: \_\_\_\_\_

Subdivision Section: \_\_\_\_\_ Lot Number: \_\_\_\_\_ Last Deed of Record Number: \_\_\_\_\_

Existing Land Use: residential

Common Description of Request: front setback

Zoning District of Property: \_\_\_\_\_ Code Section(s) Appealed: UDO § \_\_\_\_\_

Date: 9/1/22 Applicant's Signature: Gina M. Chiani

The Noblesville Board of Zoning Appeals (BZA) is authorized to approve or deny Variances of Development Standards from the terms of the Unified Development Ordinance. The BZA may impose reasonable conditions as part of its approval. A Variance of Development Standards may be approved only upon a determination in writing that the following three (3) statements are true (see Indiana Code § 36-7-4-918.5):

1. The approval will not be injurious to the public health, safety, morals, and general welfare of the community. Explain why this statement is true in this case:

*True - We are adding a covered front deck to improve entrance to the front door.*

2. The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner by the approval of this variance request. Explain why this statement is true in this case:

*True - The addition of a covered front deck will be a functional and visual improvement to this property and those around it.*

3. The strict application of the terms of the zoning ordinance will result in practical difficulties in the use of the subject property. Explain why this statement is true in this case:

*True - Currently, the front door is not easy to access, making it unusable.*

## **Narrative Statement**

Our property is a 122-year-old farmhouse on 1.8 acres. The house faces 206<sup>th</sup> street to the south and SR-19 to the west. The property is bordered by farmland to the north and another home long distance to the east.

The front of the house includes a 6x8 entry enclosure with a flat roof which leaks. The enclosure includes a door that leads down 3 uneven concrete steps and opens on to the grass. The enclosure is not climate controlled, hides the front door and has no utility. It may not be structurally sound due to years of water leakage.

There is no walkway to the front entrance and visitors are often confused about where to enter the house. Today, visitors pull into the driveway and must walk across the grass to reach the front enclosure.

Additionally, the front of the house includes old fashioned steel cellar doors. As time has passed, an inside entry to the cellar was built and this outside cellar entrance was blocked off. Therefore, the exterior cellar doors serve no purpose and date the house.

Overall, the front entrance of the house is not useful and unappealing.

We want to create an improved front entry to the house that is both useful and appealing. We have contracted with Tim Nichols and Sons Construction to demolish the front entry enclosure and uneven concrete steps, remove the cellar doors, fill the resulting hole and replace all of it with a covered wooden deck porch.

## **Answers to the (3) statements provided by the Noblesville Board of Zoning Appeals (BZA)**

### **1.**

The proposed covered wooden deck porch will improve overall safety. The deck level is lower than the current enclosed front entry. The concrete path and wide wooden steps will improve safety for us and visitors, compared to walking across the grass.

### **2.**

The property is bordered by 206<sup>th</sup> street to the south and SR-19 to the west. These roadways will be unaffected by the proposed covered wooden deck porch. It will be further away from SR-19 than the house itself. Currently, the front wall of our house is 52 ft. away from the edge of 206<sup>th</sup> Street. Including steps, the proposed covered wooden deck porch will extend about the same distance from the outside front wall of the house as the existing 6x8 enclosure.

Neighbors and the Noblesville community will benefit from the improved front appearance of the house.

### **3.**

The current plan is to have a covered wooden deck porch that extends 8 ft. from the front wall of the house. Strict application of the terms of the zoning ordinance would make our covered front deck porch very shallow and less usable. Lack of a concrete pathway to the front door diminishes utility and reduces overall safety.

### PROJECT INFO

**HOME OWNER:** GMC HOLDINGS LLC

**PROJECT ADDRESS:** 8802 E 206 ST.  
NOBLESVILLE, IN 46060

**BUILDING AREA:** EXISTING: 1327 SQ. FT.  
NEW: 192 SQ. FT.

**SITE STATISTICS:**

LOT SIZE: 1.1 ACRES  
ANTICIPATED DISTURBED AREA: 300 SQ. FT.  
BUILDING FOOTPRINT: 2,000 SQ. FT.

### SITE NOTES

**SOIL TYPE:** SHALLOW AND MODERATELY DEEP, WELL-DRAINED SOIL FORMED IN MATERIAL WEATHERED FROM BASALT THAT HAS A SMALL AMOUNT OF LOESS IN THE UPPER PART OF THE PROFILE. THE PERMEABILITY IS ESTIMATED TO BE MODERATE.

**SOIL DENSITY:** \*2,000 PBF ALLOWABLE (ASSUMED) TO BE DETERMINED AT TIME OF EXCAVATION.  
**FROST DEPTH:** \*3'-0"  
**SEISMIC ZONE:** A  
**WIND:** 90 MPH (90 MPH 3 SEC GUST), EXPOSURE C.

**SITE PLAN NOTES:**  
SITE SURVEY TO BE COMPLETED TO VERIFY PIN LOCATIONS AND HOME LOCATION PRIOR TO EXCAVATION.  
CALL BEFORE YOU DIG: 800.428.4950

**EROSION CONTROL NOTES:**  
INSTALL SILT FENCE PRIOR TO ANY EXCAVATION OR CONSTRUCTION.  
MINIMIZE SITE DISTURBANCE BY TIGHT CONTROL OF EXCAVATION LIMITS.  
ALL EXPOSED SOIL SHALL BE MULCHED WITH STRAW OR WOOD CHIPS TO MINIMIZE SOIL EROSION. NO SOIL SHALL BE LEFT IN AN EXPOSED CONDITION. IT IS RECOMMENDED THAT THE CONTRACTOR MAINTAIN A STOCK PILE OF THIS MATERIAL ON SITE FOR QUICK APPLICATION.  
HYDROSEED WITH A WOOD CELLULOSE FIBER MULCH APPLIED AT A RATE OF 2,000#/ACRE. USE AN ORGANIC TACKIFIER AT NO LESS THAN 150#/ACRE OR PER MANUFACTURER'S RECOMMENDATION. IF HIGHER APPLICATION OF TACKIFIER SHALL BE HEAVIER AT EDGES, IN VALLEYS AND AT CRESTS OF BANKS AND OTHER AREAS WHERE SEED CAN BE MOVED BY WIND OR WATER.  
DISPERSTION TRENCHES SHALL OVERFLOW ONTO NATIVE UNDISTURBED GROUND. NO SITE DISTURBANCE BELOW TRENCHES.

**GRADING NOTES:**  
CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES.  
PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.  
FINAL GRADE TO CONVEY SURFACE DRAINAGE TOWARD ROCK CHANNELS AND DISPERSION TRENCHES.  
AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL AND STRIPPED OF TOPSOIL.  
PLACE ALL SLOPES WITH A GRADIENT STEEPER THAN 3:1 IN LIFTS NOT TO EXCEED 8 INCHES, AND MAKE SURE EACH LIFT IS PROPERLY COMPACTED.

