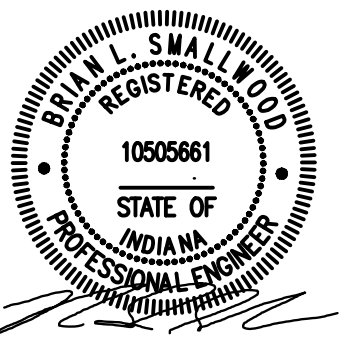


NOVO DEVELOPMENT GROUP

THE GATEWAY AT HYDE PARK PRELIMINARY DEVELOPMENT PLANS BROOKS SCHOOL ROAD, NOBLESVILLE, INDIANA 46060

WOOLPERT
ARCHITECTURE | ENGINEERING | GEOSPATIAL
333 North Alabama Street, Suite 200
Indianapolis, IN 46204
317.299.7500



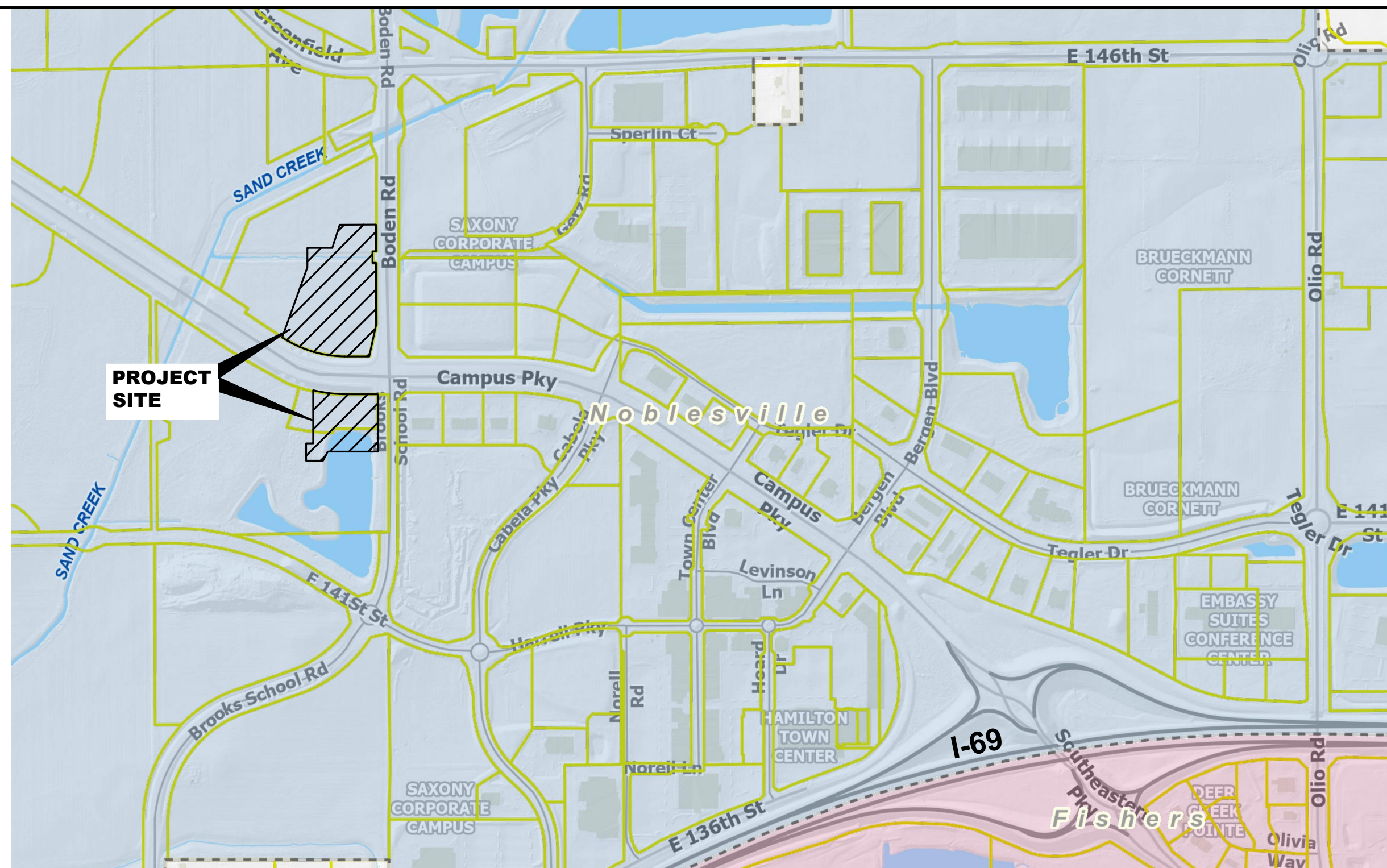
SEPTEMBER 21, 2022

PROJECT TEAM

WOOLPERT
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333 North Alabama Street
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317.299.7500

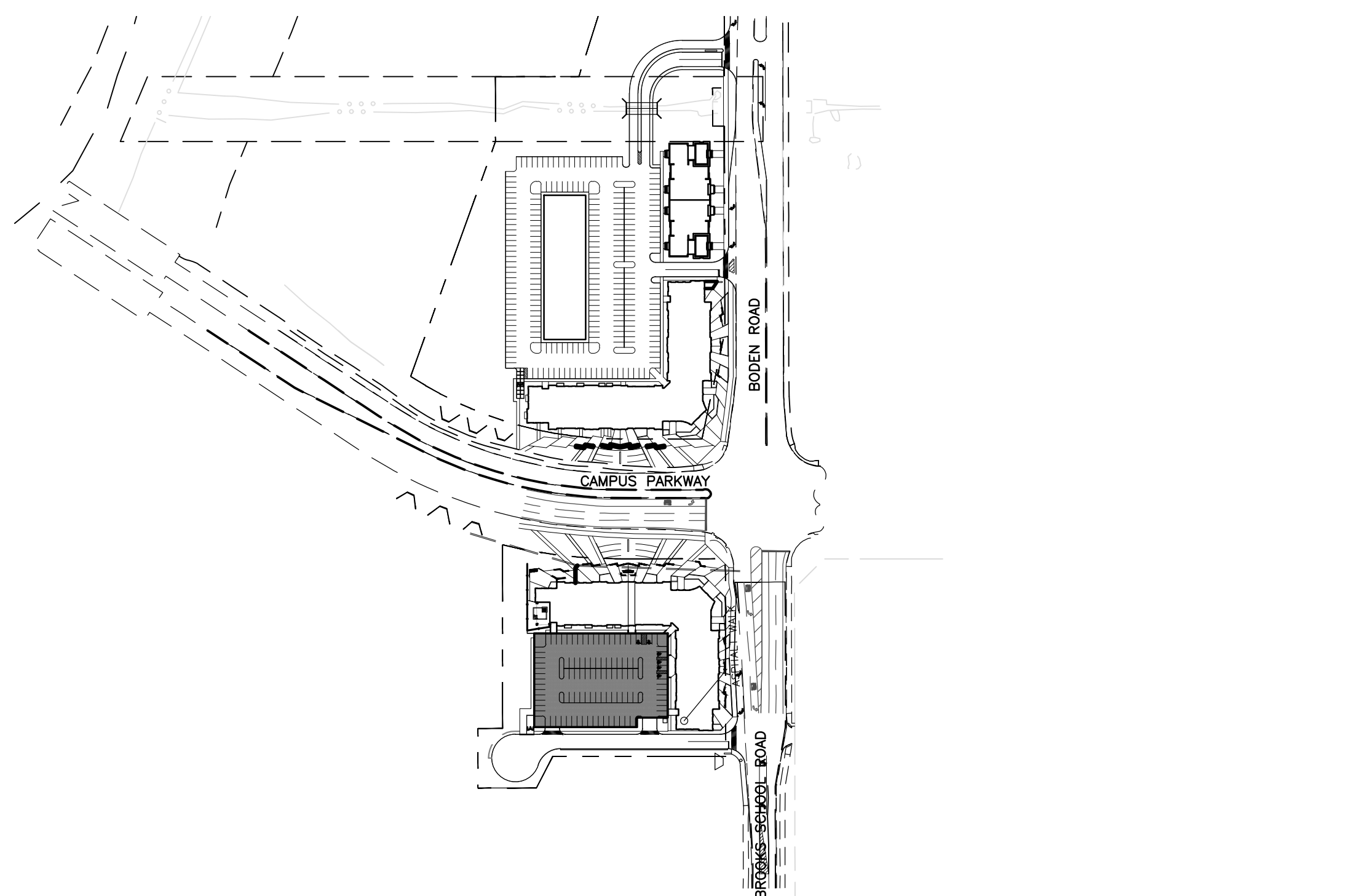
VICINITY MAP

NOT TO SCALE



SITE PLAN

NOT TO SCALE



SHEET INDEX

FILL INDICATES INCLUDED IN SET	LATEST REVISION NUMBER	LATEST ISSUANCE OR REVISION DATE		
		09/21/2022	C-001	COVER SHEET
		09/21/2022	C-200	OVERALL SITE PLAN
		09/21/2022	C-201	PHASE 1 SITE PLAN
		09/21/2022	C-202	PHASE 2 SITE PLAN
		09/21/2022	C-203	PHASE 2 SITE PLAN
		09/21/2022	C-301	PHASE 1 GRADING PLAN
		09/21/2022	C-401	PHASE 1 UTILITY PLAN
		09/21/2022	C-501	DETAILS
		09/21/2022	C-502	DETAILS
		09/21/2022	C-503	DETAILS
		09/21/2022	C-504	DETAILS
		07/08/2021	1-29	CITY OF NOBLESVILLE STANDARDS
		09/21/2022	L1.0	OVERALL SITE LANDSCAPE PLAN
		09/21/2022	L1.1	SOUTH PHASE 1 SITE LANDSCAPE PLAN
		09/21/2022	L1.2	NORTH PHASE 2 SITE LANDSCAPE PLAN
		09/21/2022	L1.3	NORTH PHASE 2 SITE LANDSCAPE PLAN

LEGAL DESCRIPTION

PART OF THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 18 NORTH, RANGE 5 EAST OF THE SECOND PRINCIPAL MERIDIAN, HAMILTON COUNTY, INDIANA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID NORTHEAST QUARTER; THENCE ALONG THE EAST LINE THEREOF SOUTH 00 DEGREES 05 MINUTES 55 SECONDS EAST (BASIS OF BEARINGS) 924.01 FEET; THENCE SOUTH 89 DEGREES 39 MINUTES 18 SECONDS WEST 65.00 FEET TO THE WEST LINE OF THE LAND OF CITY OF NOBLESVILLE, AS DESCRIBED IN INSTRUMENT NO. 2006017144 IN THE OFFICE OF THE RECORDER OF HAMILTON COUNTY, INDIANA AND THE POINT OF BEGINNING; THENCE THE FOLLOWING EIGHT (8) COURSES ALONG THE LINES OF SAID LAND DESCRIBED IN INSTRUMENT NO. 2006017144; (1) SOUTH 00 DEGREES 05 MINUTES 55 SECONDS EAST 150.99 FEET; (2) SOUTH 89 DEGREES 54 MINUTES 08 SECONDS WEST 20.00 FEET; (3) SOUTH 00 DEGREES 05 MINUTES 51 SECONDS EAST 65.00 FEET; (4) NORTH 89 DEGREES 54 MINUTES 09 SECONDS EAST 20.00 FEET; (5) SOUTH 00 DEGREES 05 MINUTES 51 SECONDS EAST 350.00 FEET; (6) SOUTH 12 DEGREES 13 MINUTES 57 SECONDS WEST 183.71 FEET; (7) NORTH 89 DEGREES 59 MINUTES 47 SECONDS WEST 138.77 FEET TO A POINT ON A CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 645.00 FEET AND A CHORD BEARING NORTH 73 DEGREES 21 MINUTES 06 SECONDS WEST 389.50 FEET; (8) NORTHWESTERLY ALONG SAID CURVE 374.75 FEET; THENCE NORTH 19 DEGREES 49 MINUTES 01 SECONDS EAST 422.79 FEET; THENCE NORTH 00 DEGREES 01 MINUTES 14 SECONDS WEST 110.00 FEET; THENCE NORTH 89 DEGREES 58 MINUTES 46 SECONDS EAST 141.24 FEET; THENCE NORTH 17 DEGREES 42 MINUTES 10 SECONDS EAST 137.12 FEET; THENCE NORTH 89 DEGREES 39 MINUTES 18 SECONDS EAST 204.51 FEET TO THE POINT OF BEGINNING, CONTAINING 6.76 ACRES MORE OR LESS.

ALSO INCLUDING:

A PART OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 18 NORTH, RANGE 5 EAST, FALL CREEK TOWNSHIP, HAMILTON COUNTY, STATE OF INDIANA AND BEING A PORTION OF A PARCEL OF REAL ESTATE DESCRIBED IN THAT CERTAIN DEED TO THE CITY OF NOBLESVILLE, PER INST. NO. 2006-17144, AS RECORDED IN THE HAMILTON COUNTY RECORDER'S OFFICE, STATE OF INDIANA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 22, THENCE SOUTH 00 DEGREES 05 MINUTES 55 SECONDS EAST, ALONG THE EAST LINE THEREOF, 1873.33 FEET TO THE SOUTHEAST CORNER OF PARCEL #18 (RIGHT OF WAY FOR EAST 146TH STREET) IN SAID INST. NO. 2006-17144; THENCE NORTH 89 DEGREES 59 MINUTES 51 SECONDS WEST, ALONG THE SOUTH LINE THEREOF, 65.00 FEET TO THE POINT OF BEGINNING OF THE REAL ESTATE DESCRIBED HEREIN; THENCE SOUTH 00 DEGREES 05 MINUTES 55 SECONDS EAST, PARALLEL TO SAID EAST QUARTER SECTION LINE, 200.00 FEET; THENCE NORTH 89 DEGREES 59 MINUTES 51 SECONDS WEST, PARALLEL TO SAID SOUTH RIGHT OF WAY LINE, 178.68 FEET TO THE POINT OF CURVATURE OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 1090.00 FEET, THE RADIUS POINT OF WHICH BEARS NORTH 00 DEGREES 00 MINUTES 09 SECONDS EAST; THENCE NORTHWESTERLY ALONG SAID AN ARC LENGTH OF 83.95 FEET TO A POINT WHICH BEARS SOUTH 04 DEGREES 35 MINUTES 03 SECONDS WEST FROM SAID RADIUS POINT; THENCE SOUTH 04 DEGREES 35 MINUTES 03 SECONDS WEST, ALONG A RADIAL LINE FROM SAID PREVIOUS CURVE, 25.00 FEET TO A POINT ON A NON-TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 1075.00 FEET; THENCE NORTHWESTERLY ALONG SAID CURVE AN ARC LENGTH OF 287.68 FEET TO A POINT ON THE EAST LIMITS OF THE FLOODWAY FOR SAND CREEK, PER FLOOD INSURANCE RATE MAP #18057C0255F FOR HAMILTON COUNTY, WHICH POINT BEARS SOUTH 18 DEGREES 51 MINUTES 00 SECONDS WEST FROM SAID RADIUS POINT, THE FOLLOWING SIX (6) CALLS BEING ALONG SAID SAND CREEK FLOODWAY LIMITS, (1) THENCE NORTH 22 DEGREES 09 MINUTES 52 SECONDS EAST 25.04 FEET; (2) THENCE NORTH 20 DEGREES 19 MINUTES 33 SECONDS EAST 57.68 FEET; (3) THENCE NORTH 17 DEGREES 52 MINUTES 16 SECONDS EAST 50.00 FEET; (4) THENCE NORTH 15 DEGREES 34 MINUTES 13 SECONDS EAST 55.55 FEET; (5) THENCE NORTH 14 DEGREES 08 MINUTES 14 SECONDS EAST 26.72 FEET; (6) THENCE NORTH 13 DEGREES 38 MINUTES 48 SECONDS EAST 10.31 FEET TO A POINT ON THE AFORESAID SOUTH RIGHT OF WAY LINE OF EAST 146TH STREET, PER SAID INST. NO. 2006-17144; SAID POINT BEING A POINT OF CURVATURE OF A CURVE TO THE LEFT, HAVING A RADIUS OF 850.00 FEET, THE RADIUS POINT OF WHICH BEARS NORTH 19 DEGREES 08 MINUTES 10 SECONDS EAST; THENCE SOUTHEASTERLY ALONG SAID CURVE AN ARC LENGTH OF 283.85 FEET TO A POINT WHICH BEARS SOUTH 00 DEGREES 00 MINUTES 09 SECONDS WEST FROM SAID RADIUS POINT; THENCE SOUTH 89 DEGREES 59 MINUTES 51 SECONDS EAST, ALONG SAID SOUTH RIGHT OF WAY LINE, 178.33 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION, CONTAINING 2.40 ACRES, MORE OR LESS.

ALSO INCLUDING:

PART OF THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 18 NORTH, RANGE 5 EAST OF THE SECOND PRINCIPAL MERIDIAN, HAMILTON COUNTY, INDIANA, DESCRIBED AS FOLLOWS:

COMMENCING AT A HARRISON MONUMENT MARKING THE SOUTHEAST CORNER OF THE NORTHEAST QUARTER; THENCE ALONG THE EAST LINE THEREOF NORTH 00 DEGREES 05 MINUTES 55 SECONDS WEST (BASIS OF BEARINGS) 793.84 FEET; THENCE NORTH 89 DEGREES 59 MINUTES 51 SECONDS WEST 65.00 FEET TO THE NORTHEAST CORNER OF THE LAND OF MAB CAPITAL INVESTMENTS LLC AS DESCRIBED IN TRACT II OF INSTRUMENT NO. 2019059131 IN THE OFFICE OF THE RECORDER OF HAMILTON COUNTY, INDIANA; THENCE ALONG THE EAST LINE OF SAID TRACT II SOUTH 00 DEGREES 05 MINUTES 55 SECONDS EAST 200.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 00 DEGREES 05 MINUTES 55 SECONDS EAST 134.51 FEET; THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS WEST 292.69 FEET; THENCE SOUTH 27 DEGREES 40 MINUTES 42 SECONDS WEST 80.68 FEET; THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS WEST 98.67 FEET; THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST 100.89 FEET; THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS EAST 41.50 FEET; THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST 80.99 FEET TO THE SOUTH LINE OF THE AFORESAID TRACT II IN INSTRUMENT NO. 2019059131 AND A POINT ON A CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 1075.00 FEET AND A CHORD BEARING SOUTH 82 DEGREES 22 MINUTES 08 SECONDS EAST 114.28 FEET; THENCE THE FOLLOWING FOUR (4) COURSES ALONG THE SOUTH LINE OF SAID TRACT II: (1) SOUTHEASTERLY ALONG SAID CURVE 114.33 FEET; (2) NORTH 04 DEGREES 35 MINUTES 03 SECONDS EAST 25.00 FEET TO A POINT ON A CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 1050.00 FEET AND A CHORD BEARING SOUTH 87 DEGREES 42 MINUTES 24 SECONDS EAST 83.94 FEET; (3) SOUTHEASTERLY ALONG SAID CURVE 83.96 FEET; (4) SOUTH 89 DEGREES 59 MINUTES 51 SECONDS EAST 178.68 FEET TO THE POINT OF BEGINNING, CONTAINING 1.31 ACRES MORE OR LESS.

ISSUANCE SCHEDULE
NUMBER DATE DESCRIPTION

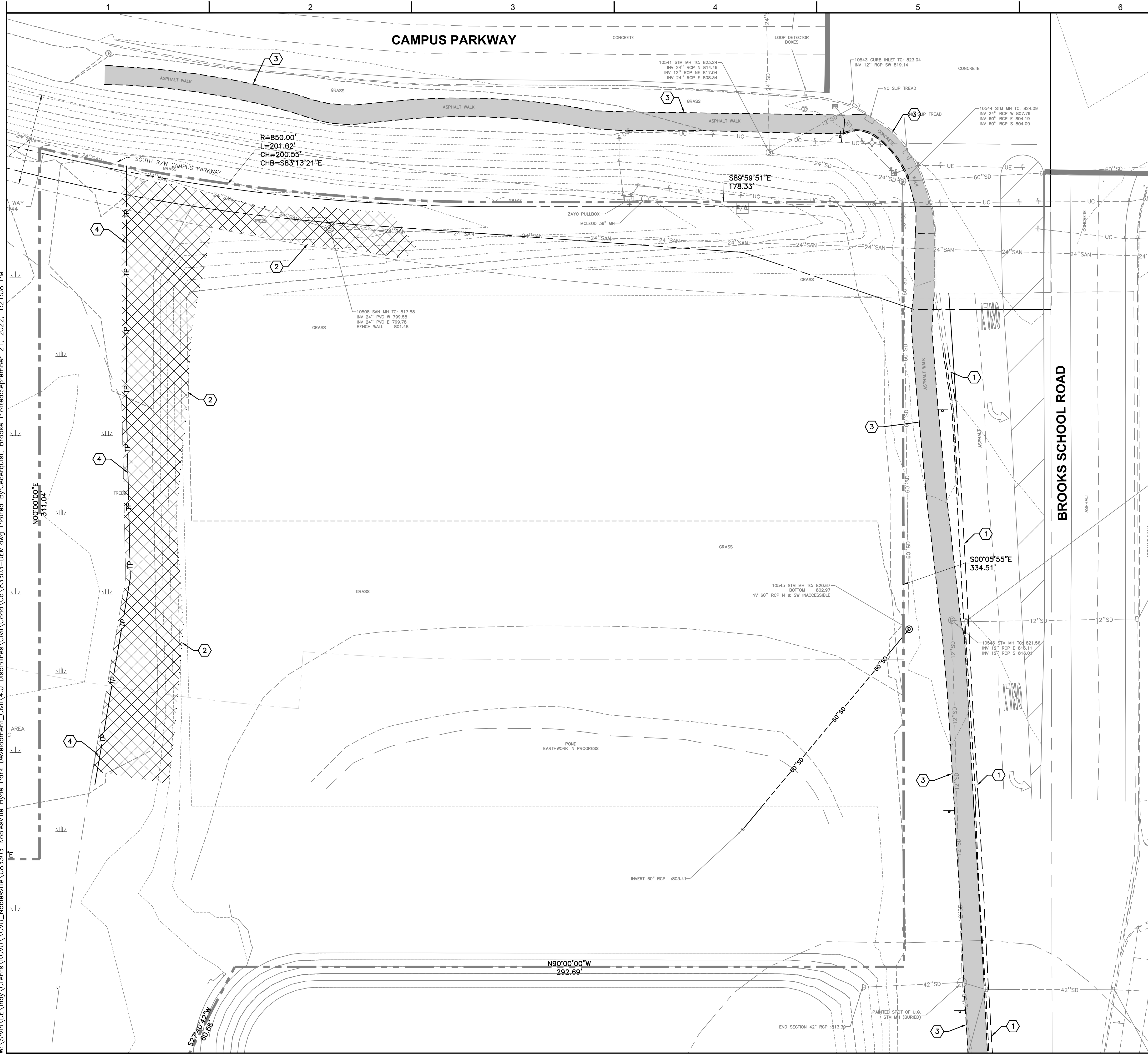
NOVO DEVELOPMENT GROUP
THE GATEWAY AT HYDE PARK
PRELIMINARY DEVELOPMENT PLANS
BROOKS SCHOOL ROAD
NOBLESVILLE, INDIANA 46060

PROJECT NO: 83303
DATE ISSUED: 09/21/2022

SHEET NAME:
COVER SHEET

SHEET NO:
C-001

Layout Tab Name: C-100 EXISTING CONDITIONS AND DEMOLITIONS PLAN
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LEGEND

- 799 --- 1' CONTOUR
- 800 --- 5' CONTOUR
- - - - - PROPERTY BOUNDARY
- - - - - EASEMENT
- - - - - SD EXISTING STORM
- - - - - 24" SAN EXISTING SANITARY
- - - - - G EXISTING GAS
- - - - - UE EXISTING UNDERGROUND ELECTRIC
- - - - - OE EXISTING OVERHEAD ELECTRIC
- - - - - UT EXISTING UNDERGROUND TELEPHONE
- TP TREE PROTECTION FENCE
- ⊙ EXISTING STORM MANHOLE
- ⊠ EXISTING CURB INLET
- ⊕ EXISTING SANITARY MANHOLE
- ⊙ EXISTING GAS STRUCTURE
- ⊠ EXISTING PULL BOX
- ⊕ EXISTING JUNCTION BOX
- ⊙ EXISTING ELECTRIC MANHOLE
- ⊠ EXISTING COMMUNICATIONS STRUCTURE
- ⊕ EXISTING LIGHT POLE
- ⊙ EXISTING TRAFFIC POLE
- ⊠ EXISTING TRAFFIC MANHOLE
- ⊕ EXISTING SIGN

KEYNOTES

- 1. FULL DEPTH SAWCUT AND REMOVAL OF EXISTING CURB AT NEAREST JOINT BEYOND REMOVAL LIMITS
- 2. REMOVE EXISTING TREES
- 3. SAWCUT AND REMOVE EXISTING PAVEMENT
- 4. TREE PROTECTION FENCE

NOTES

- 1. SEE SHEET C-001 FOR GENERAL NOTES.
- 2. EXISTING SITE INFORMATION/TOPOGRAPHIC SURVEY WAS PREPARED BY WOOLPERT, INC., DATED JULY 13, 2022.
- 3. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET WITHIN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THE PROJECT.
- 4. CONTRACTOR TO LOCATE EXISTING UTILITY SERVICES AND INVESTIGATE POTENTIAL FOR REUSE. IF IT IS NOT TO BE REUSED, IT SHALL BE REMOVED OR ABANDONED IN PLACE PER AGENCY REQUIREMENTS.