### PUBLIC UTILITIES

GAS	_____	G	_____
WATER	_____	W	_____
ELECTRICITY	_____	P	_____
SANITARY SEWER	_____	S	_____

### MUNICIPALITY

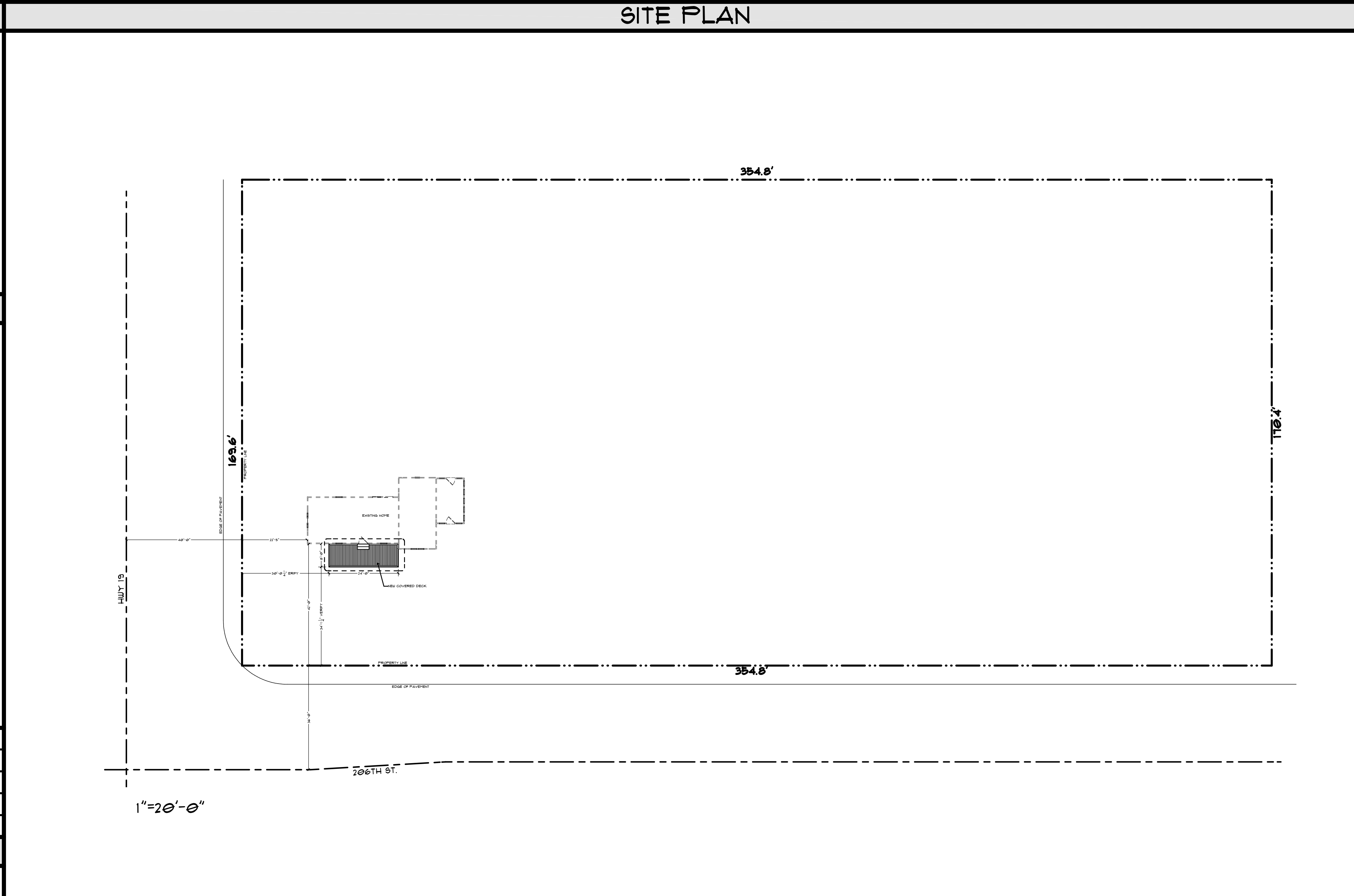
CITY OF NOBLESVILLE  
BUILDING & PLANNING  
16 S 10TH ST  
NOBLESVILLE, IN 46060

CALEB GUTSHALL, DIRECTOR  
PLANDPT@NOBLESVILLE.IN.US  
PH# 317.116.6325

### CODE INFO

**OCCUPANCY:** RESIDENTIAL R-1  
**CONSTRUCTION TYPE:** V-B  
**LOT SIZE:** 1.1 ACRES  
**BUILDING FOOTPRINT:** 2,000 SFT

**APPLICABLE CODE:**  
2020 INDIANA RESIDENTIAL CODE - (2018 IRC W/ AMENDMENTS)  
1999 INDIANA PLUMBING CODE  
2008 INDIANA MECH CODE  
2005 INDIANA ELECTRICAL CODE  
2008 INDIANA FIRE CODE



### LEGENDS

#### ABBREVIATIONS LEGEND

AB ANCHOR BOLT	MAX MAXIMUM
ABV ABOVE	MECH MECHANICAL
ADJ ADJUSTABLE	MFR MANUFACTURER
AFP ABOVE FINISHED FLOOR	MIN MINIMUM
ALUM ALUMINUM	MDS HOLDING
APPROX APPROXIMATE	MO MASONRY OPENING
BLDG BUILDING	NTS NOT TO SCALE
BLK BLOCK	OC ON CENTER
BLKG BLOCKING	OSB ORIENTED STRAND BOARD
BO BOTTOM OF	PERK PERFORATED
CJ CONTROL JOINT	FGM FLATE GLASS MIRROR
CL CENTER LINE	FL PROPERTY LINE
CLG CEILING	FLR FLOORING
CLR CLEAR	FR FOUNDATIONS
CMU CONCRETE MASONRY UNIT	FT FRESHNESS TREATED
COL COLUMN	FRM FINISH
CONC CONCRETE	FRM FINISH
CONT CONTINUOUS OR CONTINUE	FUD RM FLOOR ROOM
CPT CARPET	QTY QUANTITY
CT CERAMIC TILE	REQ REQUIRED
CU COLD WATER	REINF REINFORCED
DBL DOUBLE	REF REFRIGERATOR
DIA DIAMETER	RM ROOM
DN DIMENSION	RO ROUGH OPENING
DR DOOR	SD SMOKE DETECTOR
DS DOWN SPOUT	SFTG SQUARE FEET
DW DRAINAGE	SH SHEATHING
DRY DRYER	SHL SIMILAR
EA EACH	STD STANDARD
EJ EXPANSION JOINT	T&G TONGUE & GROOVE
ELY ELEVATION	TBS TO BE SELECTED
EQ EQUIPMENT	TEHP TEMPERED
EQIP EQUIPMENT	TOP TOP OF
EXP EXPOSED	TOB TOP OF BEAM
EXT EXTERIOR	TOF TOP OF FINISH
FD FLOOR DRAIN	TPF TOP PLATE
FIN FINISH FLOOR	TYP TYPICAL
FR FINISH	UNO UNLESS NOTED OTHERWISE
FLR FLOOR (OR FLOORING)	VB VAPOR BARRIER
FO FOUNDATION	VENT VENTILATION
FOC FACE OF	VERT VERTICAL
FOF FACE OF CONCRETE	W/ WITH
FOR FACE OF FRAMING	W/O WITHOUT
FTG FOOTING	WASH WASHER
FTK FLOOR TRIM	WUD WOOD
GD GUID	WUC WALK-IN CLOSET
GR GRID	WUD WOOD
HDR HEADER	WUP WATER PROOFING
HGT HEIGHT	WR WATER RESISTANT
HT HANDRAIL	
HWAC HEATING / VENTILATING / AIR CONDITIONING	
HU HOT WATER	
INSUL INSULATION	
INT INTERIOR	
INT INTERIOR	
JOINT INTERIOR	
JT JOINT	
LAV LAVATORY	
LVL LAMINATED VENEER LUMBER	

NOTE: IF AN ABBREVIATION IS FOUND IN THE SET OF PLANS, IS NOT LISTED ABOVE, AND THERE IS ANY QUESTION AS TO IT'S INTERPRETED MEANING, NOTIFY MARTIN DESIGN & PLANNING IMMEDIATELY.

#### PLAN & ELEVATION SYMBOLS

**WALL KEYS**

① 2x3 WOOD STUD WALLS

② 2x4 WOOD STUDS ON THE FLAT

③ 2x6 WOOD STUD WALL

**NOTES**

A SNUG - PLACE DOOR OR WINDOW SO THAT TRIM WILL BE SNUG TO WALL

C CENTER - PLACE DOOR OR WINDOW CENTERED ON WALL

B SMOKE DETECTOR

**FINISHES**

LAP/HORIZONTAL SIDING	CMU/BLOCK
SHAKES - STAGGERED	SHAKES - STRAIGHT
STONE VENEER	STUCCO
EACH TONGUE & GROOVE	BOARD & BATTEN
BRICK VENEER	EARTH
GRAVEL/STONE FILL	

**ROOF PITCH INDICATOR**

**TREE**

**REVISION**

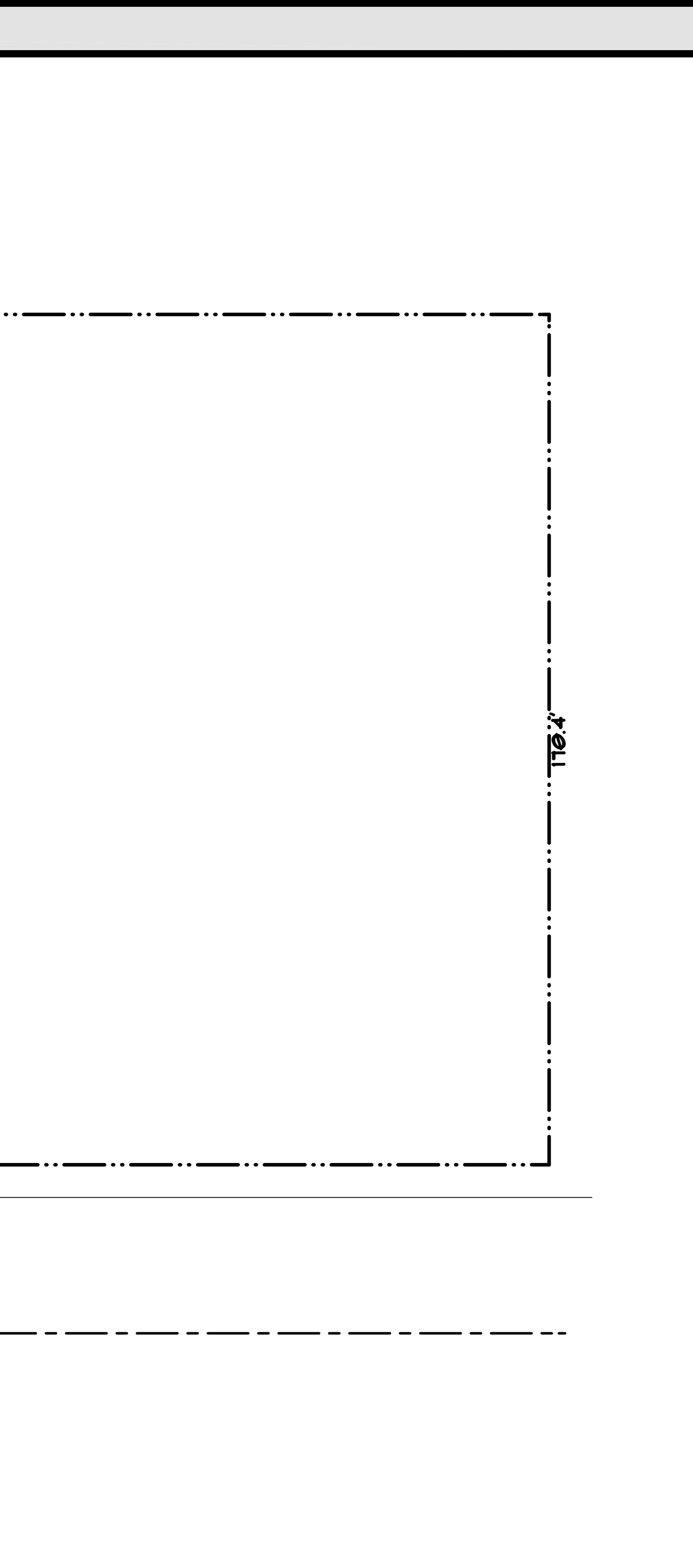
#### DETAIL & ELEVATION CALLOUTS

**DETAIL #**  
A2.2x REFERENCE SHEET #

**ELEVATION**  
1K REFERENCE SHEET #

**SECTION**  
A2.2x REFERENCE SHEET #

**DETAIL AREA BOUNDARY**



### REVISION INDEX

DATE	REVISED BY	DESCRIPTION

ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR ACCURACY BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE. THE CONTRACTOR SHALL PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL DISCREPANCIES ARE RESOLVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE. THE CONTRACTOR SHALL PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL DISCREPANCIES ARE RESOLVED.

THE FOLLOWING MODIFICATIONS ARE ALLOWED PROVIDED THEY DO NOT ALTER THE DESIGN INTENT OR STRUCTURAL INTEGRITY. DESIGN MODIFICATIONS SHALL BE MADE SPECIFIC UNDER BRING CHANGES AND REVISIONS TO THE DRAWINGS AND LAYOUT. PRIOR NETWORK CHANGES THAT DO NOT CHANGE THE PLACEMENT OF UTILITIES SHALL BE MADE BY THE CONTRACTOR AND FOUNDATION CHANGES TO ADAPT TO DIFFERENT TOPOGRAPHY.

### SHEET INDEX

G1.0	COVER PAGE
A1.0	BASEMENT LEVEL PLAN
A2.0	EXTERIOR ELEVATIONS

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PROFESSIONAL SEAL (AS REQUIRED)

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**G1.0**

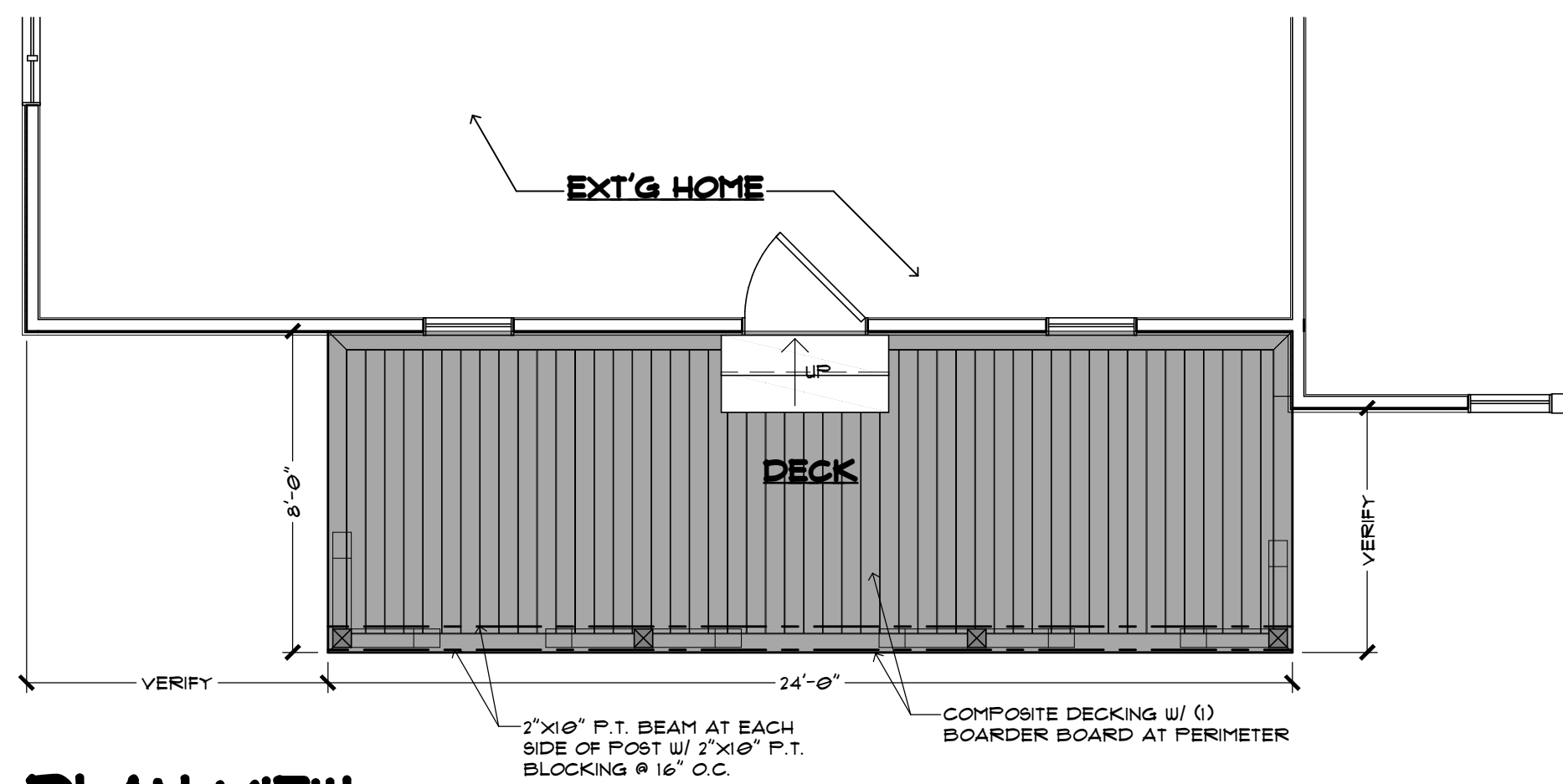
PROJECT: GMC HOLDINGS LLC  
TITLE: COVER PAGE  
DATE: 8/30/2022  
SCALE: SEE VIEW  
DRAWN BY: J.R.M.