WOOLPERT
 ARCHITECTURE | ENGINEERING | GEOSPATIAL
 333 North Alabama Street, Suite 200
 Indianapolis, IN 46204
 317.299.7500



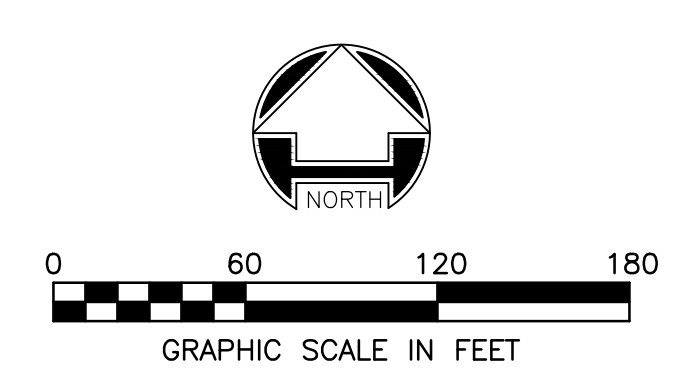
ISSUANCE SCHEDULE	DESCRIPTION
NUMBER	DATE

NOVO DEVELOPMENT GROUP
THE GATEWAY AT HYDE PARK
 PRELIMINARY DEVELOPMENT PLANS
 BROOKS SCHOOL ROAD
 NOBLESVILLE, IN 46060

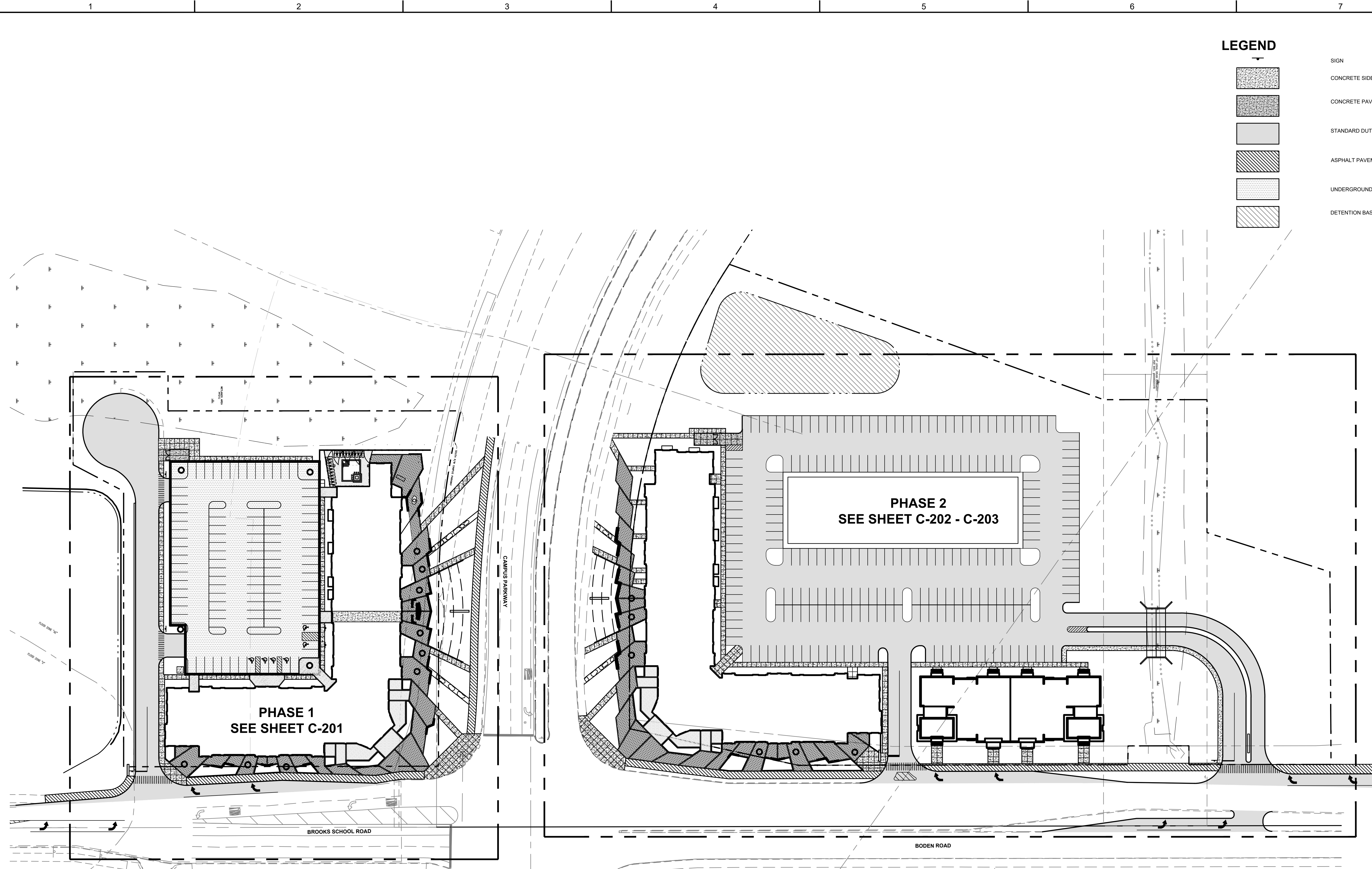
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 DATE ISSUED: 09/21/2022
 DESIGNED BY: BAC
 DRAWN BY: BAC
 CHECKED BY: ASJ

SHEET NAME:
 EXISTING CONDITIONS
 AND DEMOLITIONS
 PLAN

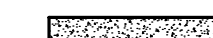
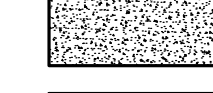




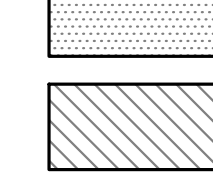
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C-100



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LEGEND

-  SIGN
-  CONCRETE SIDEWALK
-  CONCRETE PAVEMENT
-  STANDARD DUTY ASPHALT
-  ASPHALT PAVEMENT TRAIL
-  UNDERGROUND PARKING GARAGE
-  DETENTION BASIN AREA

WOOLPERT
 ARCHITECTURE | ENGINEERING | GEOSPATIAL
 333 North Alabama Street, Suite 200
 Indianapolis, IN 46204
 317.299.7500



ISSUANCE SCHEDULE	DESCRIPTION
NUMBER	DATE

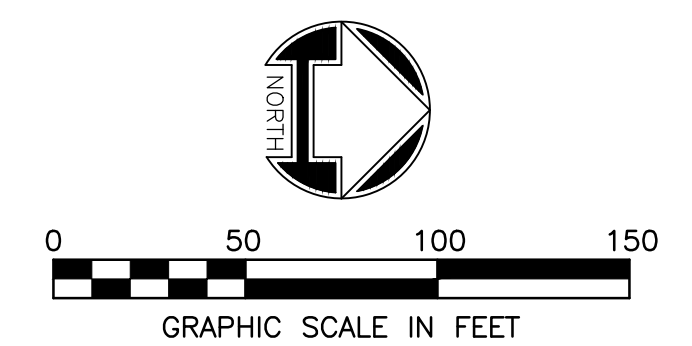
NOVO DEVELOPMENT GROUP
THE GATEWAY AT HYDE PARK
 PRELIMINARY DEVELOPMENT PLANS

BROOKS SCHOOL ROAD
 NOBLESVILLE, IN 46060

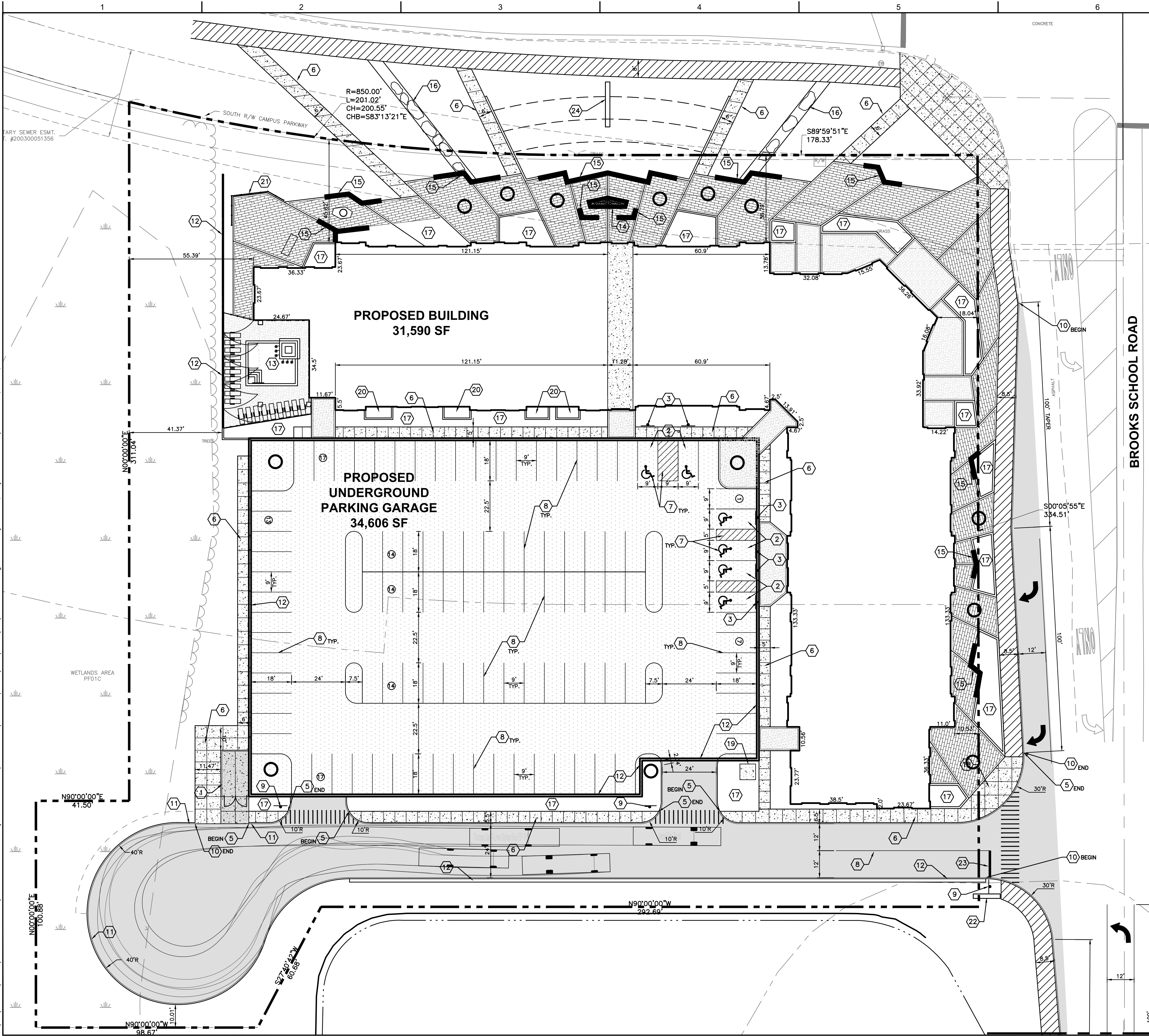
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 DRAWN BY: BAC
 CHECKED BY: ASJ

SHEET NAME:
 OVERALL SITE PLAN

SHEET NO:
C-200



Layout Tab Name: C-201 PHASE 1 SITE PLAN
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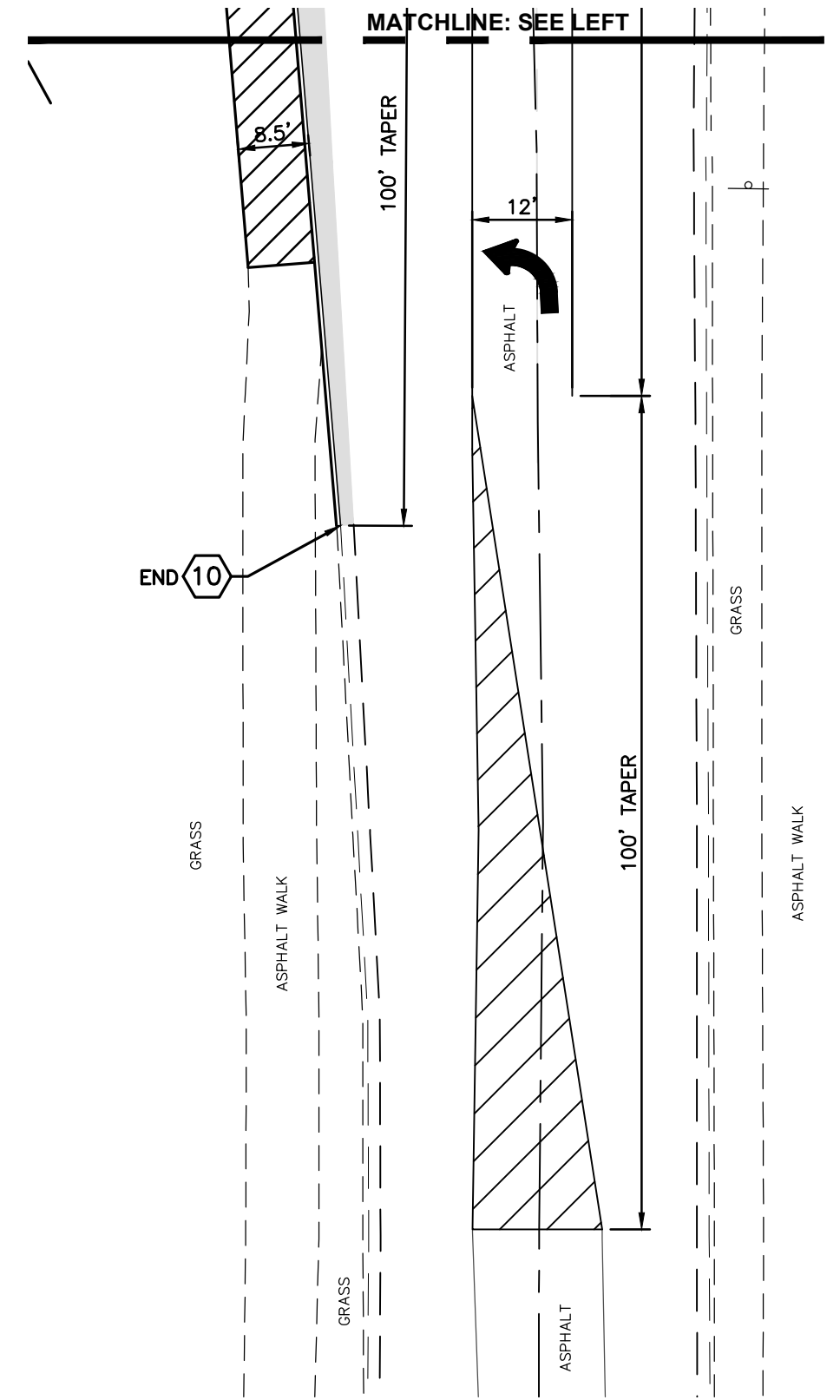


LEGEND

	SIGN
	CONCRETE SIDEWALK
	CONCRETE PAVEMENT
	STANDARD DUTY ASPHALT
	ASPHALT PAVEMENT TRAIL
	UNDERGROUND PARKING GARAGE

- NOTES**
- SEE SHEET C-001 FOR GENERAL NOTES.
 - EXISTING SITE INFORMATION/TOPOGRAPHIC SURVEY WAS PREPARED BY WOOLPERT, INC., DATED JULY 13, 2022.
 - CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET WITHIN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THE PROJECT.
 - CONTRACTOR TO LOCATE EXISTING UTILITY SERVICES AND INVESTIGATE POTENTIAL FOR REUSE. IF IT IS NOT TO BE REUSED, IT SHALL BE REMOVED OR ABANDONED IN PLACE PER AGENCY REQUIREMENTS.
 - MAILBOXES WILL BE LOCATED INSIDE THE BUILDING.

- KEYNOTES (X)**
- DUMPSTER ENCLOSURE. SEE ARCHITECTURAL PLANS FOR DETAILS.
 - ACCESSIBLE PARKING STALL.
 - ACCESSIBLE PARKING STALL SIGNAGE/6" BOLLARD.
 - ACCESSIBLE RAMP.
 - INTEGRAL CURB AND WALK, TYPICAL.
 - CONCRETE WALK.
 - PAINTED BLUE PAVEMENT STRIPING.
 - PAINTED WHITE PAVEMENT STRIPING.
 - TYPE R1-1 SIGN 30" STOP SIGN.
 - TYPE I CURB.
 - TRANSITION FROM 6" CURB TO FLUSH.
 - RETAINING WALL.
 - POOL AMENITY. SEE LANDSCAPE PLANS FOR DETAILS.
 - FIRE PIT AMENITY. SEE LANDSCAPE PLANS FOR DETAILS.
 - SPLIT FACE BLOCK WALL. SEE LANDSCAPE PLANS FOR DETAILS.
 - DECORATIVE BOULDERS. SEE LANDSCAPE PLANS FOR DETAILS.
 - LANDSCAPED AREA. SEE LANDSCAPE PLANS FOR DETAILS.
 - CONCRETE STEPS.
 - TRANSFORMER PAD.
 - WALLED PATIO. SEE ARCHITECTURAL PLANS FOR DETAILS.
 - RAILING. SEE LANDSCAPE PLAN FOR DETAILS.
 - FEATURE SIGN. SEE ARCHITECTURAL PLANS FOR DETAILS.
 - PAINTED WHITE STOP BAR.
 - PROPOSED SIGN LOCATION.



WOOLPERT
 ARCHITECTURE | ENGINEERING | GEOSPATIAL

333 North Alabama Street, Suite 200
 Indianapolis, IN 46204
 317.299.7500

REGISTERED PROFESSIONAL ENGINEER
 STATE OF INDIANA
 10505661

ISSUANCE SCHEDULE	DESCRIPTION
NUMBER	DATE

NOVO DEVELOPMENT GROUP
THE GATEWAY AT HYDE PARK
 PRELIMINARY DEVELOPMENT PLANS

BROOKS SCHOOL ROAD
 NOBLESVILLE, IN 46060

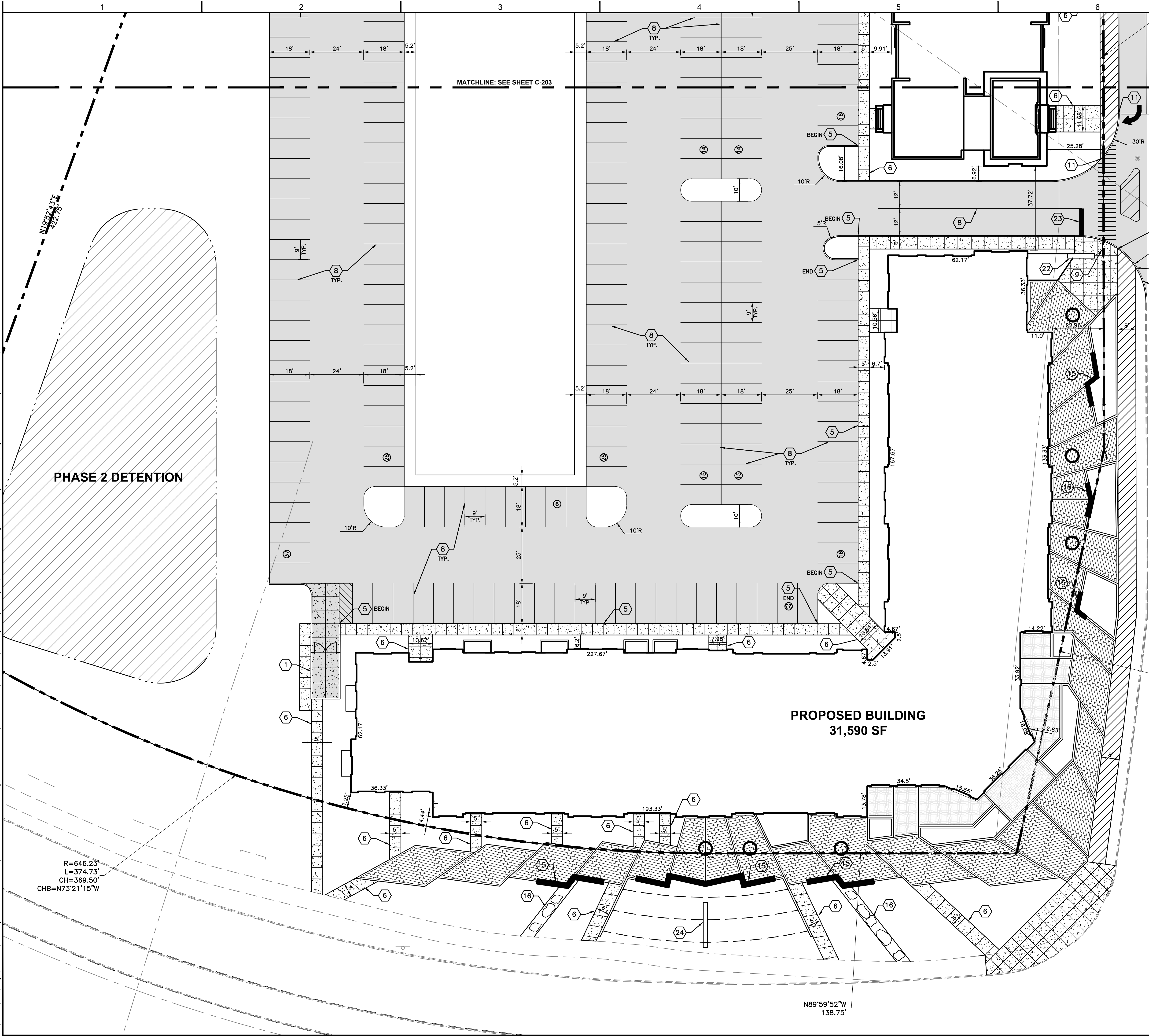
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 DESIGNED BY: BAC
 DRAWN BY: BAC
 CHECKED BY: ASJ

SHEET NAME:
 PHASE 1 SITE PLAN

SHEET NO:
C-201

Layout Tab Name: C-202 PHASE 2 SITE PLAN
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 L=374.73'
 CH=369.50'
 CHB=N73°21'15"W



LEGEND

- SIGN
- CONCRETE SIDEWALK
- CONCRETE PAVEMENT
- STANDARD DUTY ASPHALT
- ASPHALT PAVEMENT TRAIL
- UNDERGROUND PARKING GARAGE
- POTENTIAL PHASE 2 DETENTION AREA

NOTES

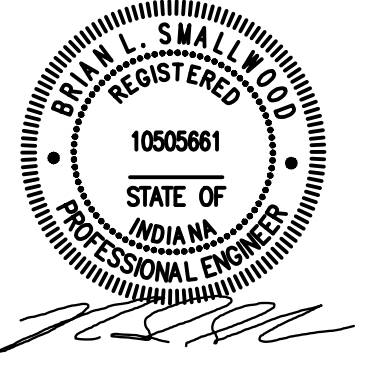
1. SEE SHEET C-001 FOR GENERAL NOTES.
2. EXISTING SITE INFORMATION/TOPOGRAPHIC SURVEY WAS PREPARED BY WOOLPERT, INC., DATED JULY 13, 2022.
3. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET WITHIN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THE PROJECT.
4. CONTRACTOR TO LOCATE EXISTING UTILITY SERVICES AND INVESTIGATE POTENTIAL FOR REUSE. IF IT IS NOT TO BE REUSED, IT SHALL BE REMOVED OR ABANDONED IN PLACE PER AGENCY REQUIREMENTS.
5. MAILBOXES WILL BE LOCATED INSIDE THE BUILDING.

PHASE 2 PRELIMINARY DRAINAGE ANALYSIS

1. PHASE 2 FINAL DETENTION DESIGN IS CURRENTLY UNDERWAY. DETENTION LOCATION, AND AREA, DEPICTED ON THIS PLAN SHEET HAVE BEEN VERIFIED TO ALLOW FOR THE CONSTRUCTION OF THE REQUIRED WATER QUANTITY AND QUALITY VOLUMES. EXACT QUANTITY AND QUALITY VOLUMES ARE MORE SPECIFICALLY DESCRIBED IN THE PRELIMINARY STORM WATER MANAGEMENT SUMMARY DATED SEPTEMBER, 22, 2022. ANY MODIFICATION TO THIS BASIN AS PART OF FINAL DESIGN WILL NOT CONSTITUTE A MAJOR CHANGE AS DEFINED IN THE PUD ORDINANCE.

KEYNOTES

1. DUMPSTER ENCLOSURE. SEE ARCHITECTURAL PLANS FOR DETAILS.
2. ACCESSIBLE PARKING STALL.
3. ACCESSIBLE PARKING STALL SIGNAGE/6" BOLLARD.
4. ACCESSIBLE RAMP.
5. 6" INTEGRAL CURB AND WALK, TYPICAL.
6. CONCRETE WALK.
7. 4" PAINTED BLUE PAVEMENT STRIPING.
8. 4" PAINTED WHITE PAVEMENT STRIPING.
9. TYPE R1-1 SIGN 30" STOP SIGN.
10. 6" TYPE I CURB.
11. TRANSITION FROM 6" CURB TO FLUSH.
12. RETAINING WALL.
13. POOL AMENITY. SEE LANDSCAPE PLANS FOR DETAILS.
14. FIRE PIT AMENITY. SEE LANDSCAPE PLANS FOR DETAILS.
15. 2' SPLIT FACE BLOCK WALL. SEE LANDSCAPE PLANS FOR DETAILS.
16. DECORATIVE BOULDERS. SEE LANDSCAPE PLANS FOR DETAILS.
17. LANDSCAPED AREA. SEE LANDSCAPE PLANS FOR DETAILS.
18. CONCRETE STEPS.
19. TRANSFORMER PAD.
20. WALLED PATIO. SEE ARCHITECTURAL PLANS FOR DETAILS.
21. RAILING. SEE LANDSCAPE PLAN FOR DETAILS.
22. FEATURE SIGN. SEE ARCHITECTURAL PLANS FOR DETAILS.
23. 2' PAINTED WHITE STOP BAR.
24. PROPOSED SIGN LOCATION.



ISSUANCE SCHEDULE
 NUMBER DATE DESCRIPTION

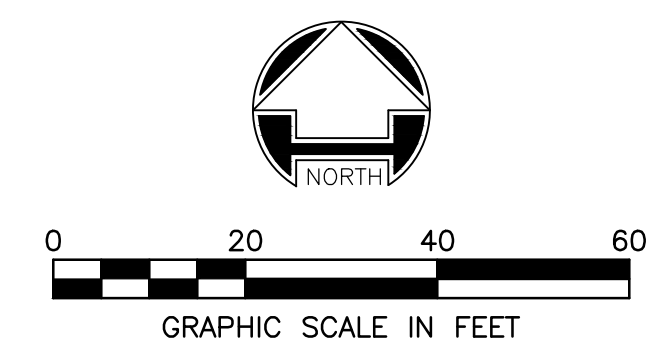
NOVO DEVELOPMENT GROUP
THE GATEWAY AT HYDE PARK
 PRELIMINARY DEVELOPMENT PLANS

BROOKS SCHOOL ROAD
 NOBLESVILLE, IN 46060

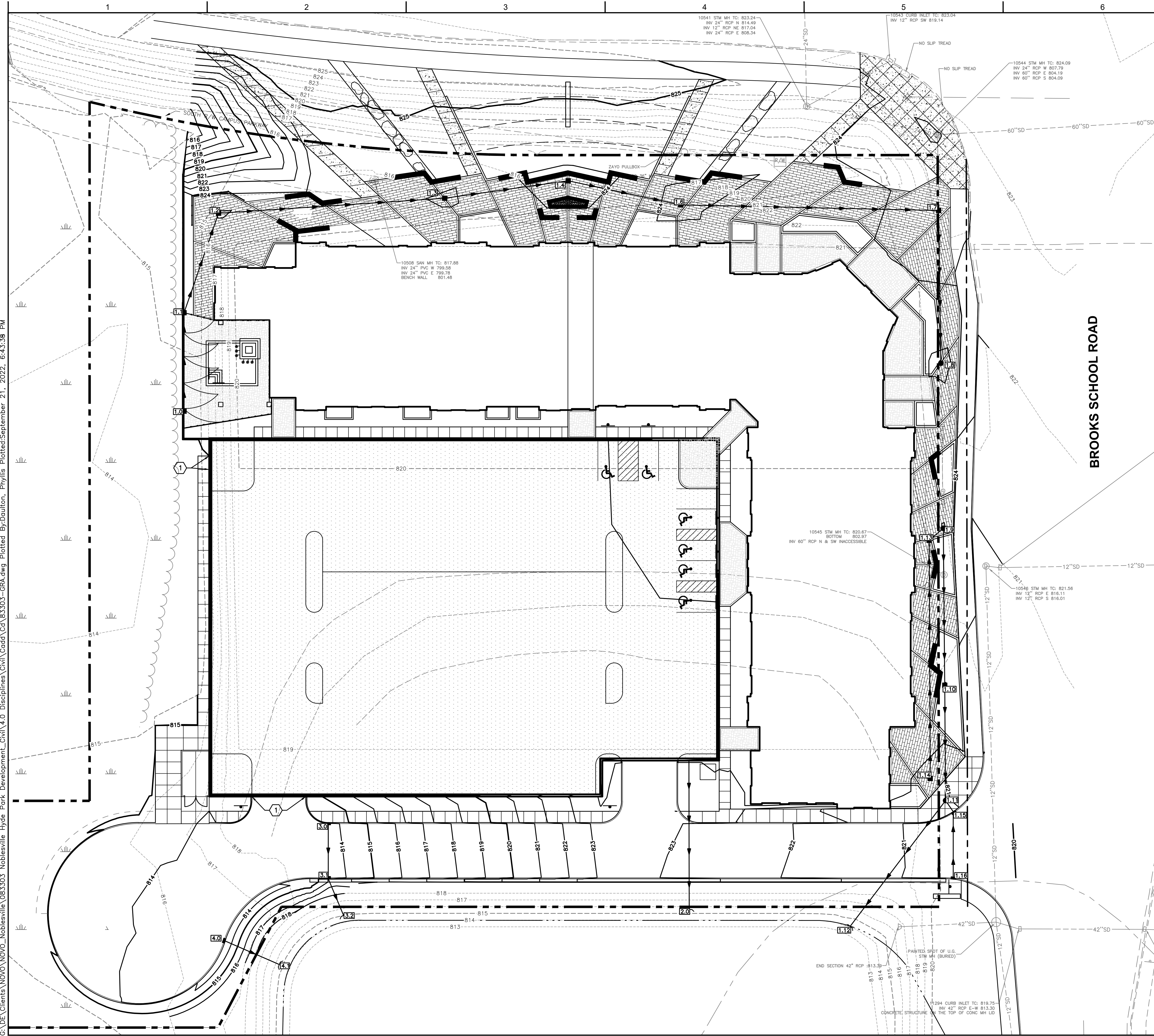
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 DRAWN BY: BAC
 CHECKED BY: ASJ

SHEET NAME:
 PHASE 2 SITE PLAN

SHEET NO:
C-202



Layout Tab Name: C-300 PHASE 1 GRADING PLAN
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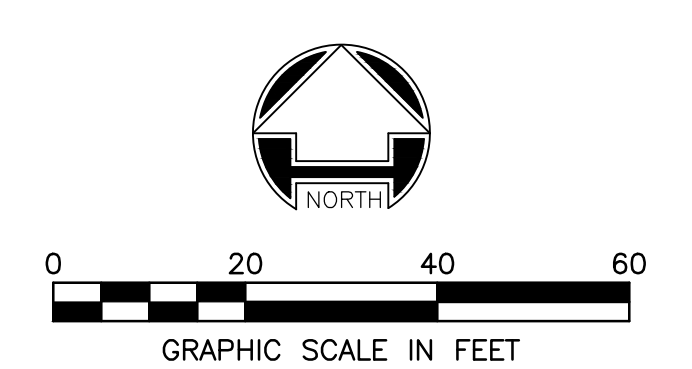


LEGEND

	EXISTING 1' CONTOUR
	EXISTING 5' CONTOUR
	1' CONTOUR
	5' CONTOUR
	STORM SEWER
	FRENCH DRAIN
	EXISTING STORM SEWER
	EXISTING DRAINAGE STRUCTURE
	SPOT ELEVATION
	TC: TOP OF CURB ELEVATION
	BC: BOTTOM OF CURB ELEVATION
	MATCH EXISTING

- NOTES**
- SEE SHEET C-001 FOR GENERAL NOTES.
 - EXISTING SITE INFORMATION/TOPOGRAPHIC SURVEY WAS PREPARED BY WOOLPERT, INC., DATED JULY 13, 2022.
 - CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET WITHIN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THE PROJECT.
 - CONTRACTOR TO LOCATE EXISTING UTILITY SERVICES AND INVESTIGATE POTENTIAL FOR REUSE. IF IT IS NOT TO BE REUSED, IT SHALL BE REMOVED OR ABANDONED IN PLACE PER AGENCY REQUIREMENTS.

- KEYNOTES**
- AUTOMATIC SELF-CLOSING FLOOD BARRIER TO BE INSTALLED AT GARAGE OPENING. RESTING POSITION TOP OF BARRIER ELEVATION AT 814.00, BELOW GROUND GRADE. FULLY DEPLOYED POSITION TOP OF BARRIER ELEVATION AT 819.00. GASKET SEALS AROUND OPENING IN FULLY DEPLOYED POSITION FOR WATERTIGHT SEAL.



WOOLPERT
 ARCHITECTURE | ENGINEERING | GEOSPATIAL

333 North Alabama Street, Suite 200
 Indianapolis, IN 46204
 317.299.7500

ISSUANCE SCHEDULE	DESCRIPTION
NUMBER	DATE

NOVO DEVELOPMENT GROUP
THE GATEWAY AT HYDE PARK
 PRELIMINARY DEVELOPMENT PLANS

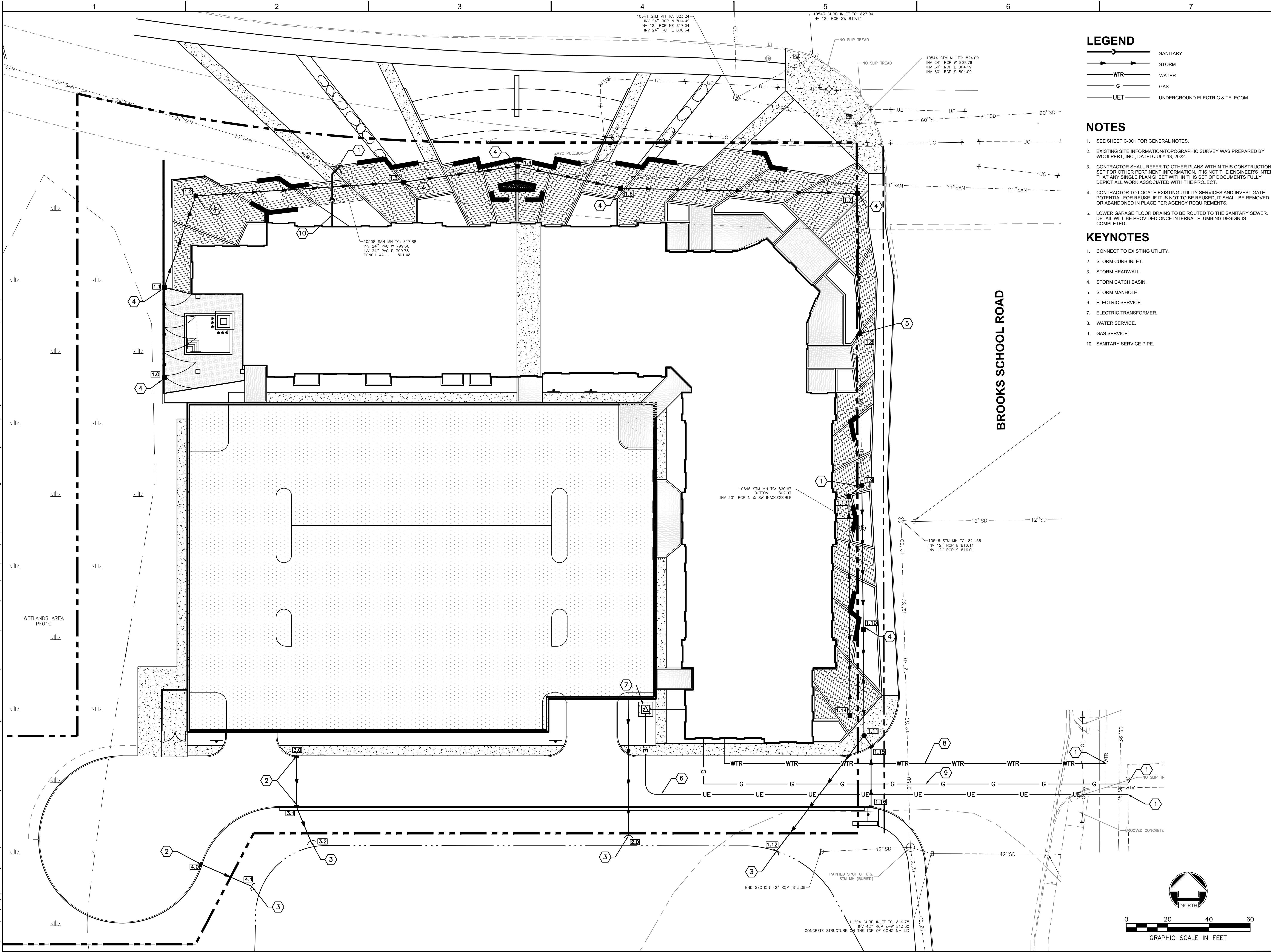
BROOKS SCHOOL ROAD
 NOBLESVILLE, IN 46060

PROJECT NO: 83303
 DATE ISSUED: 09/21/2022
 DESIGNED BY: BAC
 DRAWN BY: BAC
 CHECKED BY: ASJ

SHEET NAME:
 PHASE 1 GRADING PLAN

SHEET NO:
C-301

Layout Tab Name: C-401 PHASE 1 UTILITY PLAN
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LEGEND

	SANITARY
	STORM
	WATER
	GAS
	UNDERGROUND ELECTRIC & TELECOM

- NOTES**
- SEE SHEET C-001 FOR GENERAL NOTES.
 - EXISTING SITE INFORMATION/TOPOGRAPHIC SURVEY WAS PREPARED BY WOOLPERT, INC., DATED JULY 13, 2022.
 - CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET WITHIN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THE PROJECT.
 - CONTRACTOR TO LOCATE EXISTING UTILITY SERVICES AND INVESTIGATE POTENTIAL FOR REUSE. IF IT IS NOT TO BE REUSED, IT SHALL BE REMOVED OR ABANDONED IN PLACE PER AGENCY REQUIREMENTS.
 - LOWER GARAGE FLOOR DRAINS TO BE ROUTED TO THE SANITARY SEWER. DETAIL WILL BE PROVIDED ONCE INTERNAL PLUMBING DESIGN IS COMPLETED.

- KEYNOTES**
- CONNECT TO EXISTING UTILITY.
 - STORM CURB INLET.
 - STORM HEADWALL.
 - STORM CATCH BASIN.
 - STORM MANHOLE.
 - ELECTRIC SERVICE.
 - ELECTRIC TRANSFORMER.
 - WATER SERVICE.
 - GAS SERVICE.
 - SANITARY SERVICE PIPE.