**MARTIN DESIGN & PLANNING**  
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DESIGN - INTERIORS - CONSTRUCTION DOCUMENTS  
765.860.3367 - joycmd@gmail.com

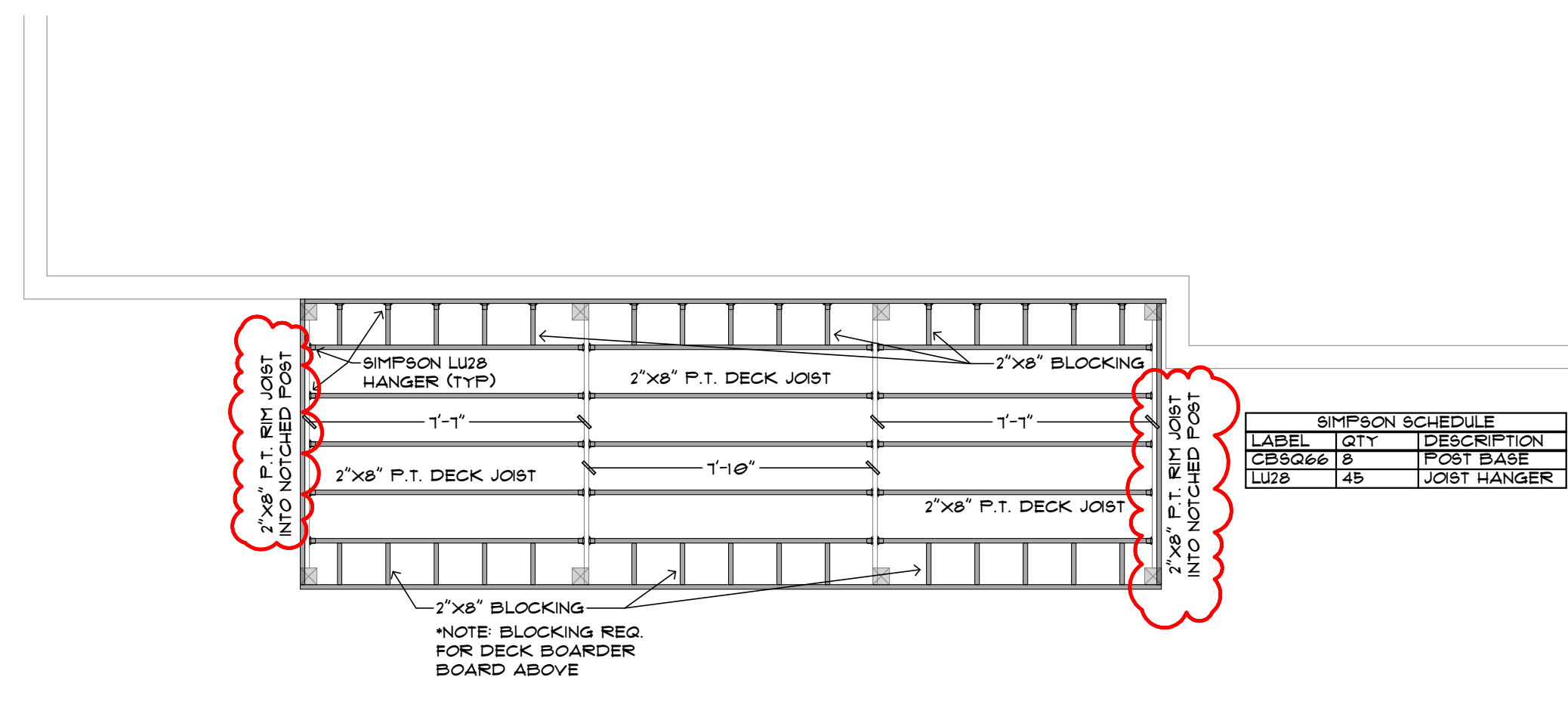
**MEMBER**  
**A | I**  
**B | D**  
AMERICAN INSTITUTE of BUILDING DESIGN

PROJECT DATA:  
PROJECT: GMC HOLDINGS LLC  
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DESCRIPTION:  
SIZE:  
FROST DEPTH:  
SEISMIC ZONE:

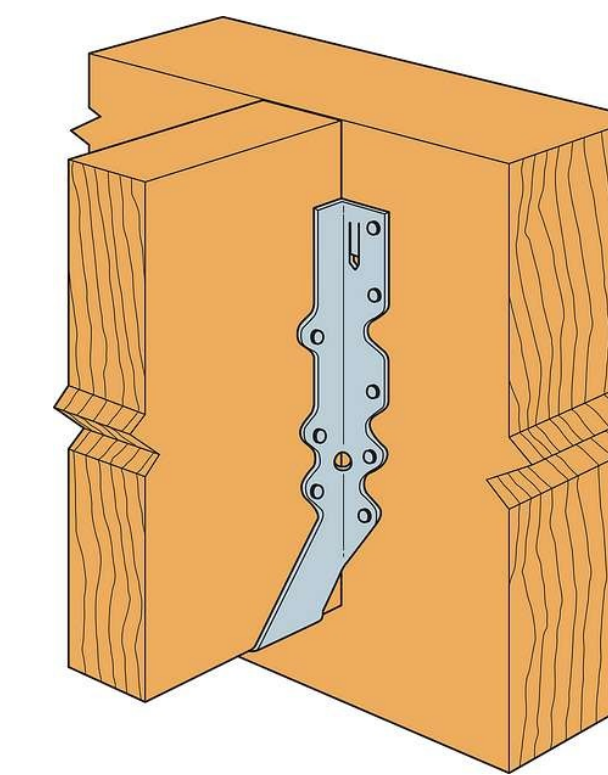
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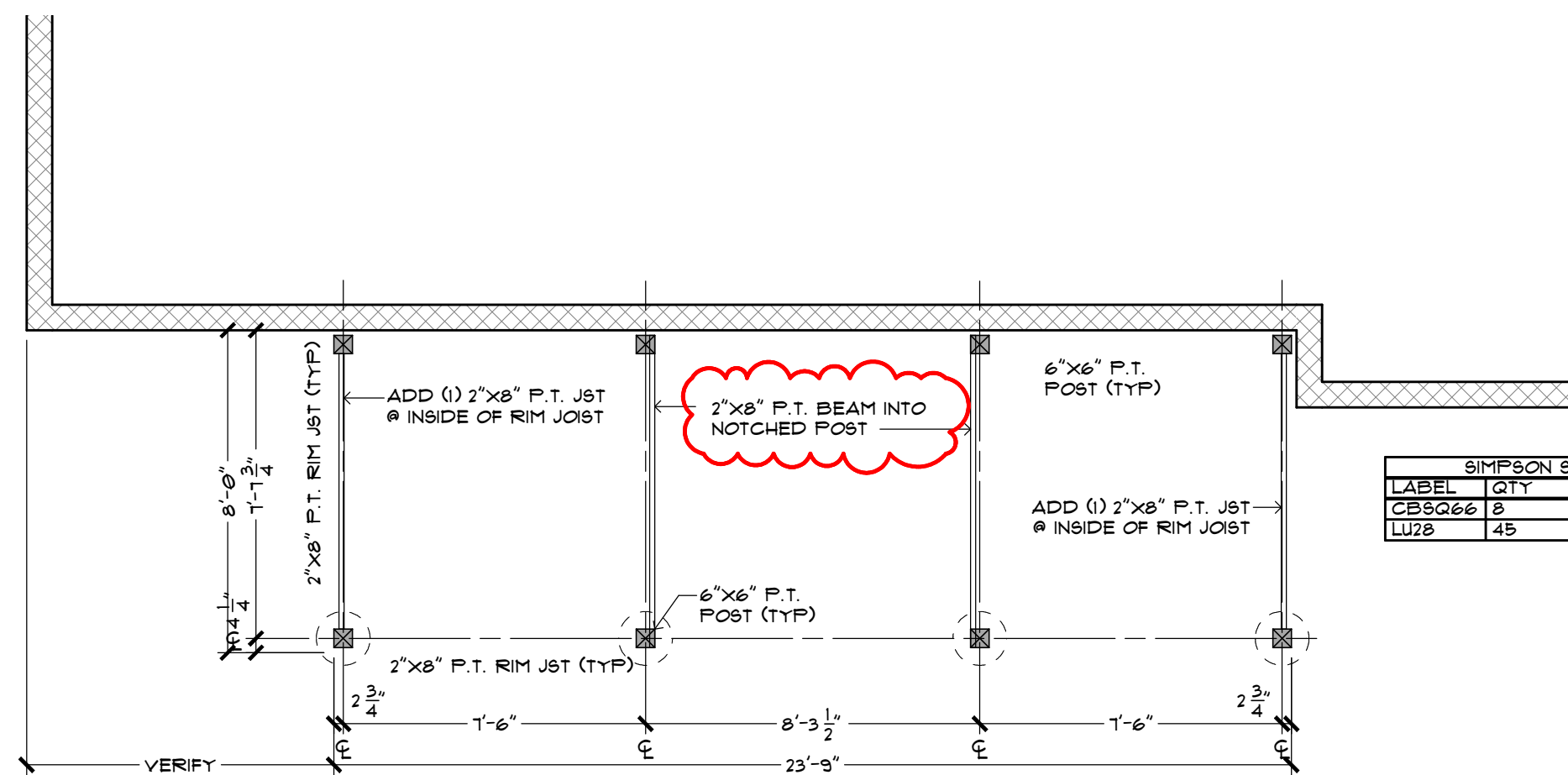
**PLAN VIEW**  
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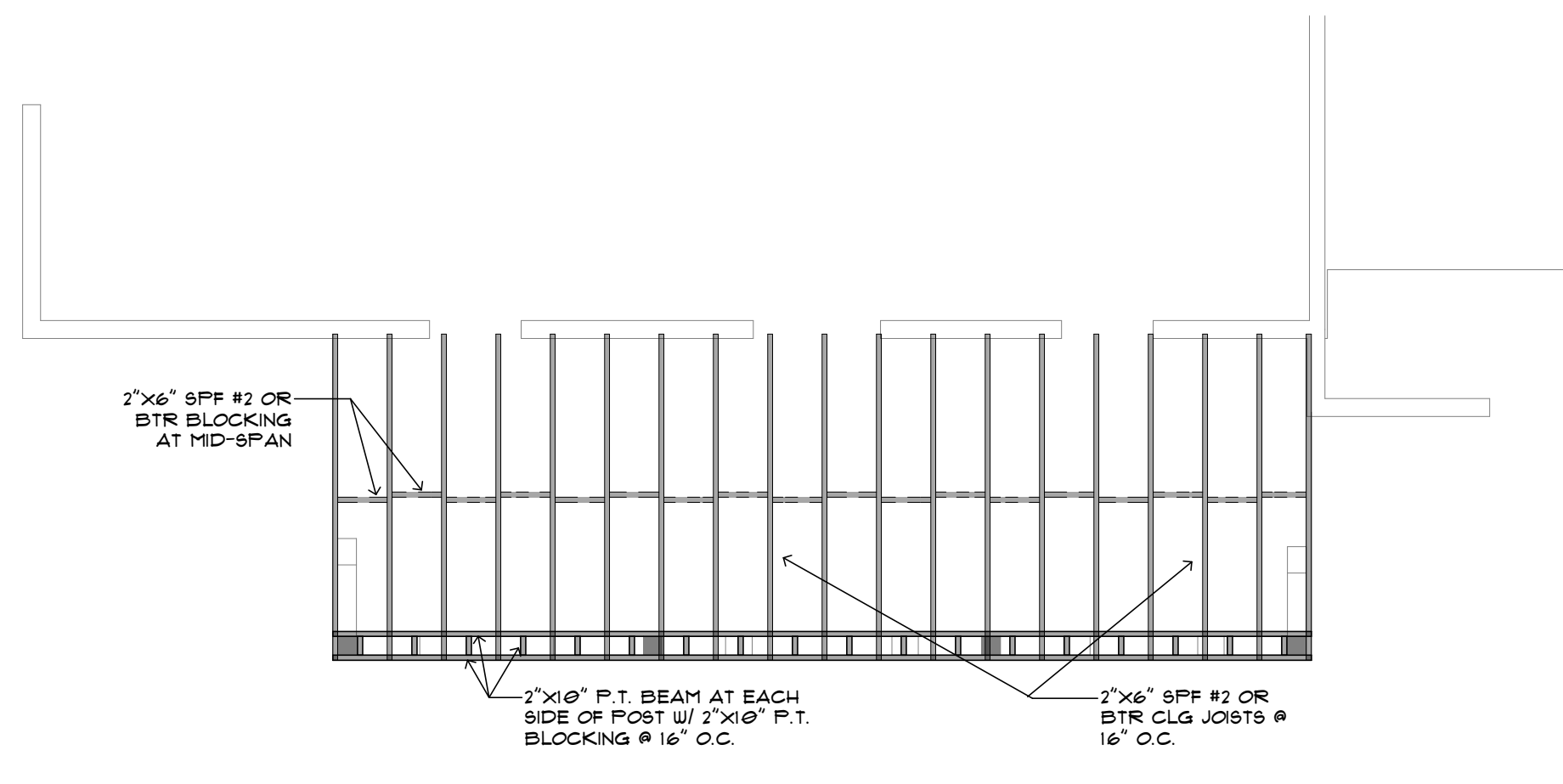
**FRAMING PLAN**  
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ALL FRAMING @ 16" O.C. U.N.O.



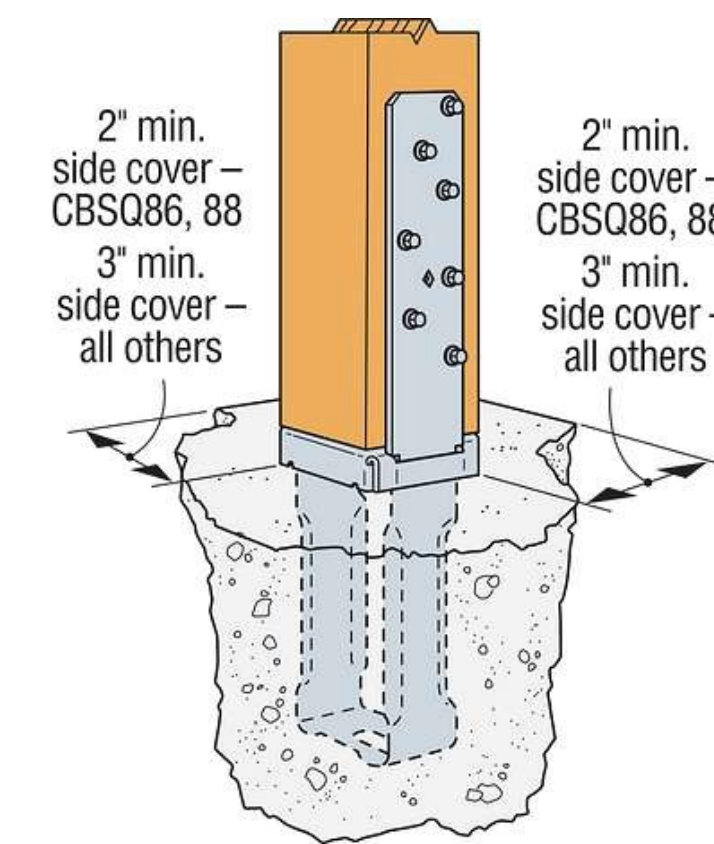
**SIMPSON LU28**  
N.T.S.