WOOLPERT
 ARCHITECTURE | ENGINEERING | GEOSPATIAL
 333 North Alabama Street, Suite 200
 Indianapolis, IN 46204
 317.299.7500



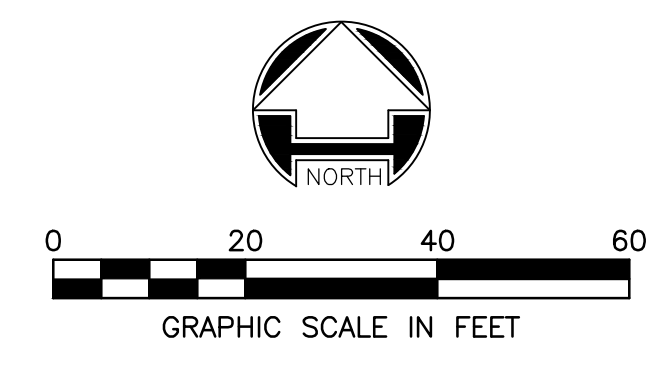
ISSUANCE SCHEDULE	DESCRIPTION
NUMBER	DATE

NOVO DEVELOPMENT GROUP
THE GATEWAY AT HYDE PARK
 PRELIMINARY DEVELOPMENT PLANS
 BROOKS SCHOOL ROAD
 NOBLESVILLE, IN 46060

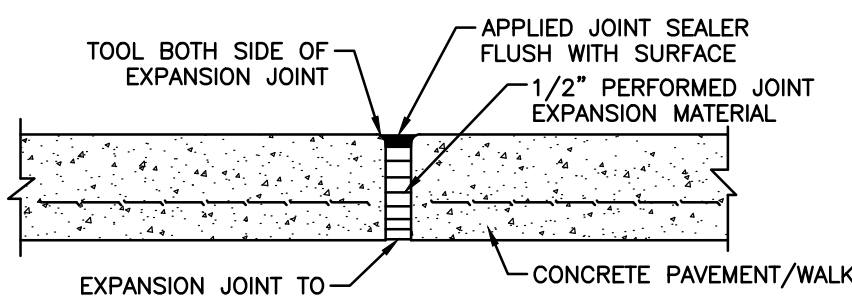
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 CHECKED BY: ASJ

SHEET NAME:
 PHASE 1 UTILITY PLAN

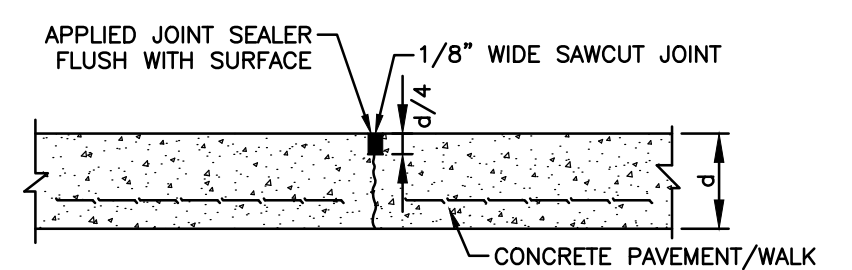
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C-401



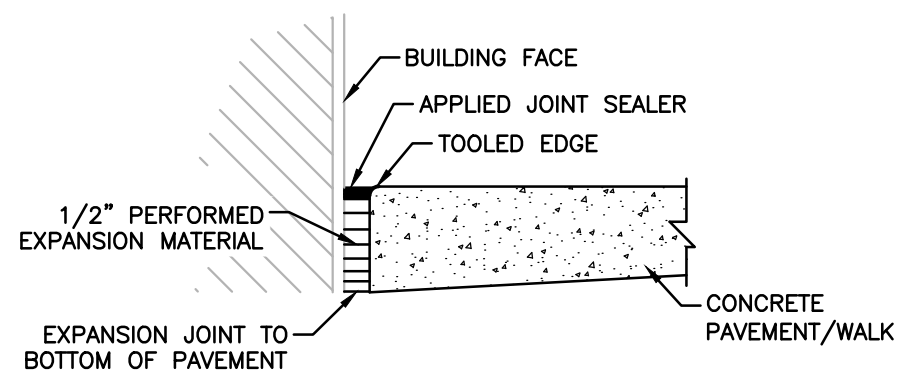
CONCRETE/SIDEWALK DETAILS



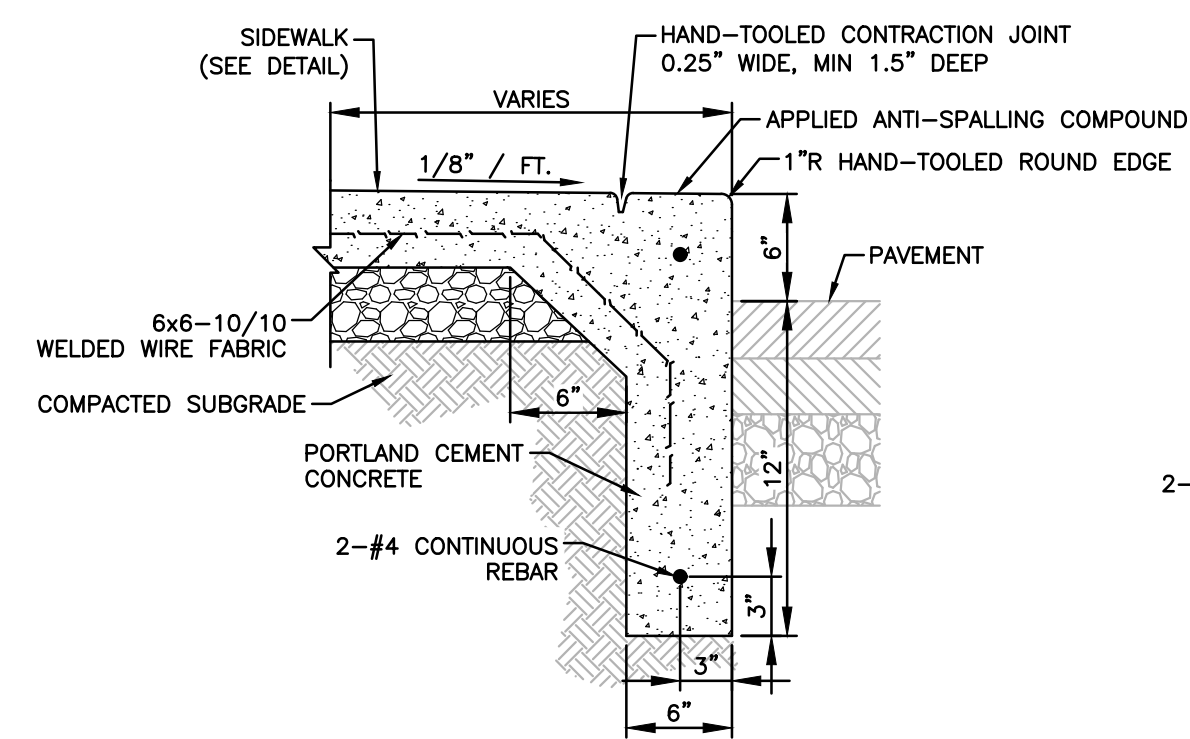
EXPANSION JOINT DETAIL
NO SCALE



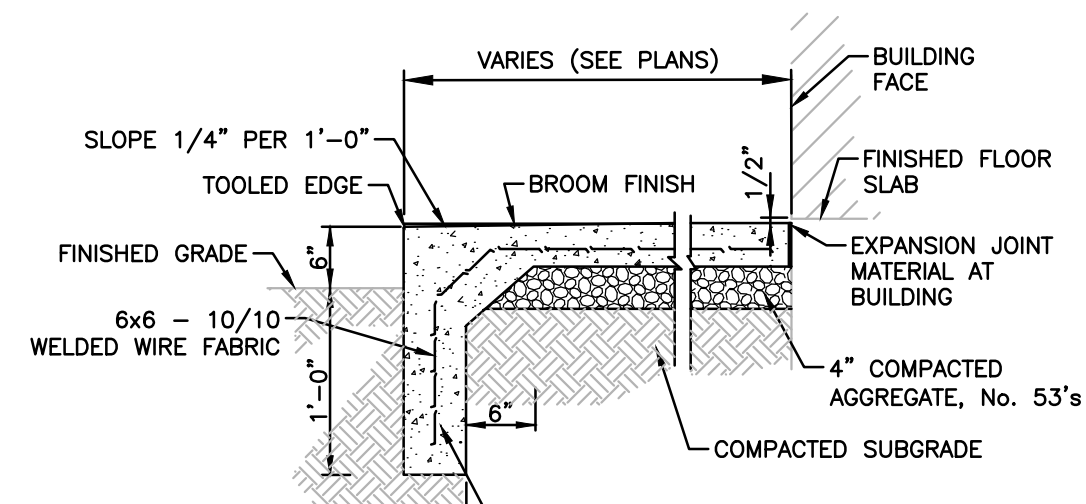
CONTROL JOINT
NO SCALE



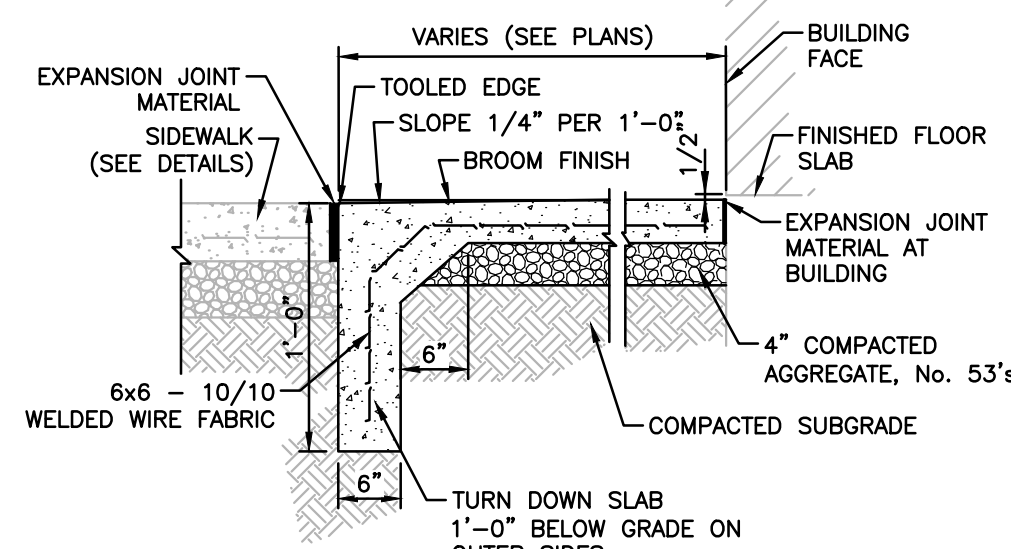
EXPANSION JOINT AT BUILDING DETAIL
NO SCALE



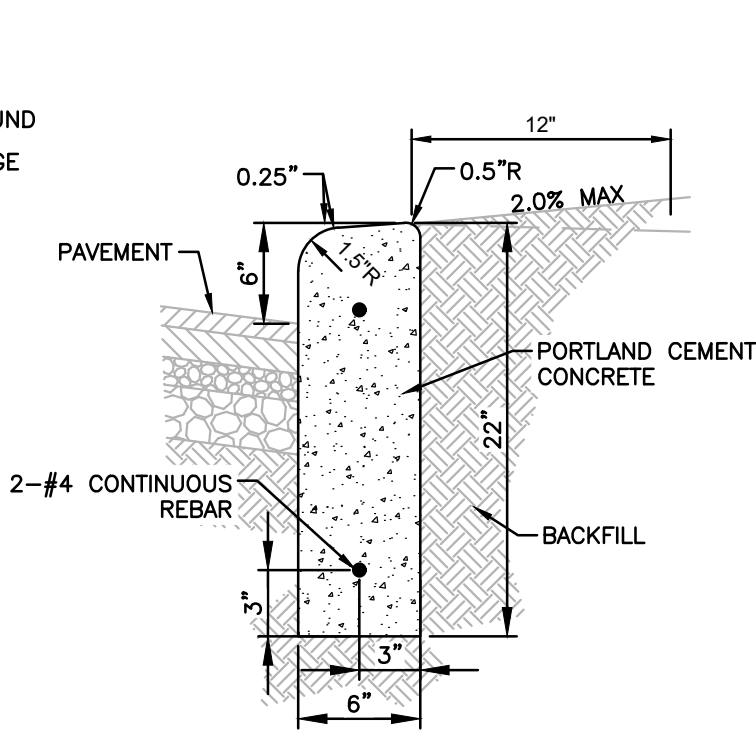
INTEGRAL WALK AND CURB
NO SCALE



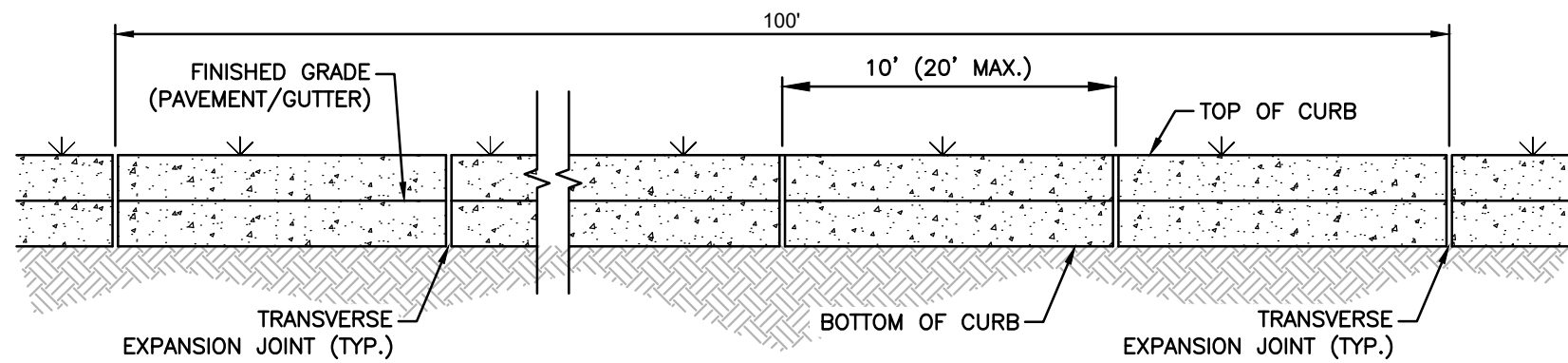
CONCRETE STOOP DETAIL
NO SCALE



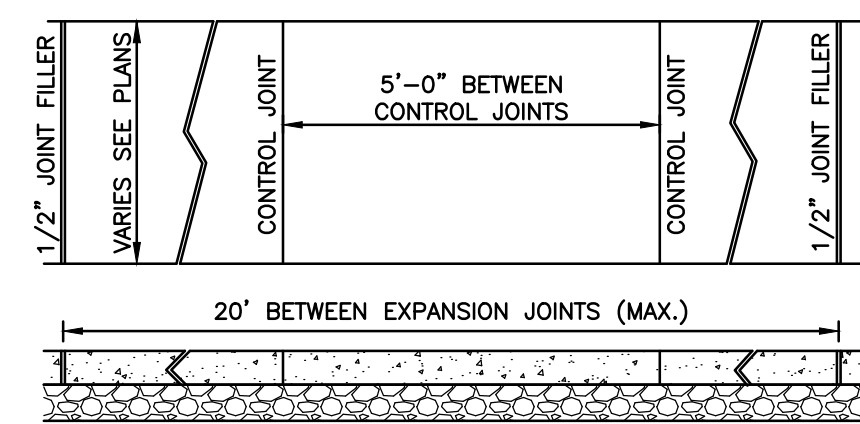
CONCRETE STOOP DETAIL (ADJACENT TO SIDEWALK)
NO SCALE



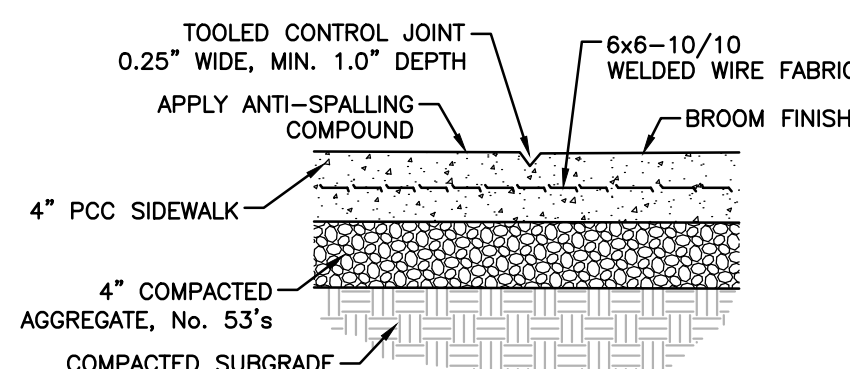
6" STRAIGHT CURB
NO SCALE



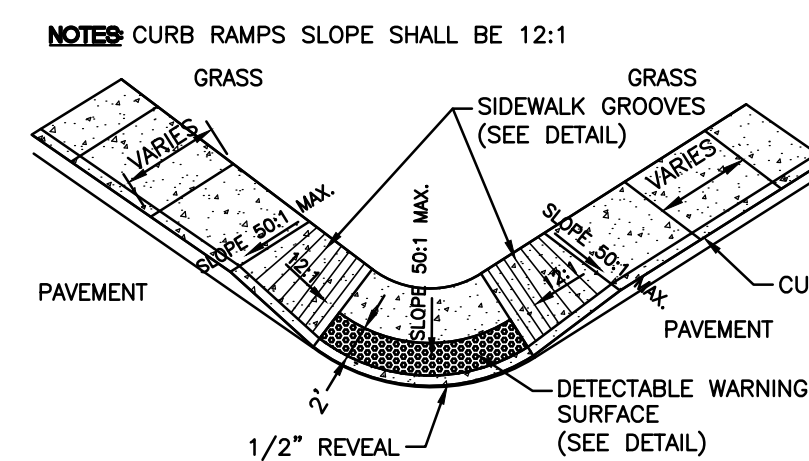
CURB JOINT DETAIL
NO SCALE



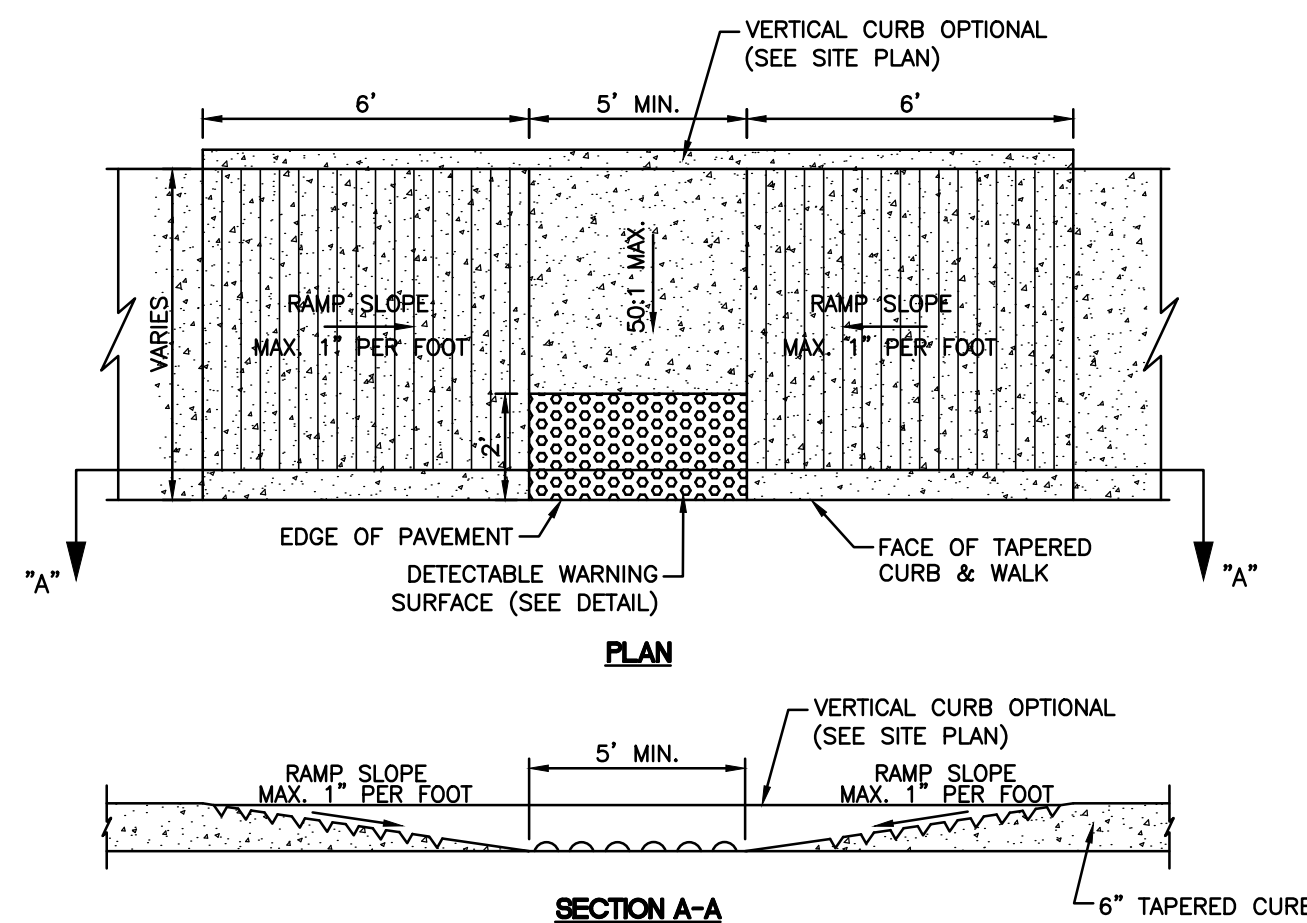
CONCRETE WALK SECTION
NO SCALE



CONCRETE WALK DETAIL
NO SCALE



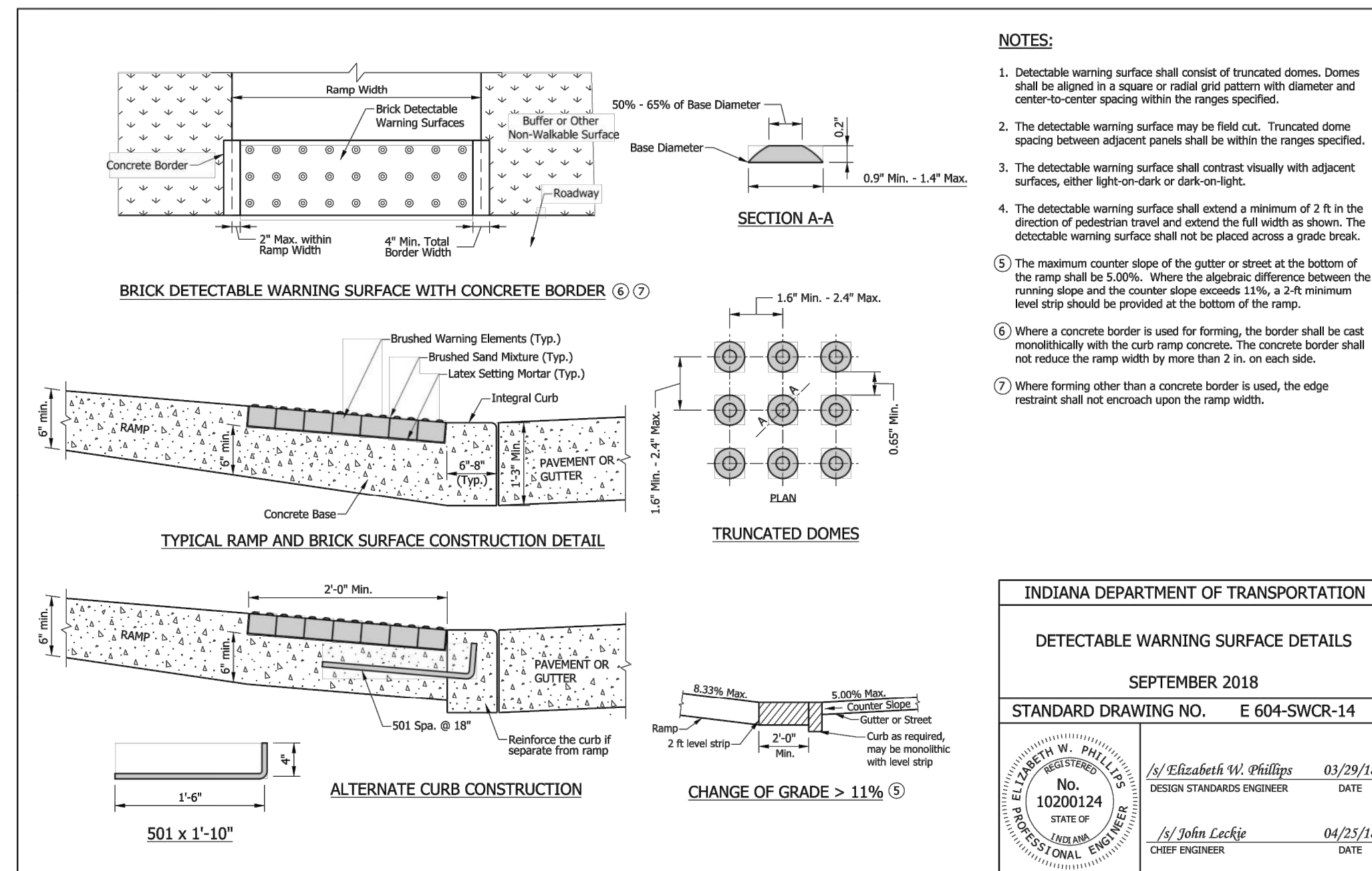
ACCESSIBLE RAMP ALONG CURVE W/ DEPRESSED CURB
NO SCALE



ACCESSIBLE RAMP W/ DEPRESSED CURB
NO SCALE

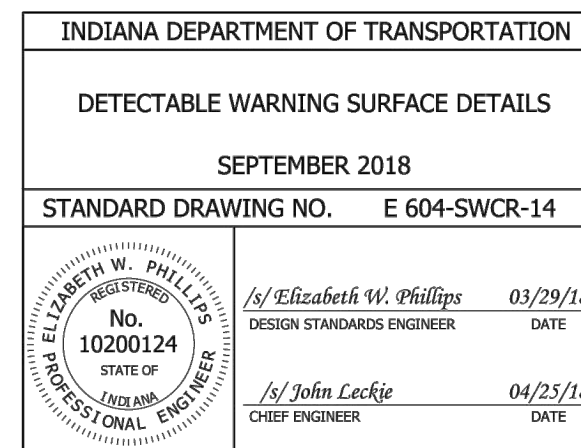
CONCRETE DETAILS NOTES:

- ALL SUBGRADE UNDER PROPOSED PAVEMENT AREAS SHALL BE COMPACTED TO NOT LESS THAN 100% OF MAXIMUM DENSITY FOR NON-COHESIVE SOILS, AND 95% OF MAXIMUM DENSITY FOR COHESIVE SOILS, USING MODIFIED PROCTOR. ALL AREAS OF BAD SOILS MUST BE REMOVED AND RECOMPACTED TO THE APPROPRIATE DENSITY.
- ALL COMPACTED AGGREGATE MATERIALS UNDER SIDEWALK TO BE VIBRATORY COMPACTED AND MEET INDIANA DEPARTMENT OF TRANSPORTATION (INDOT) STANDARD SPECIFICATION SECTION 904, LATEST EDITION.
- ALL CONCRETE MATERIALS AND INSTALLATION FOR SIDEWALKS SHALL CONFORM TO INDIANA DEPARTMENT OF TRANSPORTATION (INDOT) STANDARD SPECIFICATIONS, SECTION 604, LATEST VERSION.
- ALL CONCRETE MATERIALS AND INSTALLATION FOR CURBING SHALL CONFORM TO INDIANA DEPARTMENT OF TRANSPORTATION (INDOT) STANDARD SPECIFICATIONS, SECTION 605, LATEST VERSION.
- CONTRACTOR SHALL SUBMIT A MIX DESIGN FOR CONCRETE FOR ENGINEERING REVIEW AND RECEIVE APPROVAL PRIOR TO CONSTRUCTION.
- MODIFICATIONS TO INDOT STANDARD SPECIFICATIONS MUST BE SUBMITTED IN WRITING TO THE ENGINEER FOR REVIEW AND APPROVAL.
- WELDED WIRE FABRIC FOR CONCRETE PAVEMENT SHALL BE PLACED AT 1/3 OF THE PAVEMENT THICKNESS MEASURED FROM THE BOTTOM OF SLAB. FABRIC MEET OR EXCEED ASTM A1064 REQUIREMENTS.
- APPLIED ANTI-SPALLING COMPOUND SHALL MEET OR EXCEED ASTM D260 REQUIREMENTS AND BE SPRAY APPLIED PER MANUFACTURERS RECOMMENDATIONS.
- PREMOLDED EXPANSION JOINT MATERIAL SHALL COMPLY WITH ASTM D1751 OR ASTM D1752.
- APPLIED JOINT SEALER SHALL BE COLD-APPLIED, SINGLE COMPONENT, CHEMICALLY CURING SILICONE JOINT SEALANT MEETING ASTM D5893.
- CONTRACTION JOINTS FOR CURBING SHALL BE PLACED EVERY 20' MAXIMUM TO A DEPTH OF 1.5". EXPANSION JOINTS SHALL BE PLACED AT 100' MAXIMUM. FULL DEPTH SEPARATORS ARE PERMITTED ONLY IN EXPANSION JOINTS. WHEN BUILT IN CONJUNCTION WITH CONCRETE PAVEMENT, EXPANSION AND CONTRACTION JOINTS SHALL BE PLACED AT THE SAME LOCATIONS AS CONCRETE SLAB JOINTS. ALL CURB AND GUTTER JOINTS SHALL BE TIED TO THE PAVEMENT BY 0.5" ROUND DEFORMED BARS AT 3' O.C. IF NO CONCRETE PAVEMENT IS BEING BUILT AT THE TIME THE CURB IS CONSTRUCTED, EXPANSION JOINTS SHOULD BE PLACED AT THE ENDS OF ALL RETURNS AND AT INTERVALS NOT TO EXCEED 100'. CONTRACTION JOINTS SHOULD BE INSTALLED AT 10' SPACING.
- CONTRACTION JOINTS FOR SIDEWALKS SHALL BE PLACED AT EVERY 5' MAXIMUM TO A DEPTH OF 1.0". EXPANSION JOINTS SHALL BE PLACED AT 20' MAXIMUM.

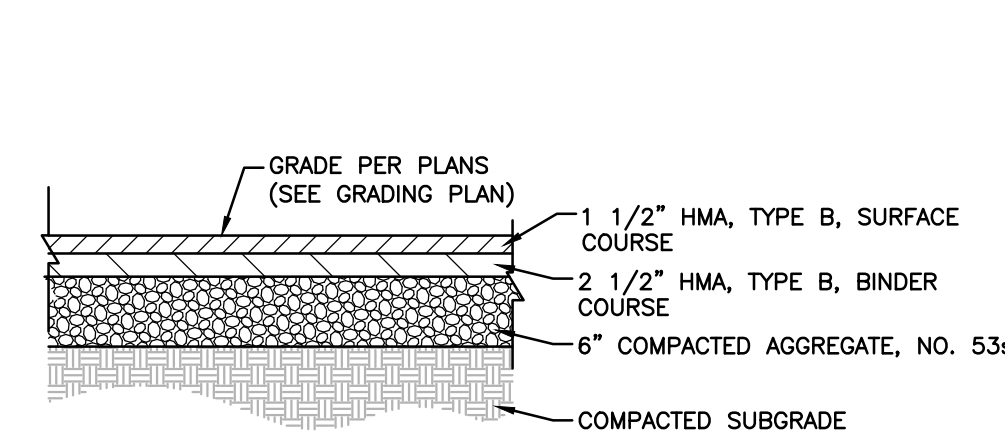


NOTES:

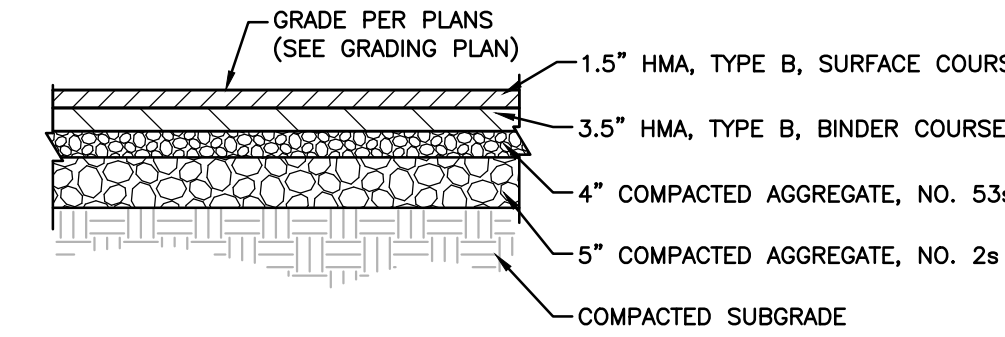
- Detectable warning surface shall consist of truncated domes. Domes shall be aligned in a square or radial grid pattern with diameter and center-to-center spacing within the ranges specified.
- The detectable warning surface may be field cut. Truncated dome spacing between adjacent panels shall be within the ranges specified.
- The detectable warning surface shall contrast visually with adjacent surfaces, either light-on-dark or dark-on-light.
- The detectable warning surface shall extend a minimum of 2 ft in the direction of pedestrian travel and extend the full width as shown. The detectable warning surface shall not be placed across a grade break.
- The maximum counter slope of the gutter or street at the bottom of the ramp shall be 5.00%. Where the algebraic difference between the running slope and the counter slope exceeds 11%, a 2-ft minimum level strip should be provided at the bottom of the ramp.
- Where a concrete border is used for forming, the border shall be cast monolithically with the curb ramp concrete. The concrete border shall not reduce the ramp width by more than 2 in. on each side.
- Where forming other than a concrete border is used, the edge restraint shall not encroach upon the ramp width.



PAVEMENT SECTION DETAILS

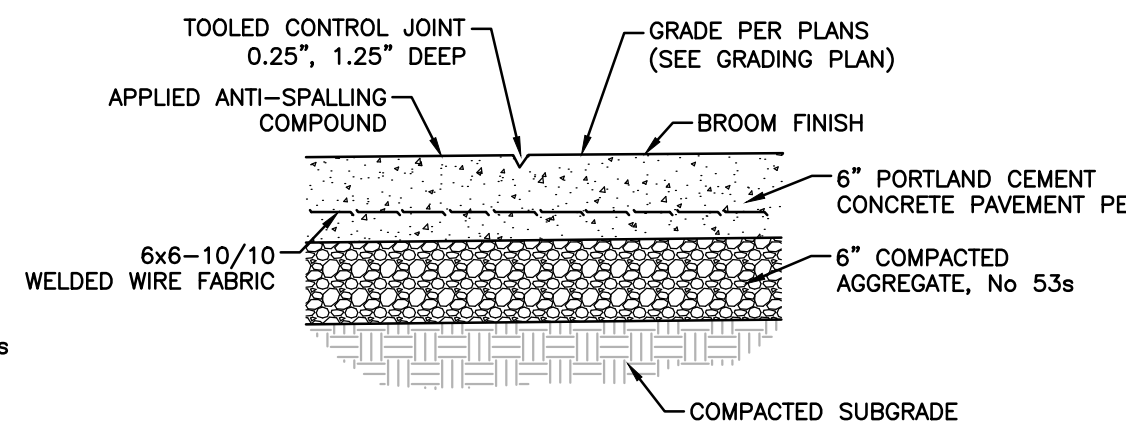


REGULAR DUTY

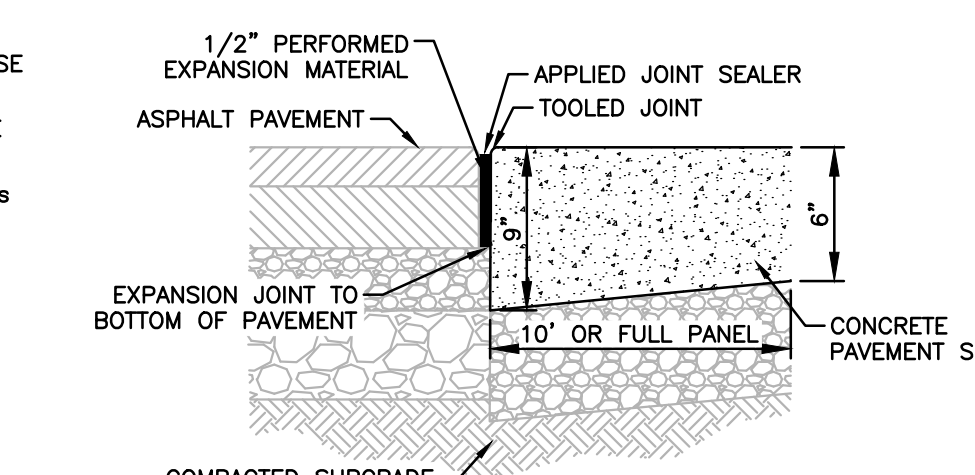


HEAVY DUTY

TYPICAL PAVEMENT SECTIONS
NO SCALE



CONCRETE PAVEMENT SECTION
NO SCALE

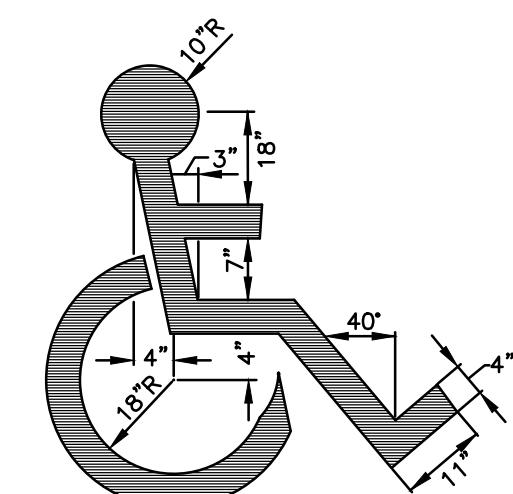


THICKENED EDGE DETAIL
NO SCALE

PAVEMENT SECTION NOTES:

- PROPOSED PAVEMENT SECTIONS ARE BASED ON GEOTECHNICAL REPORT INFORMATION. PLEASE REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL SITE CONDITIONS.
- ALL SUBGRADE UNDER PROPOSED PAVEMENT AREAS SHALL BE COMPACTED TO NOT LESS THAN 100% OF MAXIMUM DENSITY FOR NON-COHESIVE SOILS, AND 95% OF MAXIMUM DENSITY FOR COHESIVE SOILS, USING MODIFIED PROCTOR. ALL AREAS OF BAD SOILS MUST BE REMOVED AND RECOMPACTED TO THE APPROPRIATE DENSITY.
- ALL COMPACTED AGGREGATE MATERIALS AND INSTALLATION SHALL CONFORM TO INDIANA DEPARTMENT OF TRANSPORTATION (INDOT) STANDARD SPECIFICATIONS, SECTIONS 304 AND 305, LATEST VERSION.
- ALL ASPHALT AND PORTLAND CEMENT CONCRETE PAVEMENT MATERIALS, AND INSTALLATION, SHALL CONFORM TO INDIANA DEPARTMENT OF TRANSPORTATION (INDOT) STANDARD SPECIFICATIONS, SECTION 402 AND SECTION 502, LATEST VERSION, RESPECTIVELY.
- ALL ASPHALT PAVEMENT SURFACE COURSES MAY BE COMPLETED AT THE SAME TIME. ALL PAVEMENT JOINTS SHOULD BE SQUARE WITHOUT FEATHERING.
- CONTRACTOR SHALL SUBMIT A MIX DESIGN FOR ASPHALT AND CONCRETE PAVEMENTS FOR ENGINEERING REVIEW AND RECEIVE APPROVAL PRIOR TO PAVING. HOWEVER, A PAVING QUALITY CONTROL PLAN IS NOT REQUIRED.
- CONTRACTOR SHALL BE RELIEVED OF ALL QA/QC MATERIAL ACCEPTANCE REQUIREMENTS. CONTRACTOR IS ONLY REQUIRED TO MEET PRELIMINARY MATERIAL ACCEPTANCE & INSTALLATION REQUIREMENTS.
- MODIFICATIONS TO INDOT STANDARD SPECIFICATIONS MUST BE SUBMITTED IN WRITING TO THE ENGINEER FOR REVIEW AND APPROVAL.
- WELDED WIRE FABRIC FOR CONCRETE PAVEMENT SHALL BE PLACED AT 1/3 OF THE PAVEMENT THICKNESS MEASURED FROM THE BOTTOM OF SLAB. FABRIC MEET OR EXCEED ASTM A1064 REQUIREMENTS.
- APPLIED ANTI-SPALLING COMPOUND SHALL MEET OR EXCEED ASTM D260 REQUIREMENTS AND BE SPRAY APPLIED PER MANUFACTURERS RECOMMENDATIONS.
- PREMOLDED EXPANSION JOINT MATERIAL SHALL COMPLY WITH ASTM D1751 OR ASTM D1752.
- APPLIED JOINT SEALER SHALL BE COLD-APPLIED, SINGLE COMPONENT, CHEMICALLY CURING SILICONE JOINT SEALANT MEETING ASTM D5893.

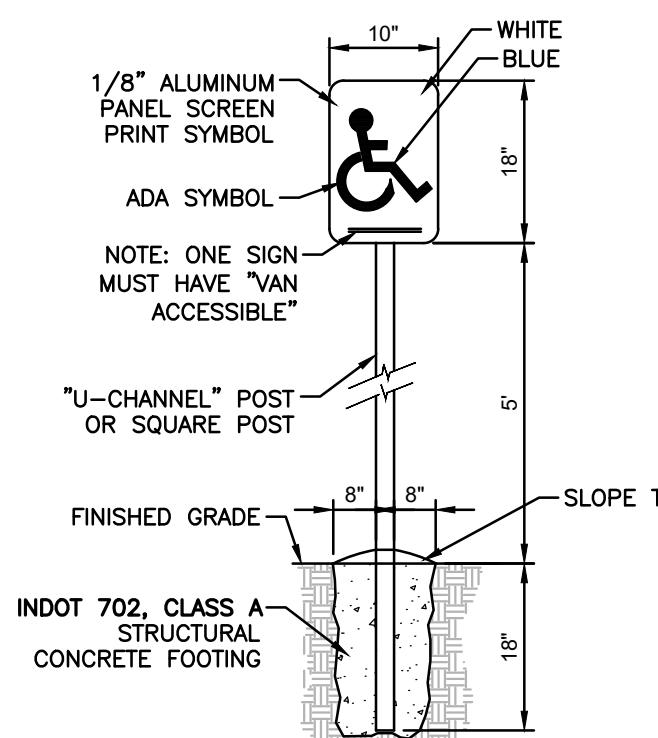
ADA DETAILS



NOTES:

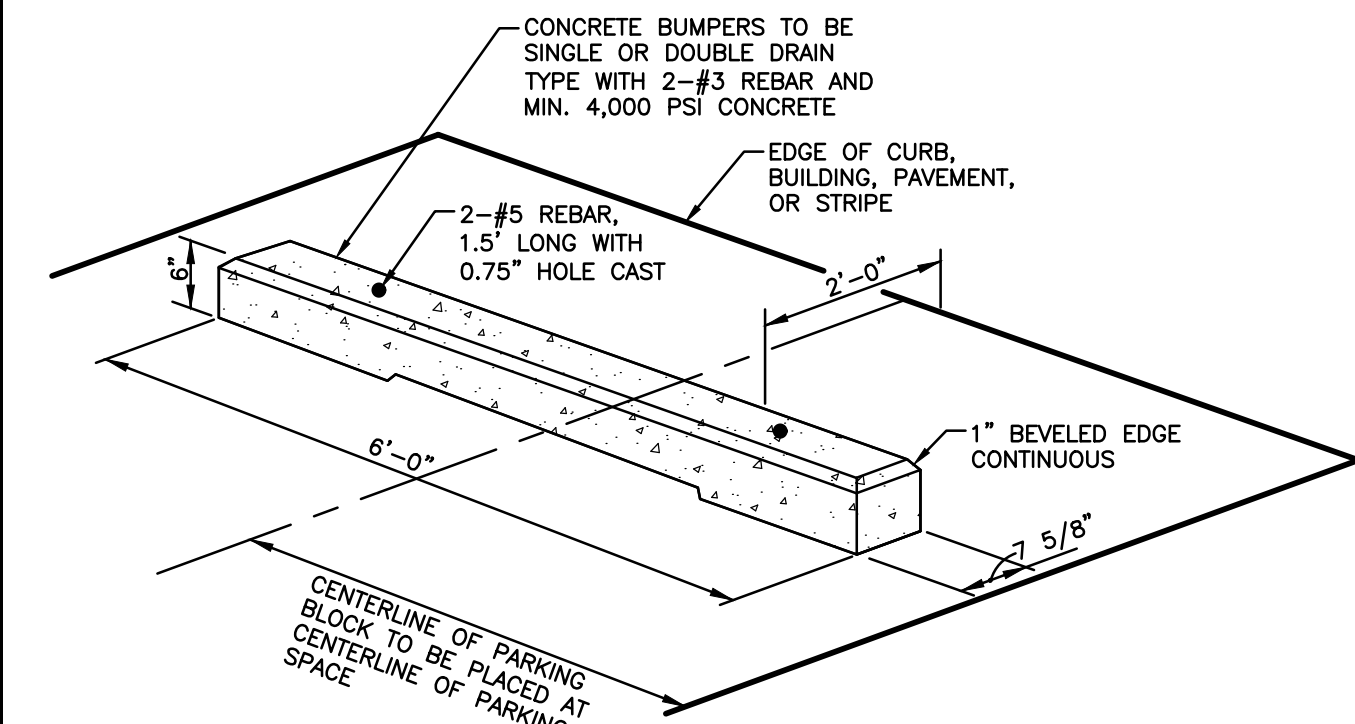
- MARKING PAINT AND APPLICATION TO MEET INDIANA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION SECTION 808, LATEST EDITION.
- SYMBOL TO BE CENTERED ON WIDTH OF PARKING STALL, DOUBLE COATED, AND APPLIED TO BE IN CONTRAST WITH BACKGROUND. SYMBOL TO BE COLOR NO. 105090 AS REQUIRED BY FEDERAL STANDARD 595A.
- SYMBOL TO MEET INDIANA ACCESSIBILITY CODE AND THE AMERICANS WITH DISABILITIES ACT CRITERIA.

ADA PAVEMENT SYMBOL
NO SCALE

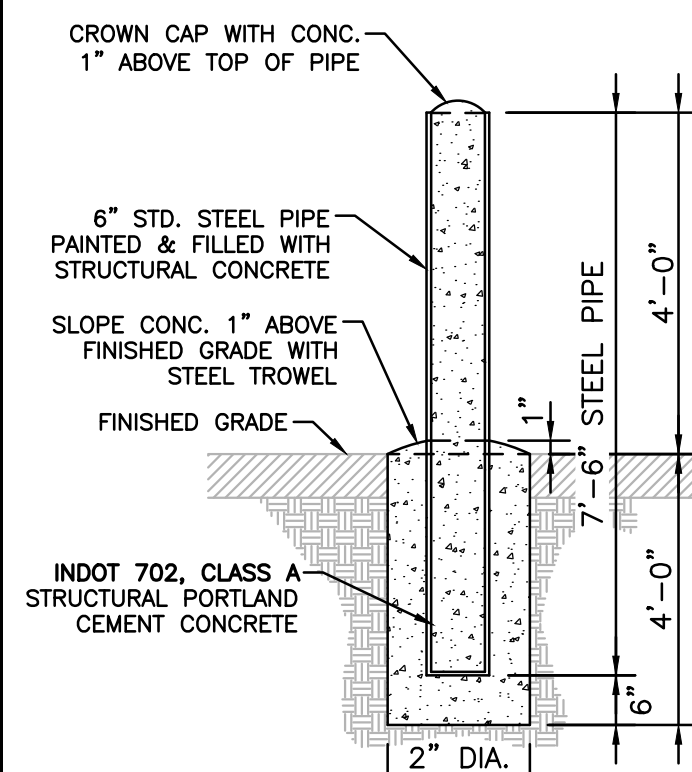


ADA PARKING SIGN
NO SCALE

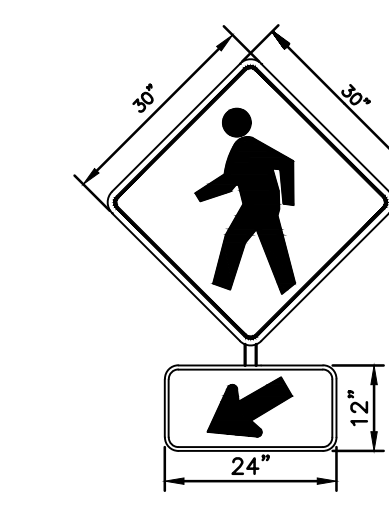
MISCELLANEOUS DETAILS



PRECAST CONCRETE WHEEL STOP
NO SCALE

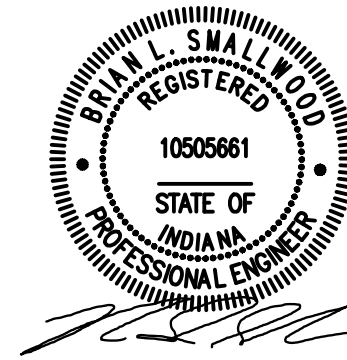


GUARD POST DETAIL
NO SCALE



"PEDESTRIAN CROSSING" SIGN
NO SCALE

- NOTES:
1. BOTH SIGNS SHALL BE IN ACCORDANCE WITH THE LATEST MUTCO EDITION, WARNING SIGNS W11-2 (TOP) & W16-7P1 (BOTTOM) WITH A BLACK LEGEND ON A FLUORESCENT YELLOW-GREEN BACKGROUND.



ISSUANCE SCHEDULE
NUMBER DATE DESCRIPTION

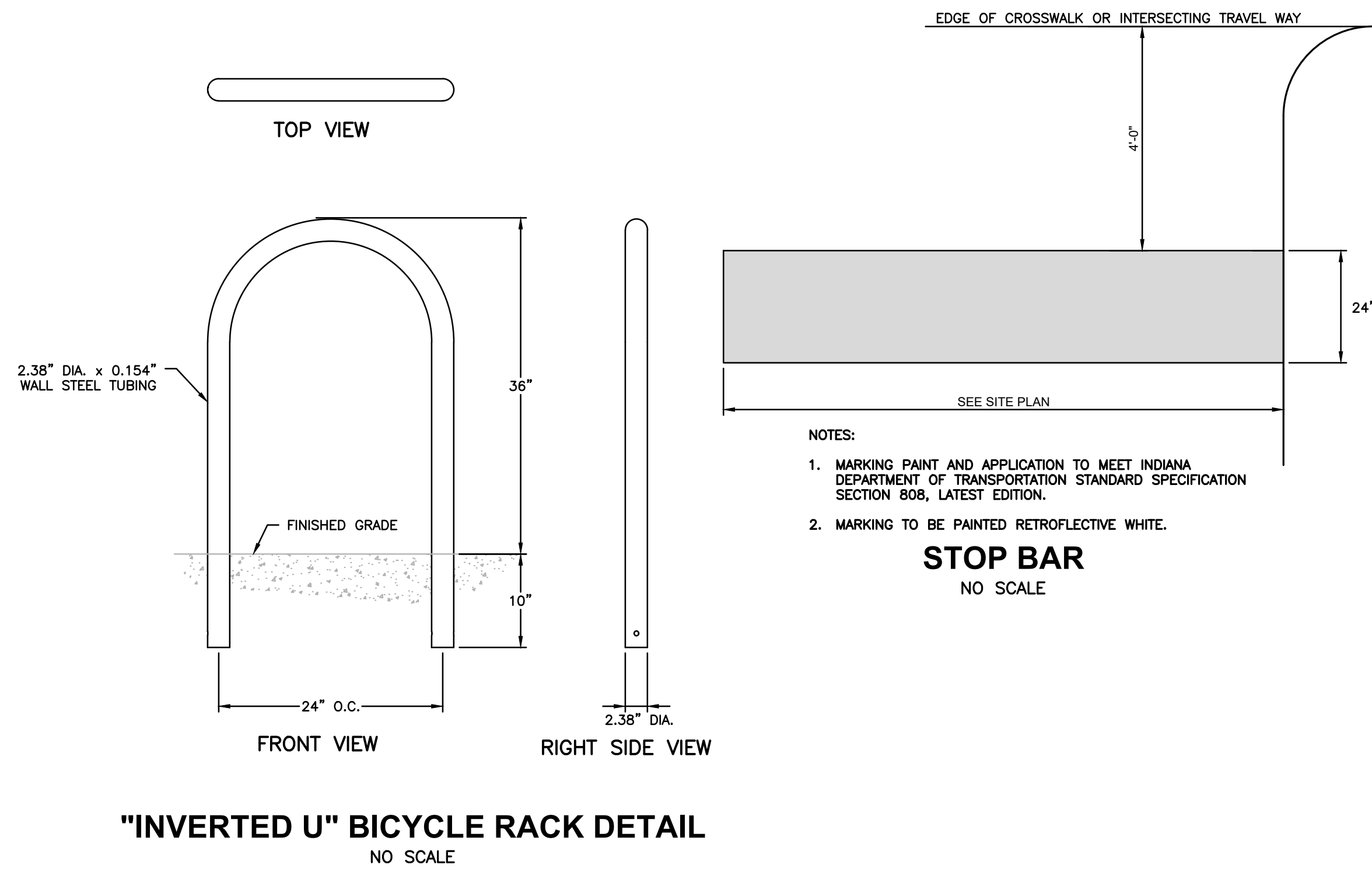
NOVO DEVELOPMENT GROUP
THE GATEWAY AT HYDE PARK
PRELIMINARY DEVELOPMENT PLANS
BROOKS SCHOOL ROAD
NOBLESVILLE, IN 46060

PROJECT NO: 83303
DATE ISSUED: 09/21/2022
DESIGNED BY: BAC
DRAWN BY: BAC
CHECKED BY: ASJ

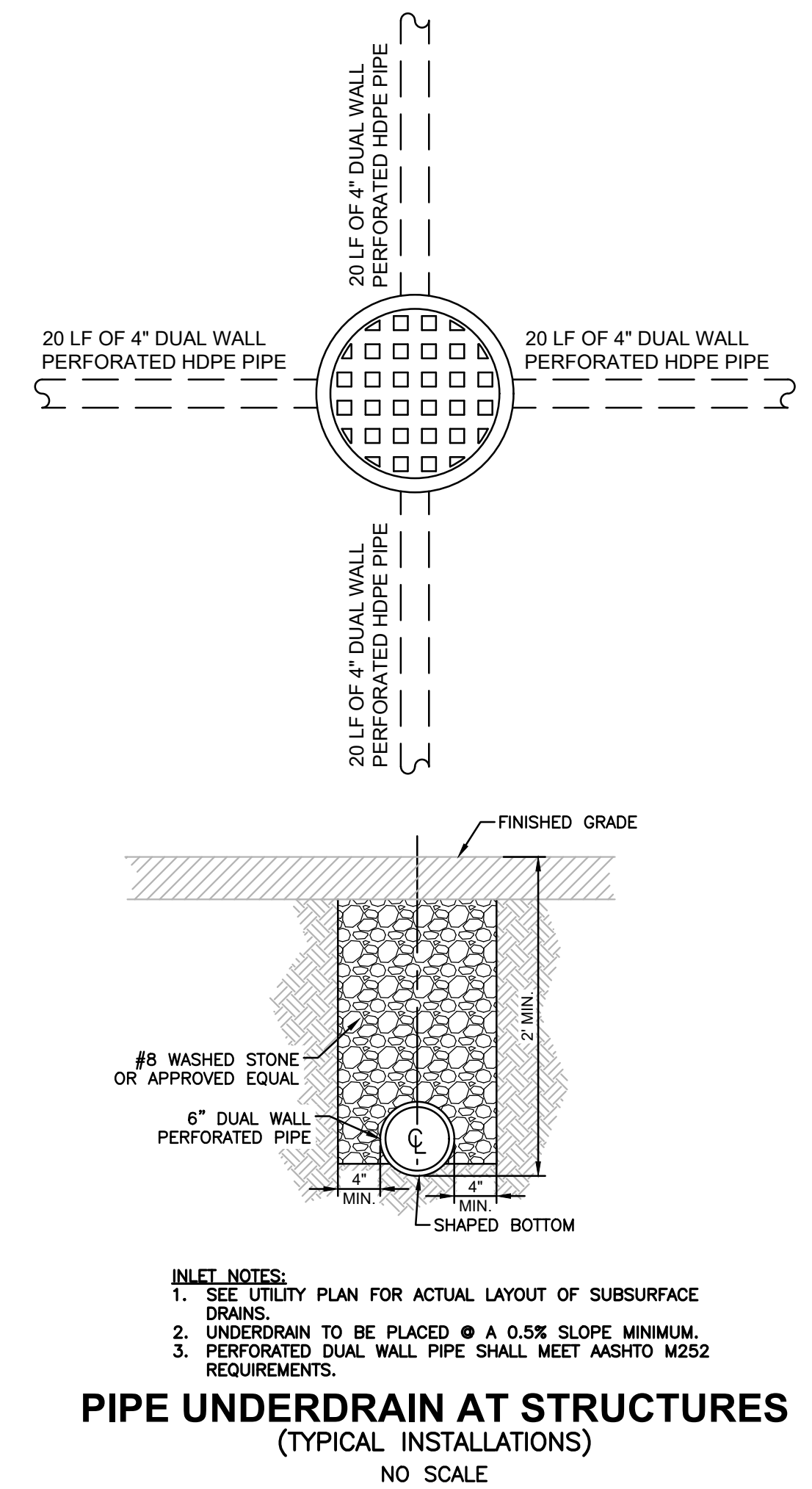
SHEET NAME:
DETAILS

SHEET NO:

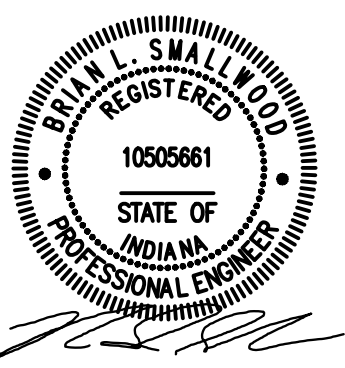
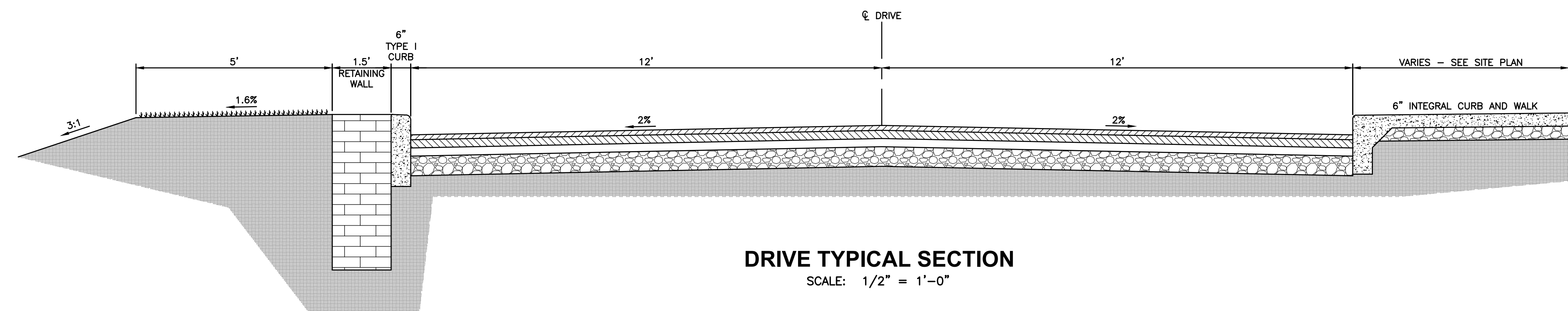
MISCELLANEOUS DETAILS (CONT'D)



- NOTES:
1. MARKING PAINT AND APPLICATION TO MEET INDIANA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION SECTION 808, LATEST EDITION.
 2. MARKING TO BE PAINTED RETROREFLECTIVE WHITE.



- INLET NOTES:
1. SEE UTILITY PLAN FOR ACTUAL LAYOUT OF SUBSURFACE DRAINS.
 2. UNDERDRAIN TO BE PLACED @ A 0.5% SLOPE MINIMUM.
 3. PERFORATED DUAL WALL PIPE SHALL MEET AASHTO M252 REQUIREMENTS.



ISSUANCE SCHEDULE	DESCRIPTION
NUMBER	DATE

NOVO DEVELOPMENT GROUP
THE GATEWAY AT HYDE PARK
PRELIMINARY DEVELOPMENT PLANS
BROOKS SCHOOL ROAD
NOBLESVILLE, IN 46060

PROJECT NO:	83303
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DRAWN BY:	BAC
CHECKED BY:	ASJ

SHEET NAME:
DETAILS

Layout Tab Name: C-502 DETAILS
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NOBLESVILLE FIRE DEPARTMENT
 CODE ENFORCEMENT DIVISION
 135 S. 9th Street, Noblesville, IN 46060
 Phone: (317) 776-6336 Fax: (317) 776-6376
 http://www.cityofnoblesville.org/fire
 fireinspections@noblesville.in.us



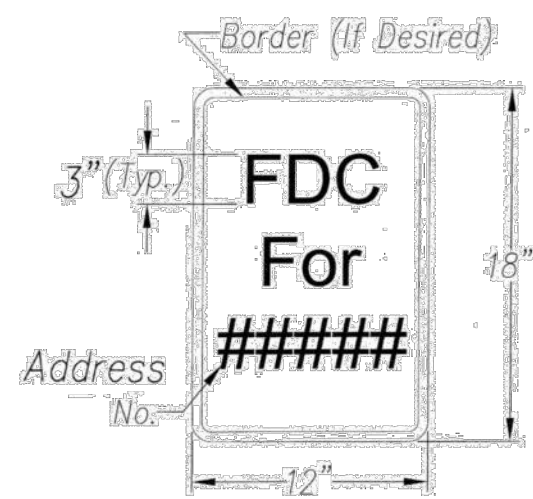
Fire Department Connection (FDC) Specifications

The City of Noblesville Fire Department requires that the installation of **Fire Department Connections (FDC)** meet the stipulations of NFPA 13, NFPA 13R, NFPA 14, and the following criteria:

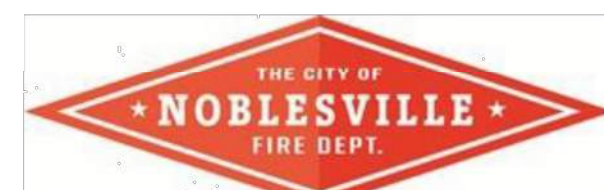
- The FDC shall be located **off the building** in a location approved by the City of Noblesville Fire Marshal. A site utility plan shall be submitted to this office for review and approval.
- The FDC shall be provided with a single **5" storz connection** that shall face towards the nearest point of fire department access. The 5" storz connection shall measure 30-40 inches from the finished grade and project **downward** at a 30-45 degree angle.
- A minimum of a 4" FDC service pipe shall be utilized on a fire service line that is 6" or larger.
- Any exterior FDC pipe that is not located within the Fire Service Vault should be painted "Safety Red" and constructed of a material that is not susceptible to degradation.
- The FDC shall be located not more than 100 feet from the nearest fire hydrant tapped off a public water main.

FDC Signage Specifications

- The sign shall be constructed out of a material that is not susceptible to degradation. The sign material shall be approved by the Fire Marshal.
- The sign lettering (and optional border) shall be RED in color.
- The sign shall be attached to the FDC pipe by an approved method. The preferred method is 4" or 6" electrical minis, available from any electrical supply warehouse.

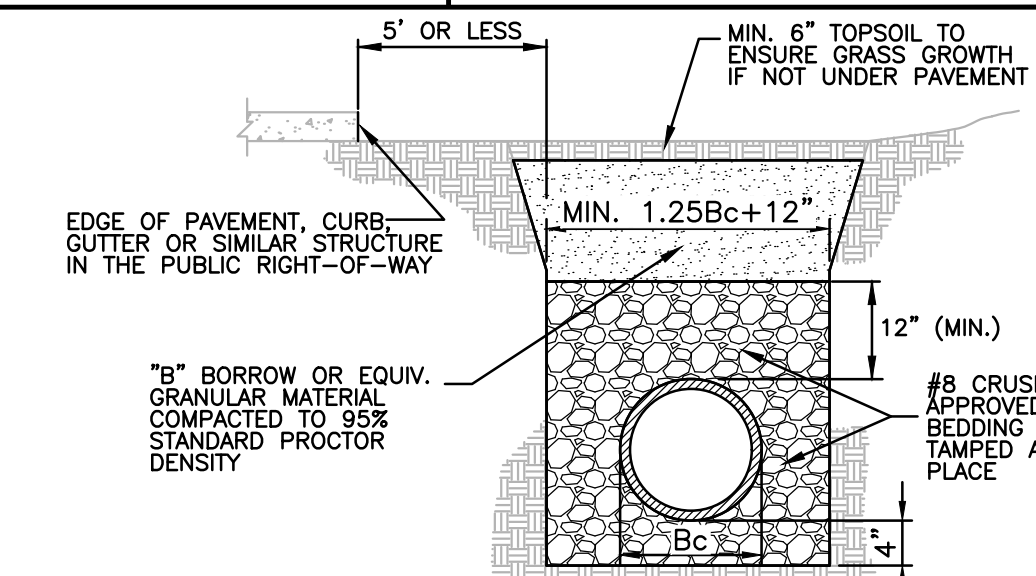
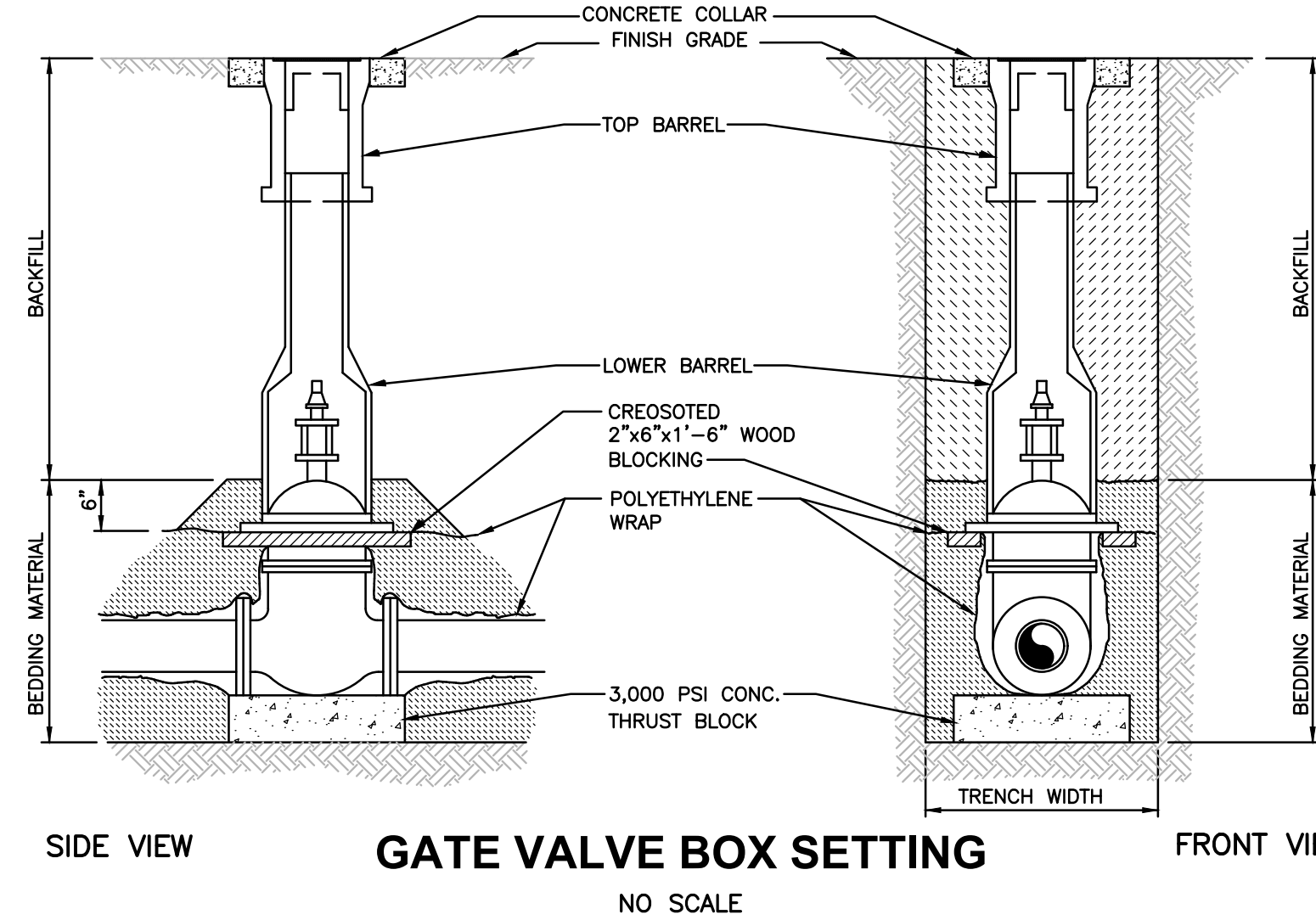


NOBLESVILLE FIRE DEPARTMENT
 CODE ENFORCEMENT DIVISION
 135 S. 9th Street, Noblesville, IN 46060
 Phone: (317) 776-6336 Fax: (317) 776-6376
 http://www.cityofnoblesville.org/fire
 fireinspections@noblesville.in.us