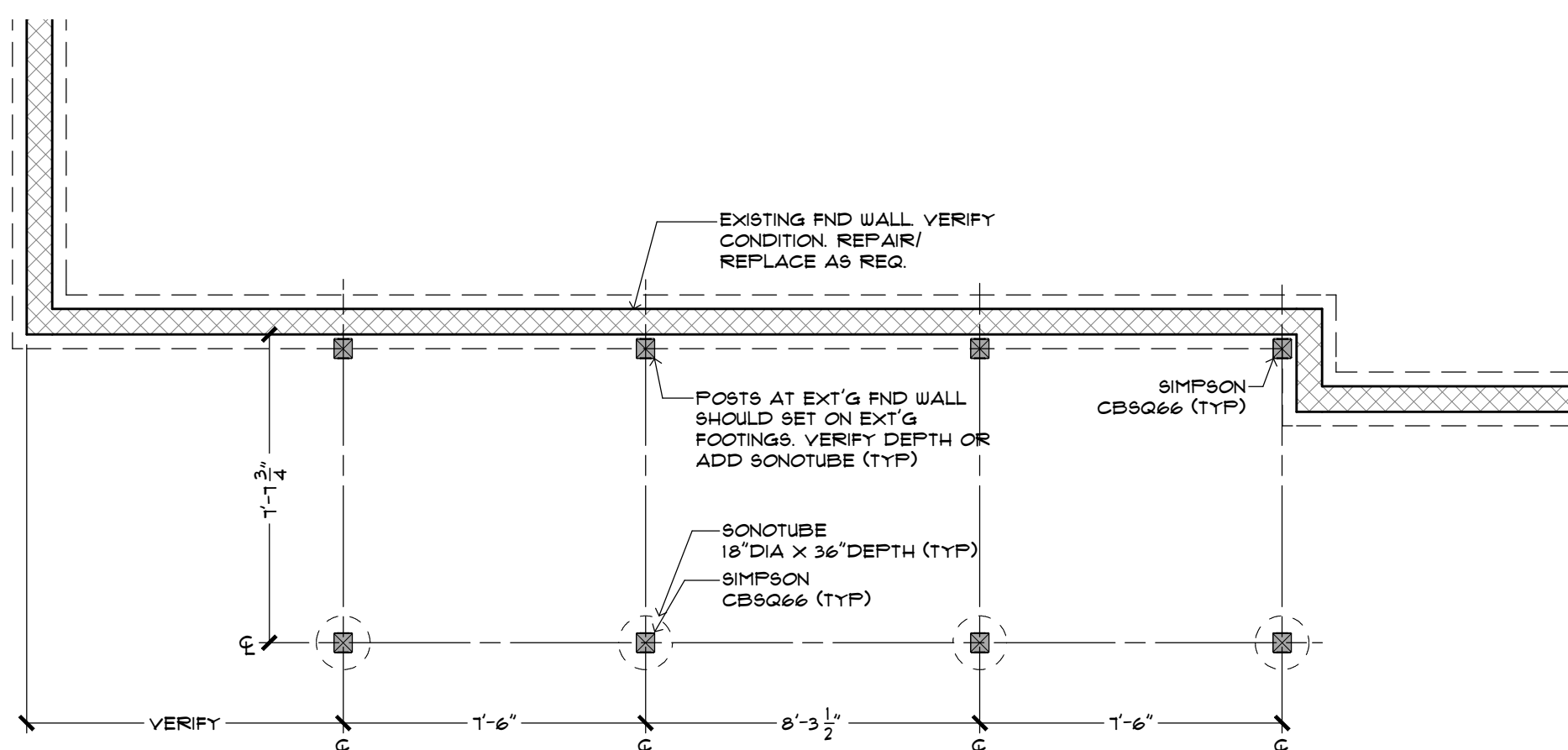
**BEAM & POST PLAN**  
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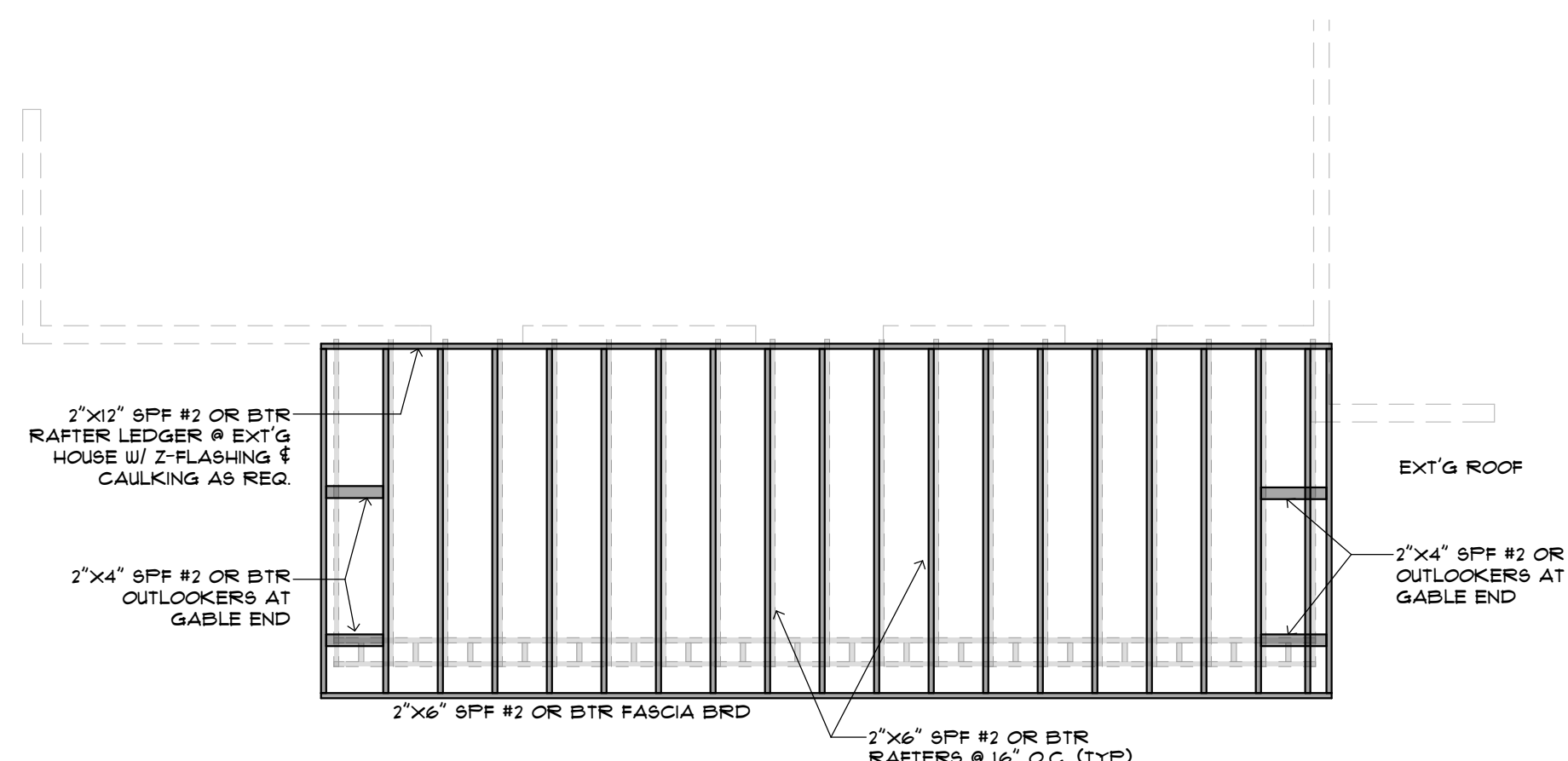
**CEILING BEAM & FRAMING PLAN**  
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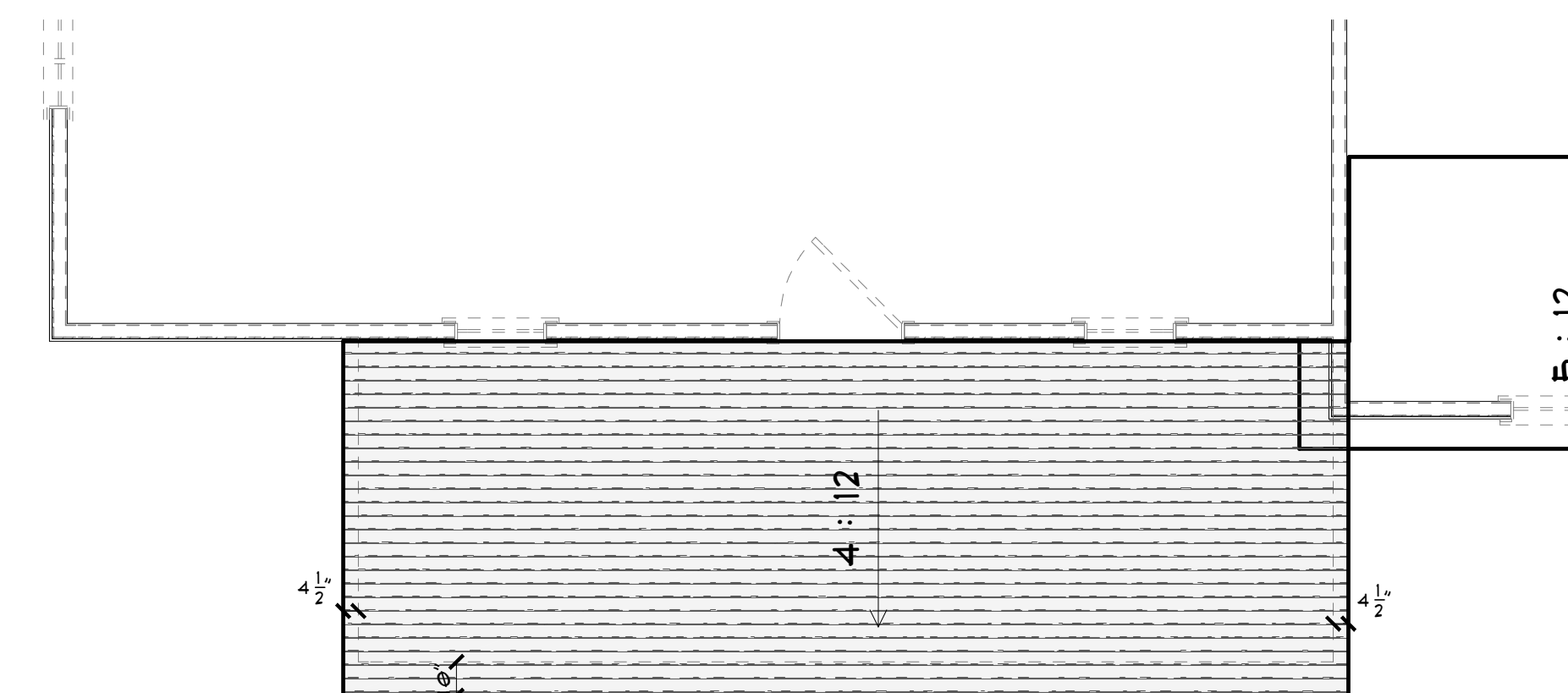
**SIMPSON CBSQ66**  
N.T.S.