Fire Hydrant Specifications

- A water distribution plan, with the fire hydrants identified, shall be submitted and approved by the Fire Marshal of the City of Noblesville Fire Department prior to construction of a structure.
- All **on-site** fire hydrants shall be located between the curb and sidewalk in the right-of-way. The **5" storz connection** shall face the street.
- The number, size, and arrangement of outlets, the size of the main valve opening and the size of the barrel shall be suitable for the required fire protection.
- The type and installation of fire hydrants shall be approved by the respective Water Utility. Fire Hydrants shall meet the following criteria:
 - Mechanical joint connection for 6" service pipe
 - Minimum of a 5 1/4" diameter main valve opening
 - Two (2) 2 1/2" male outlets with threads being **National Standard**
 - A steamer outlet with a **5" Storz Connection** and a 5" storz cap & chain
 - A main valve seat provided with bronze to bronze threads
 - A "break-a-way" hydrant that allows the barrel to break with a minimal amount of water escaping
 - Four (4) drain holes in the bottom to prevent freezing
 - All **public** hydrants shall be factory painted in the color "**Traffic Yellow**", "**Caution Yellow**", or "**Safety Yellow**" (Do not paint the Storz Connection)
 - All **private** hydrants shall be factory painted in the color "**Safety Red**" or equivalent (Do not paint the Storz Connection)
 - The hydrant shall be operated by a national standard pentagon operating nut (1 1/2 inch)

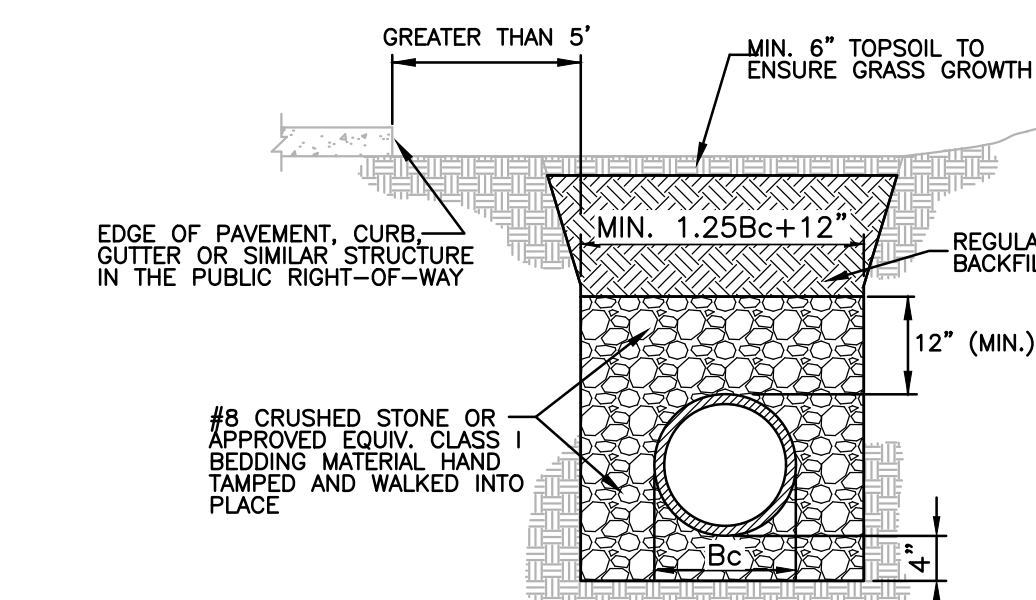


LEGEND

Bc = OUTSIDE DIAMETER
 D = INSIDE DIAMETER
 d = DEPTH OF BEDDING MATERIAL BELOW PIPE

NOTE:
 ALL BEDDING AND INITIAL BACKFILL SHALL BE INSTALLED IN 6" TO 12" BALANCED LIFTS
 A MINIMUM 9" CLEARANCE SHALL BE PROVIDED ON EACH SIDE OF THE INSTALLED PIPE

PLASTIC PIPE (PVC & HDPE) TRENCH DETAIL
 (WITHIN 5' FROM EDGE OF PAVEMENT)
 NO SCALE

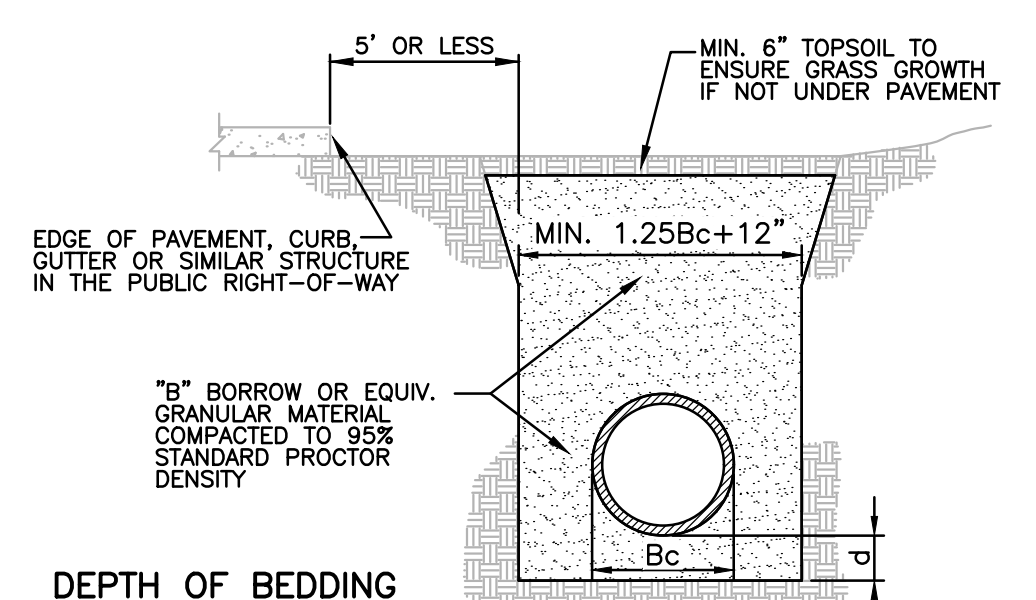


LEGEND

Bc = OUTSIDE DIAMETER
 D = INSIDE DIAMETER
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NOTE:
 ALL BEDDING AND INITIAL BACKFILL SHALL BE INSTALLED IN 6" TO 12" BALANCED LIFTS
 A MINIMUM 9" CLEARANCE SHALL BE PROVIDED ON EACH SIDE OF THE INSTALLED PIPE

PLASTIC PIPE (PVC & HDPE) TRENCH DETAIL
 (GREATER THAN 5' FROM EDGE OF PAVEMENT)
 NO SCALE



DEPTH OF BEDDING MATERIAL BELOW PIPE

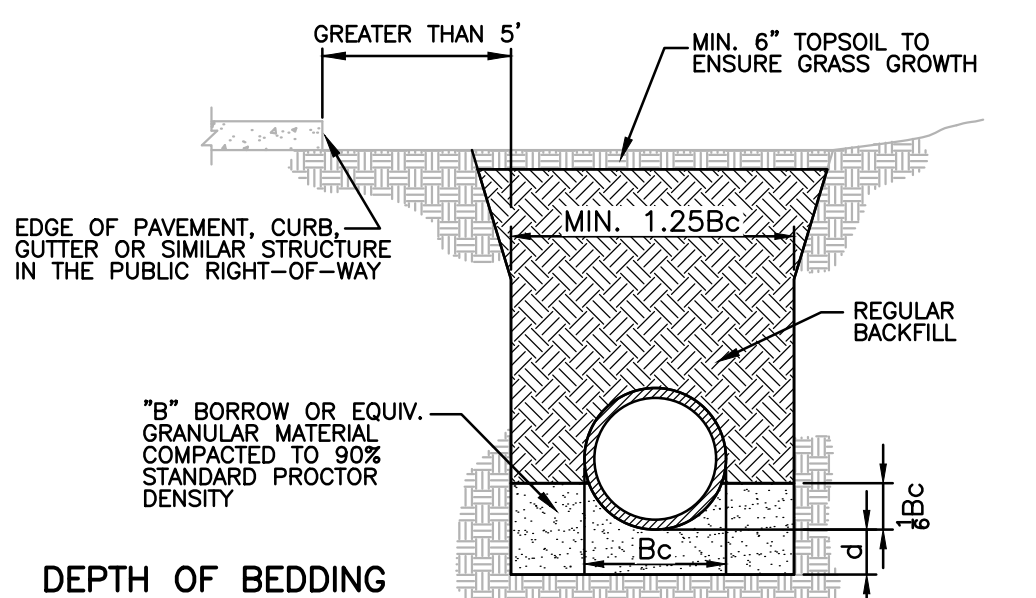
D	(d) MIN.
27" & SMALLER	3"
30" TO 60"	4"
66" & LARGER	6"

NOTE:
 ALL BEDDING AND INITIAL BACKFILL SHALL BE INSTALLED IN 6" TO 12" BALANCED LIFTS
 A MINIMUM 9" CLEARANCE SHALL BE PROVIDED ON EACH SIDE OF THE INSTALLED PIPE

LEGEND

Bc = OUTSIDE DIAMETER
 D = INSIDE DIAMETER
 d = DEPTH OF BEDDING MATERIAL BELOW PIPE

REINFORCED CONCRETE PIPE (RCP) TRENCH DETAIL
 (WITHIN 5' FROM EDGE OF PAVEMENT)
 NO SCALE



DEPTH OF BEDDING MATERIAL BELOW PIPE

D	(d) MIN.
27" & SMALLER	3"
30" TO 60"	4"
66" & LARGER	6"

NOTE:
 ALL BEDDING AND INITIAL BACKFILL SHALL BE INSTALLED IN 6" TO 12" BALANCED LIFTS
 A MINIMUM 9" CLEARANCE SHALL BE PROVIDED ON EACH SIDE OF THE INSTALLED PIPE

LEGEND

Bc = OUTSIDE DIAMETER
 D = INSIDE DIAMETER
 d = DEPTH OF BEDDING MATERIAL BELOW PIPE

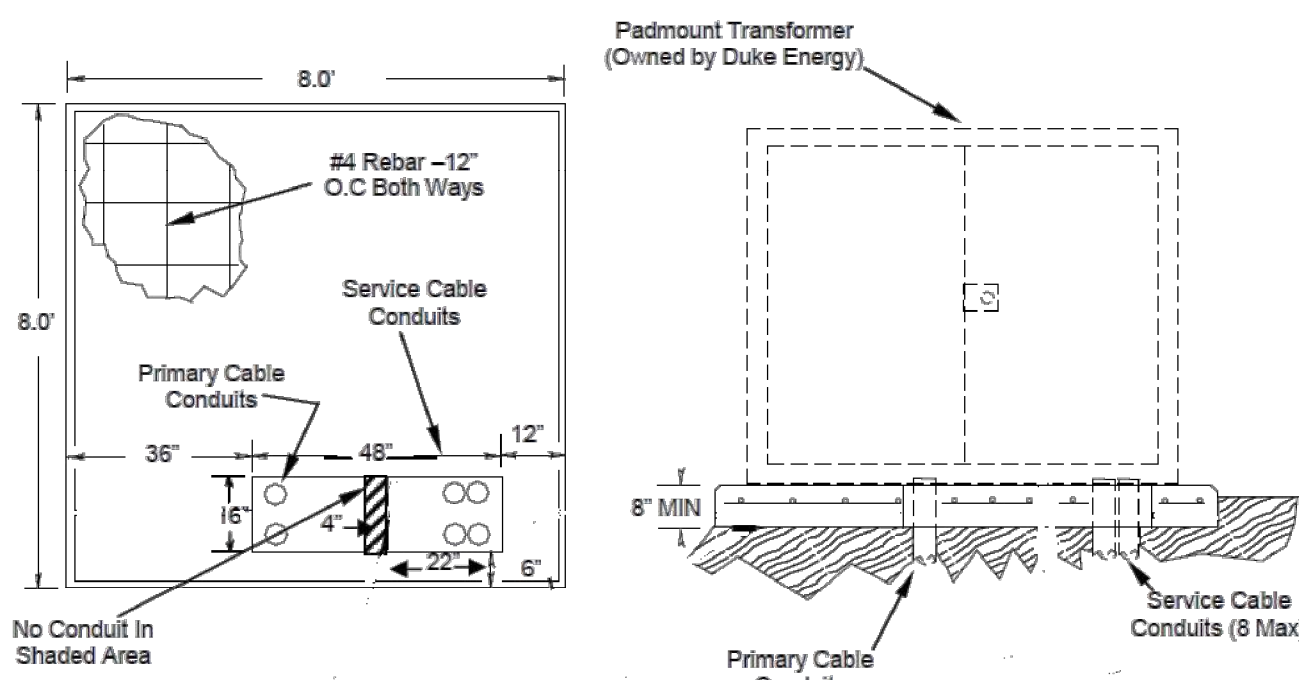
REINFORCED CONCRETE PIPE (RCP) TRENCH DETAIL
 (GREATER THAN 5' FROM EDGE OF PAVEMENT)
 NO SCALE



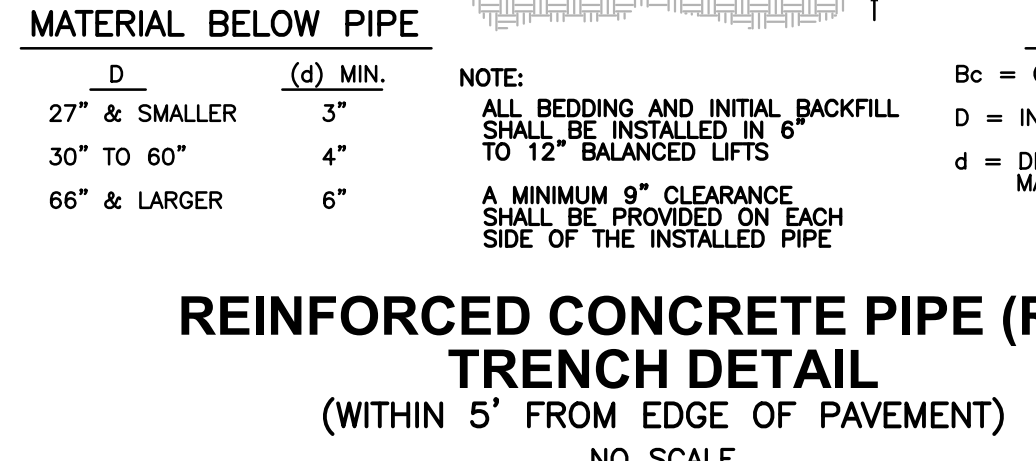
EXHIBIT O

INSTALLATION REQUIREMENTS FOR THREE-PHASE PADMOUNT TRANSFORMER FOUNDATIONS FOR COMMERCIAL OR INDUSTRIAL CUSTOMERS

- Acceptance:** The company reserves the right to refuse service to new installations that do not meet Duke Energy requirements and may elect to remove existing service cables if the customer fails to provide adequate maintenance to customer-owned facilities



- Location:** Duke Energy shall be responsible for determining the final location for the transformer pad. The customer shall provide a level location for a padmount transformer installation as directed by the Company. The three-phase transformer must be located adjacent to and within 10 feet of a driveway or other area accessible to Duke Energy construction and maintenance equipment. No part of the transformer (or transformer pad) may be within 10 feet from any combustible wall, window, or ventilation opening and 20 feet from any doorway in a building. There must be at least three (3) feet of clearance between customer equipment or landscaping and the side of the transformer (or transformer pad) and 10 feet of clearance to the front of the transformer (or transformer pad).



DEPTH OF BEDDING MATERIAL BELOW PIPE

D	(d) MIN.
27" & SMALLER	3"
30" TO 60"	4"
66" & LARGER	6"

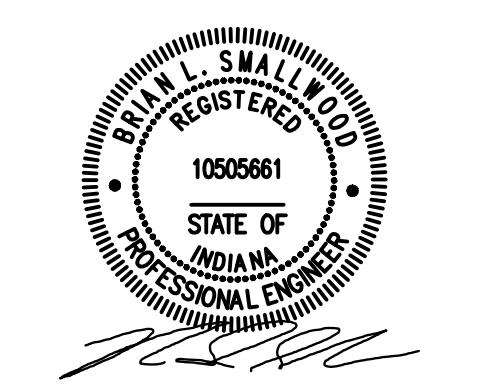
NOTE:
 ALL BEDDING AND INITIAL BACKFILL SHALL BE INSTALLED IN 6" TO 12" BALANCED LIFTS
 A MINIMUM 9" CLEARANCE SHALL BE PROVIDED ON EACH SIDE OF THE INSTALLED PIPE

LEGEND

Bc = OUTSIDE DIAMETER
 D = INSIDE DIAMETER
 d = DEPTH OF BEDDING MATERIAL BELOW PIPE

REINFORCED CONCRETE PIPE (RCP) TRENCH DETAIL
 (GREATER THAN 5' FROM EDGE OF PAVEMENT)
 NO SCALE

WOOLPERT
 ARCHITECTURE | ENGINEERING | GEOSPATIAL
 333 North Alabama Street, Suite 200
 Indianapolis, IN 46204
 317.299.7500



ISSUANCE SCHEDULE	DESCRIPTION
NUMBER	DATE

NOVO DEVELOPMENT GROUP
THE GATEWAY AT HYDE PARK
 PRELIMINARY DEVELOPMENT PLANS
 BROOKS SCHOOL ROAD
 NOBLESVILLE, IN 46060

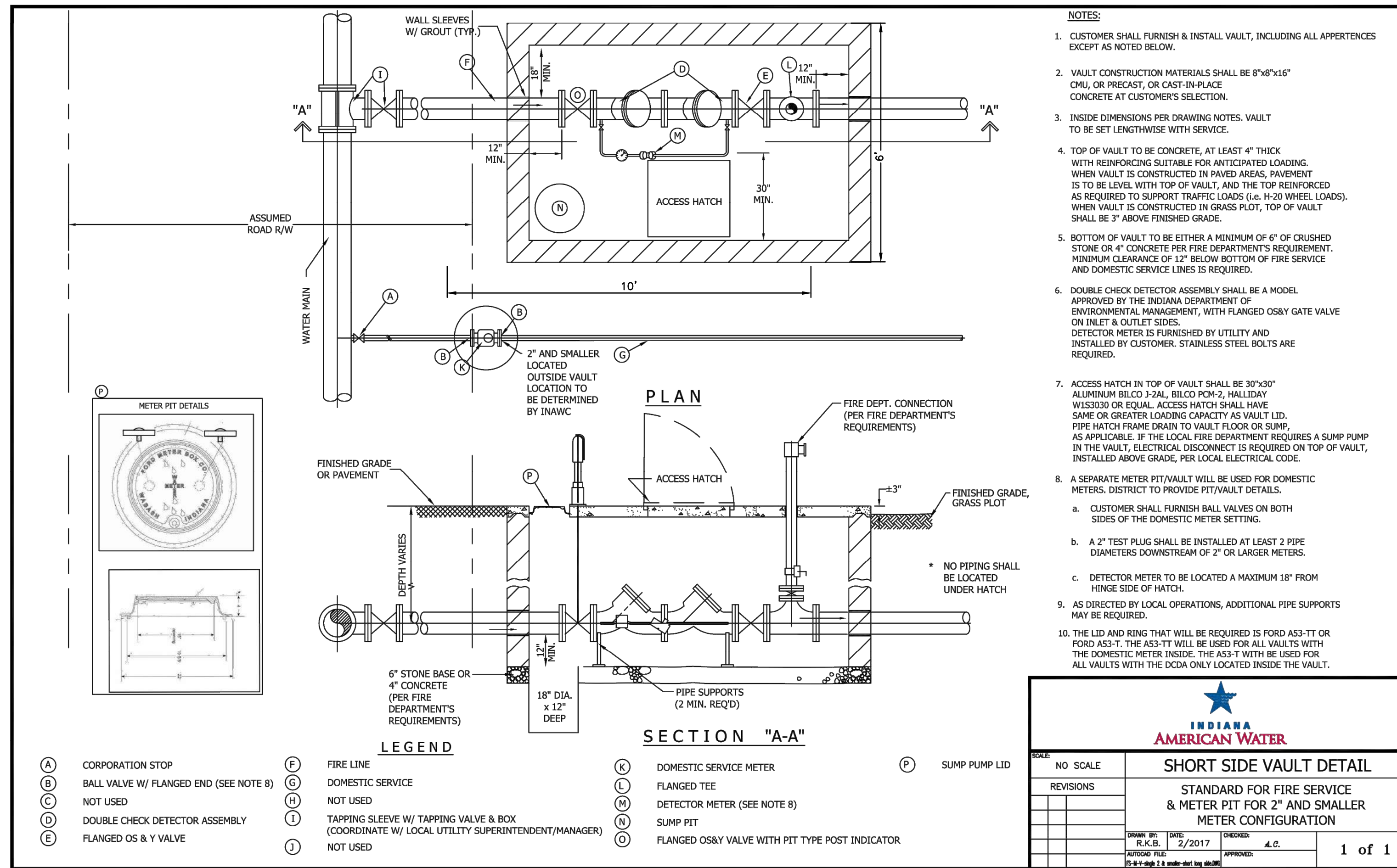
PROJECT NO: 83303
 DATE ISSUED: 09/21/2022
 DESIGNED BY: BAC
 DRAWN BY: BAC
 CHECKED BY: ASJ