**FOUNDATION PLAN**  
1/4 IN = 1 FT



**ROOF FRAMING PLAN**  
1/4 IN = 1 FT



**ROOF PLAN**  
1/4 IN = 1 FT

**A.I.®**  
PAGE:  
PROJECT: **GMC HOLDINGS LLC**  
TITLE: **BASEMENT LEVEL PLAN**  
DATE: **8/30/2022** SCALE: **SEE VIEW** DRAWN BY: **J.R.M.**

**JOEY MARTIN, AIBD**  
PRESIDENT - DESIGNER  
ELWOOD, N.J. 46636  
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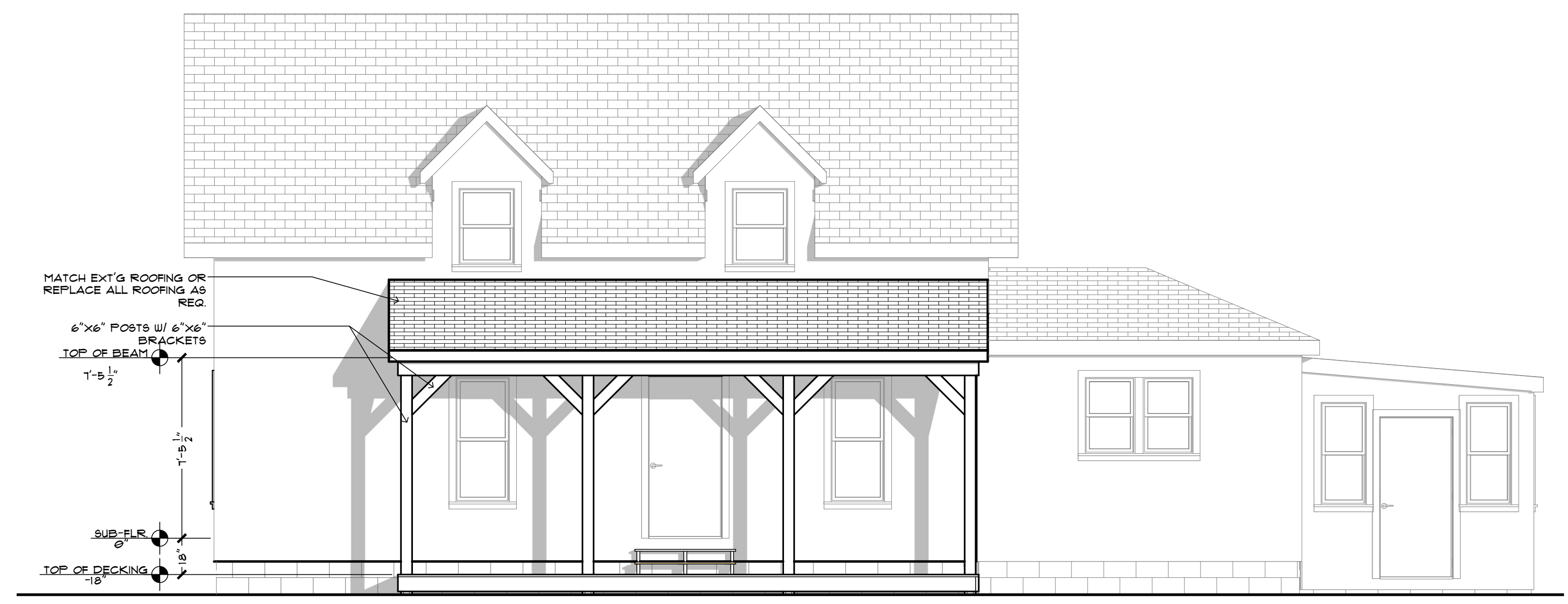
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JOB NUMBER: **0822-04**

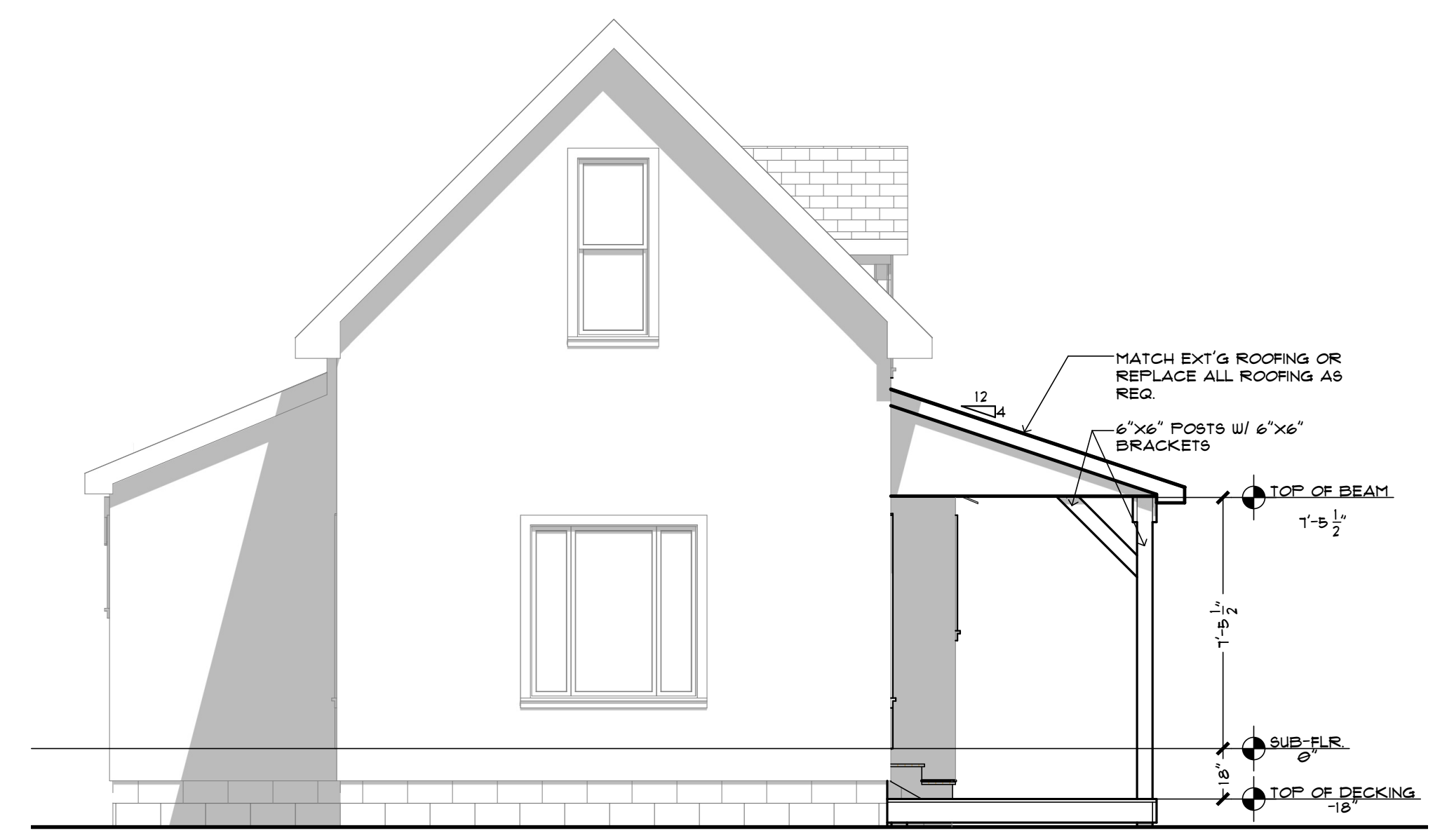
DATE	REVISION INDEX	REVISOR	DESCRIPTION
8/26/2022	JRM		BEAMS INTO NOTCHED POSTS

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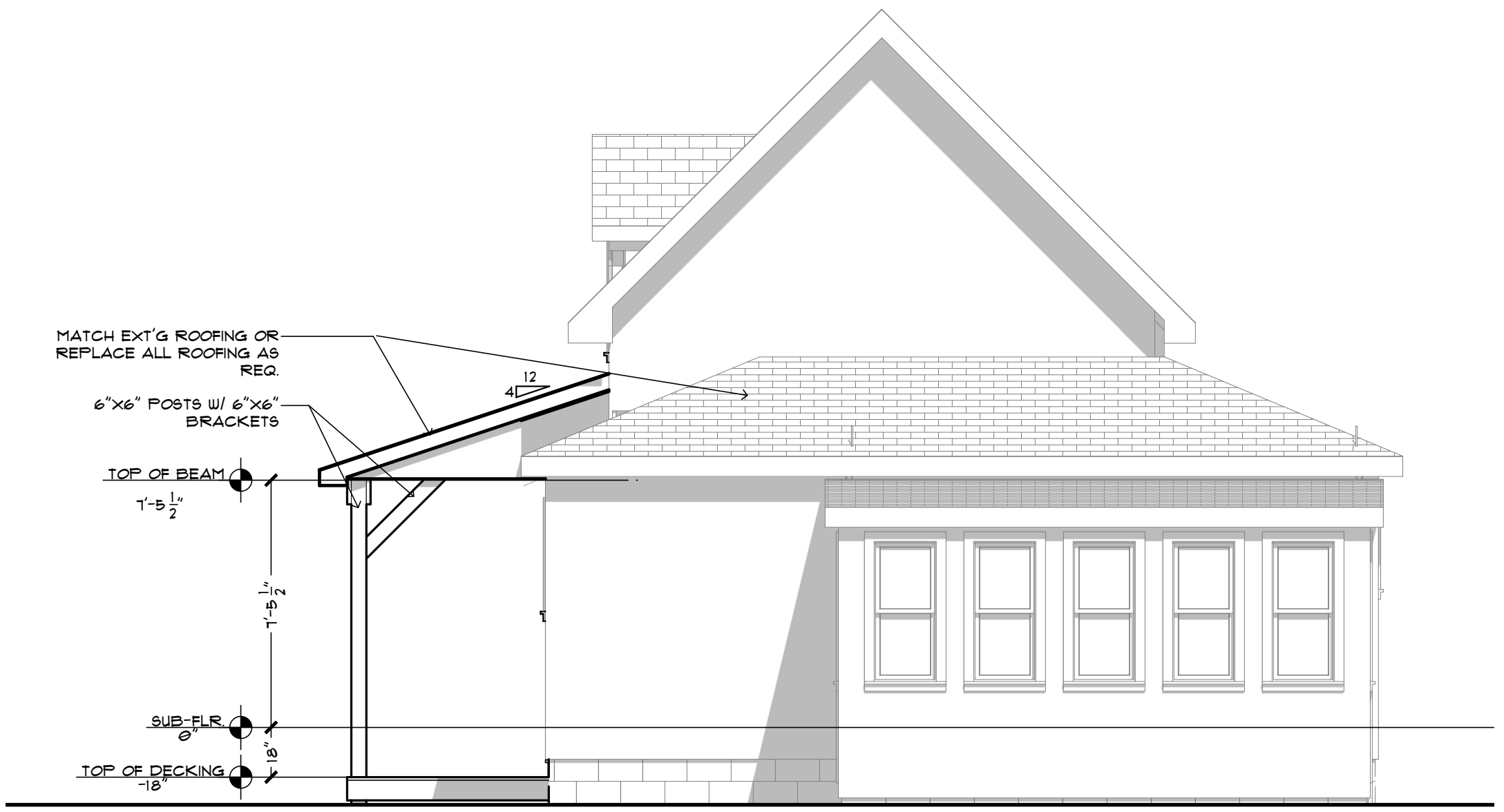
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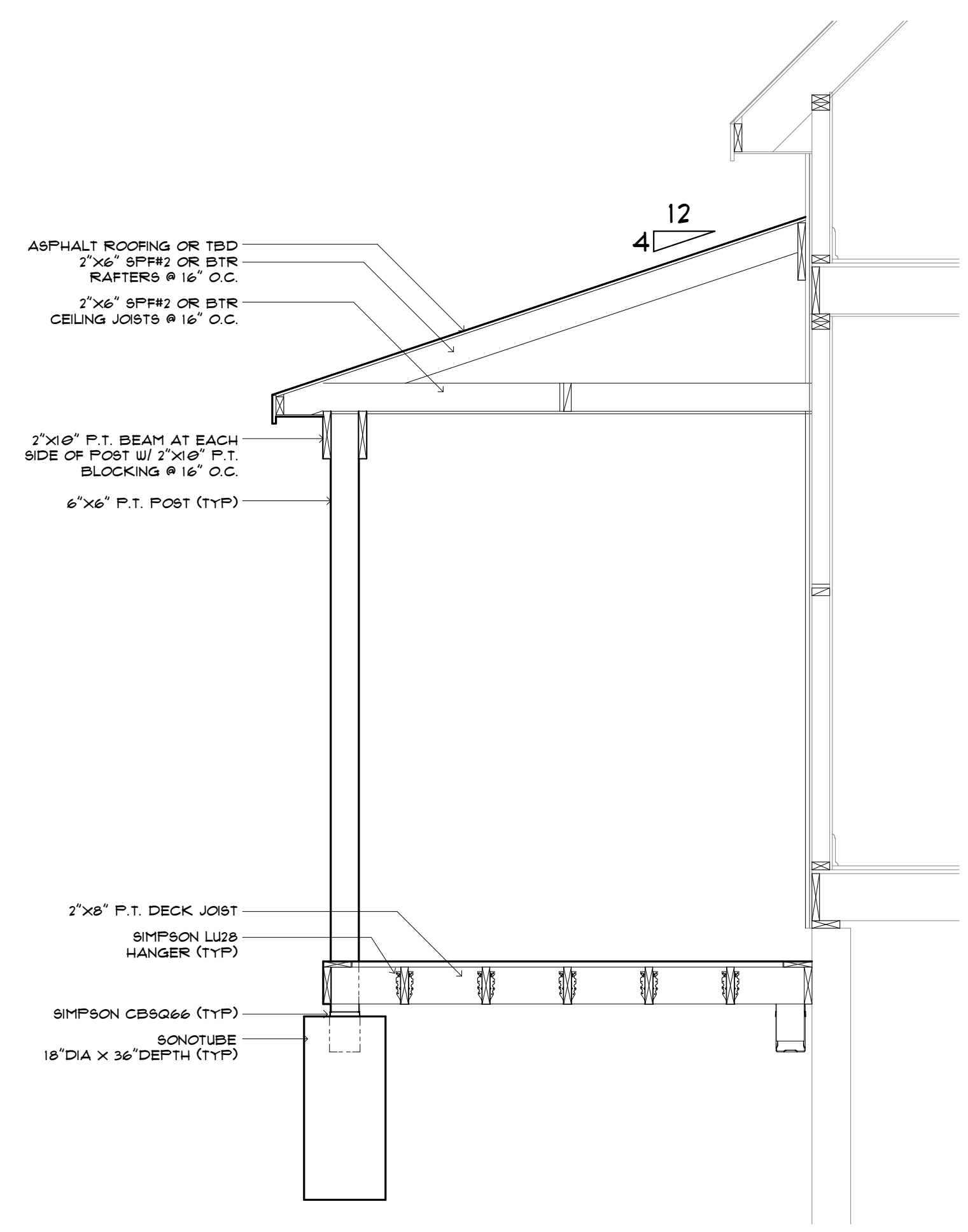
**FRONT (SOUTH) ELEVATION**  
SCALE: 1/4"=1'-0"



**LEFT (WEST) ELEVATION**  
SCALE: 1/4"=1'-0"



**RIGHT (EAST) ELEVATION**  
SCALE: 1/4"=1'-0"



**CROSS SECTION**  
SCALE: 1/2"=1'-0"