SHEET NAME:
DETAILS

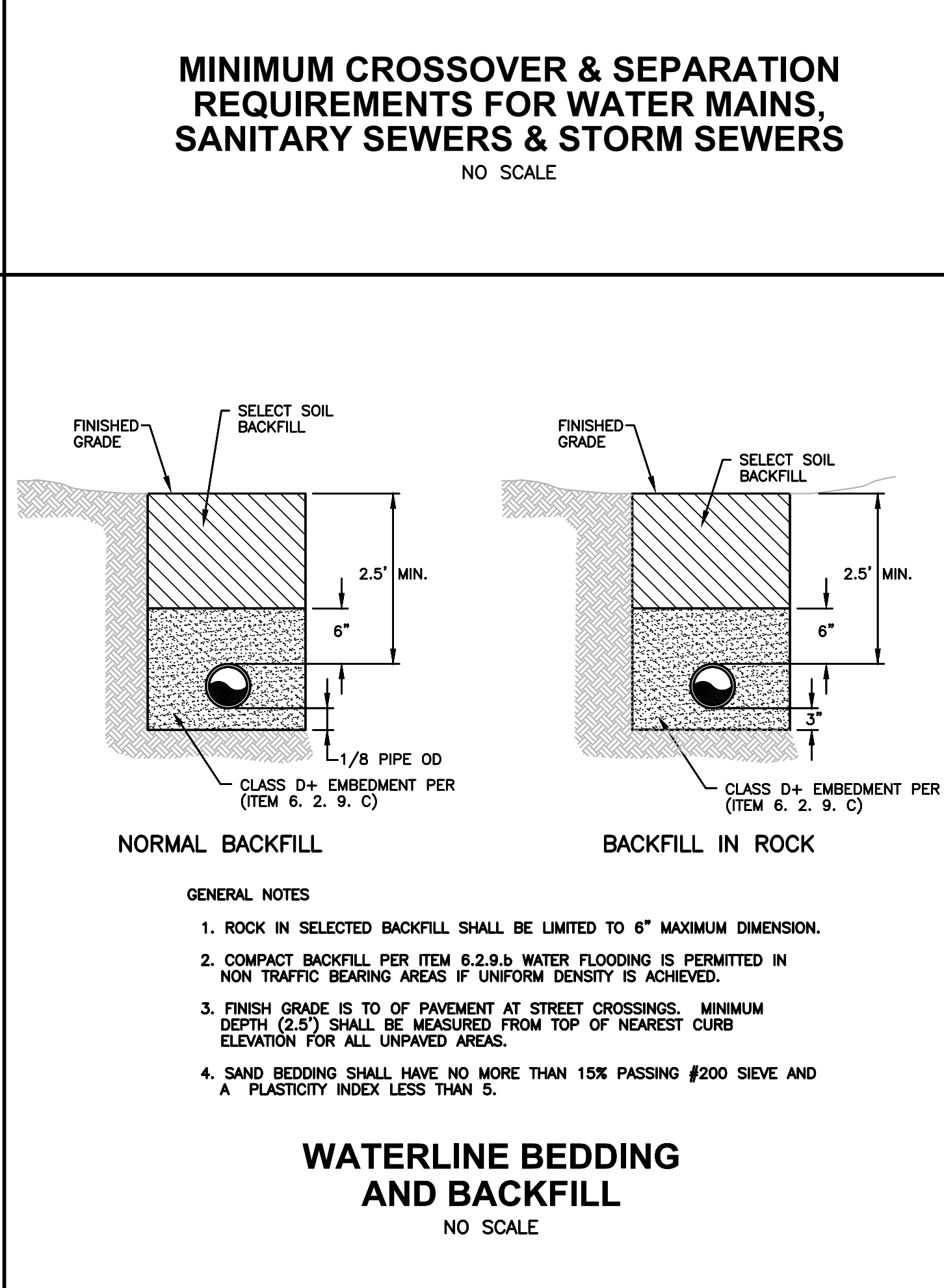
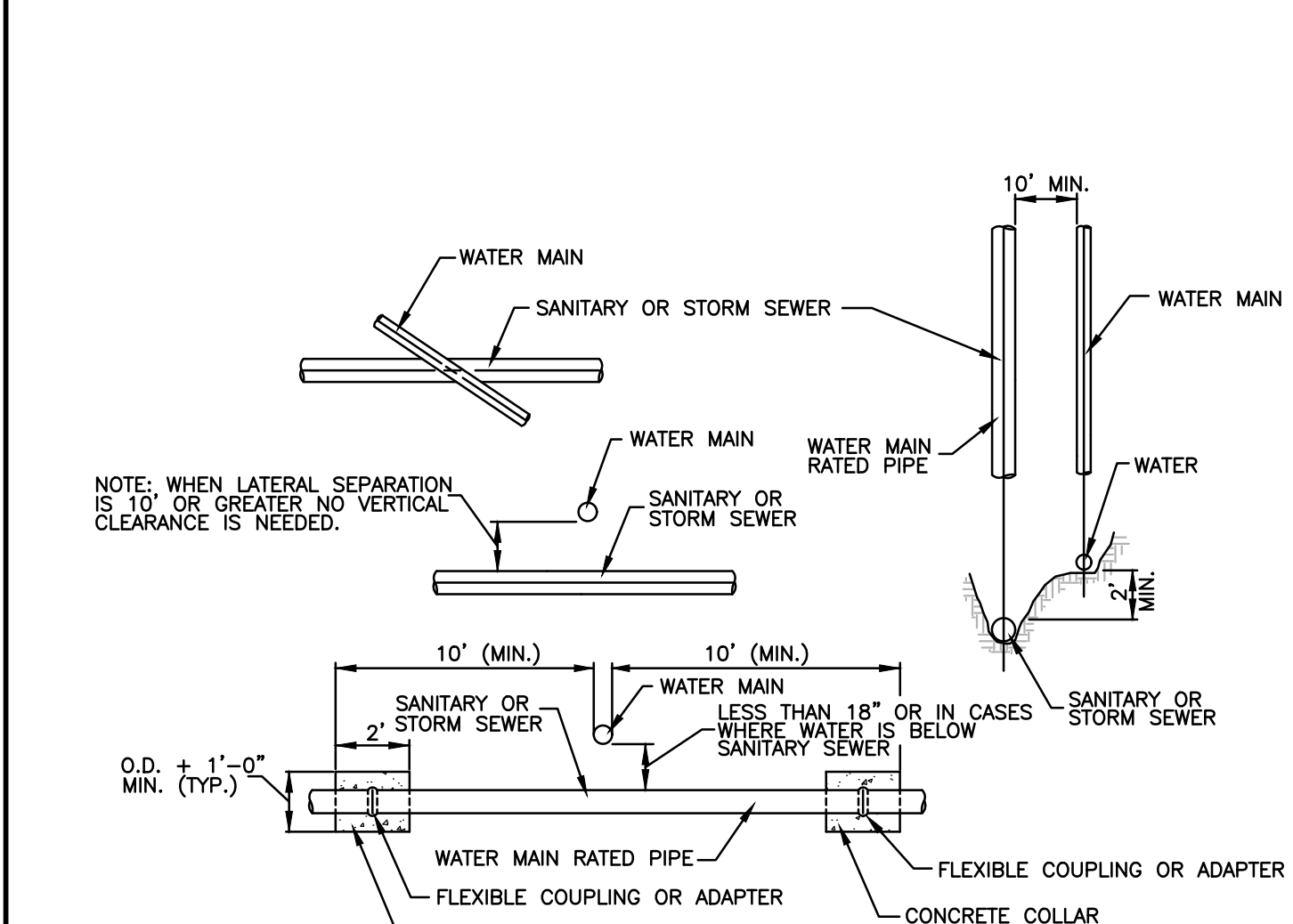
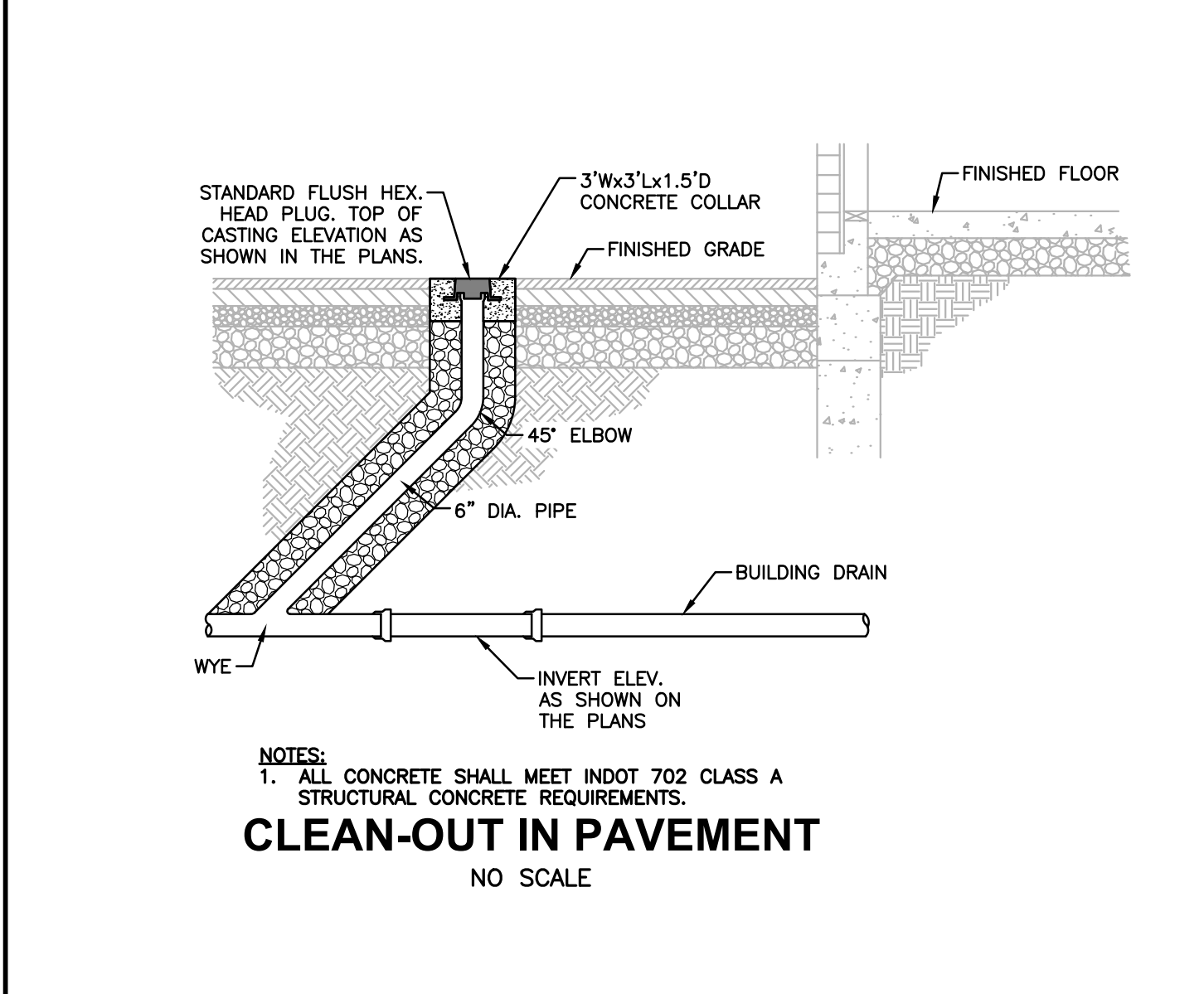
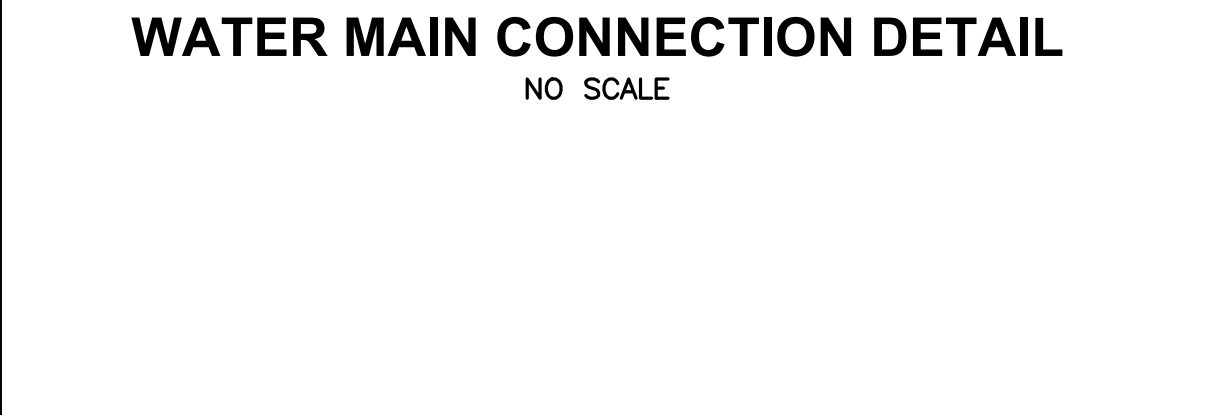
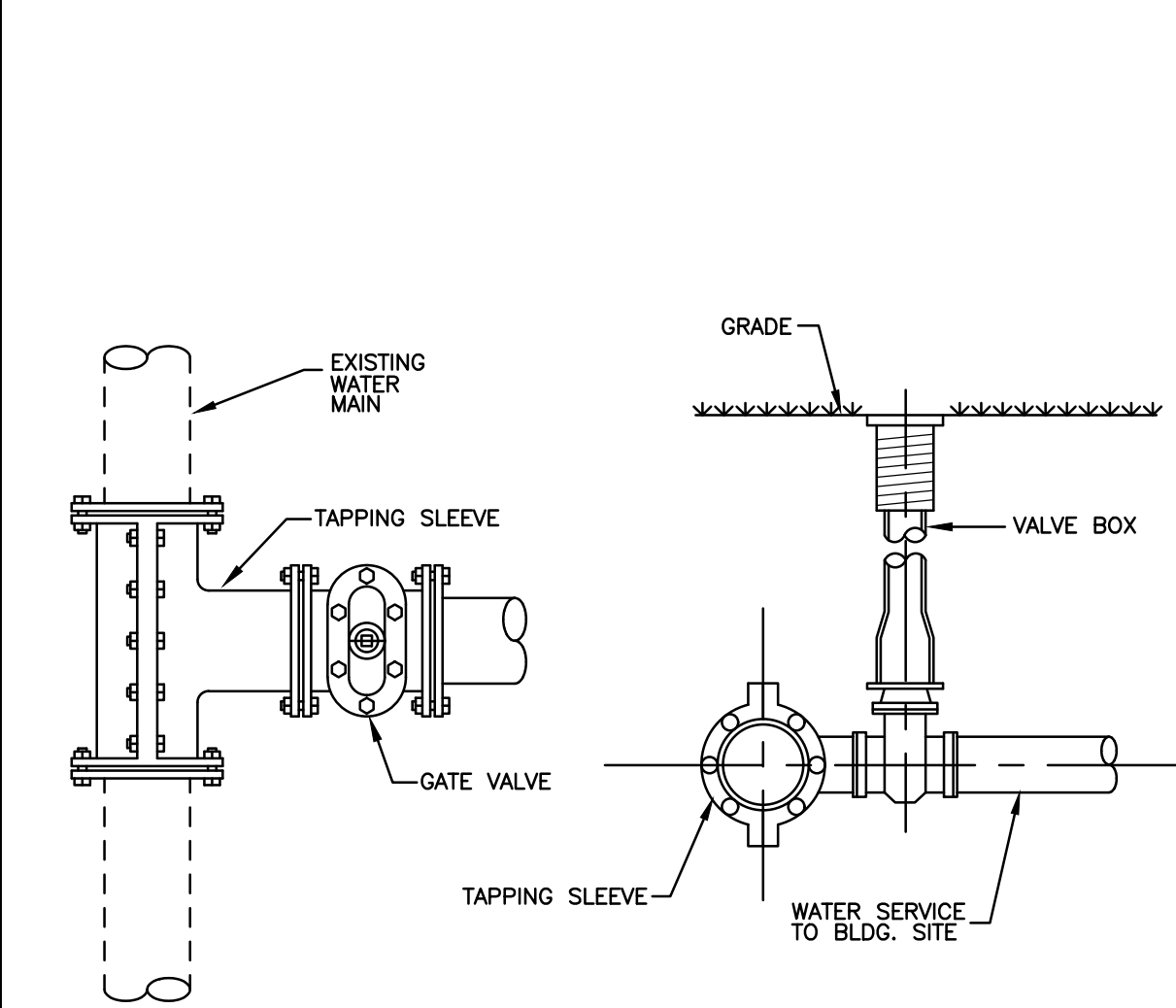
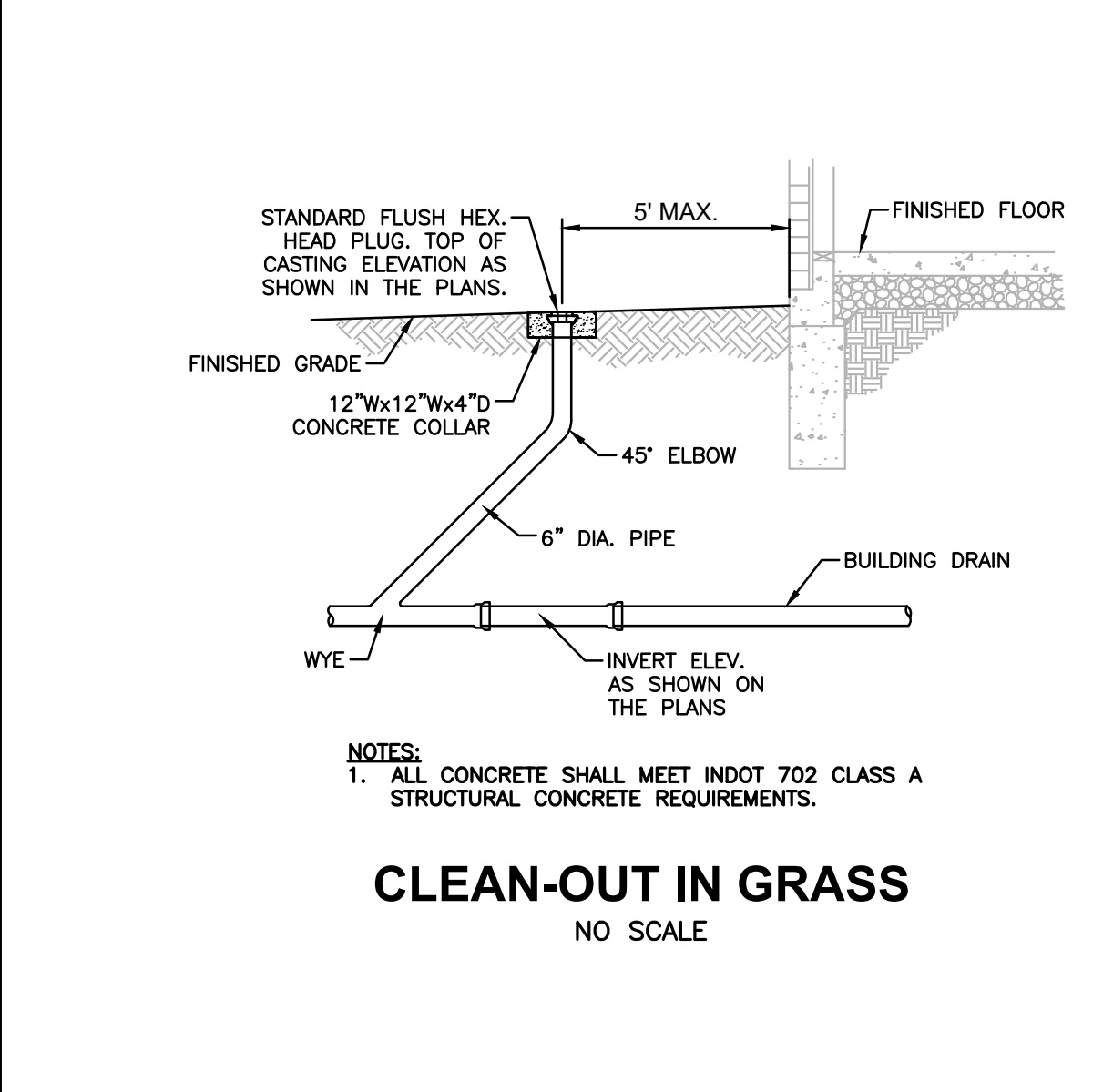
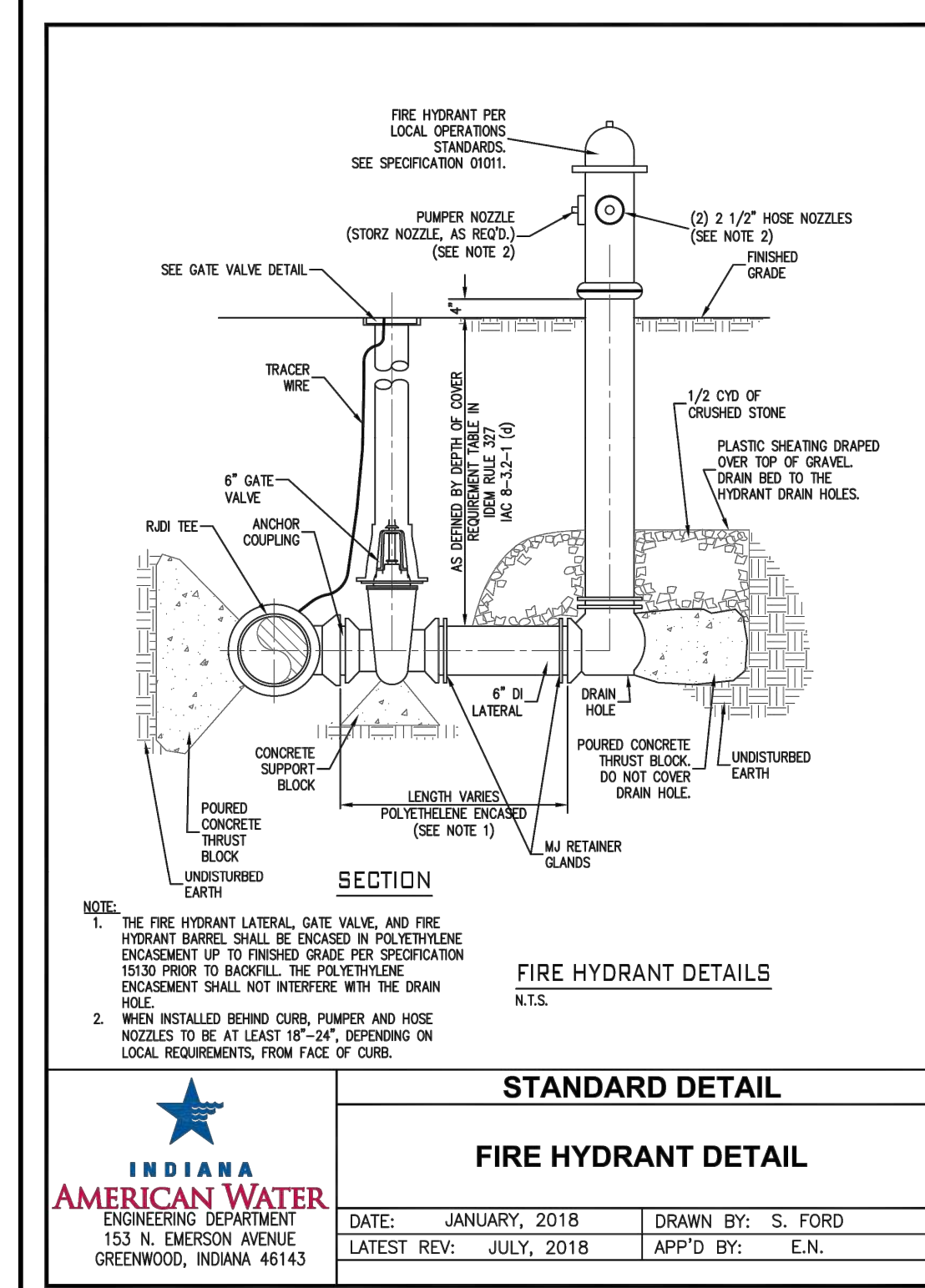
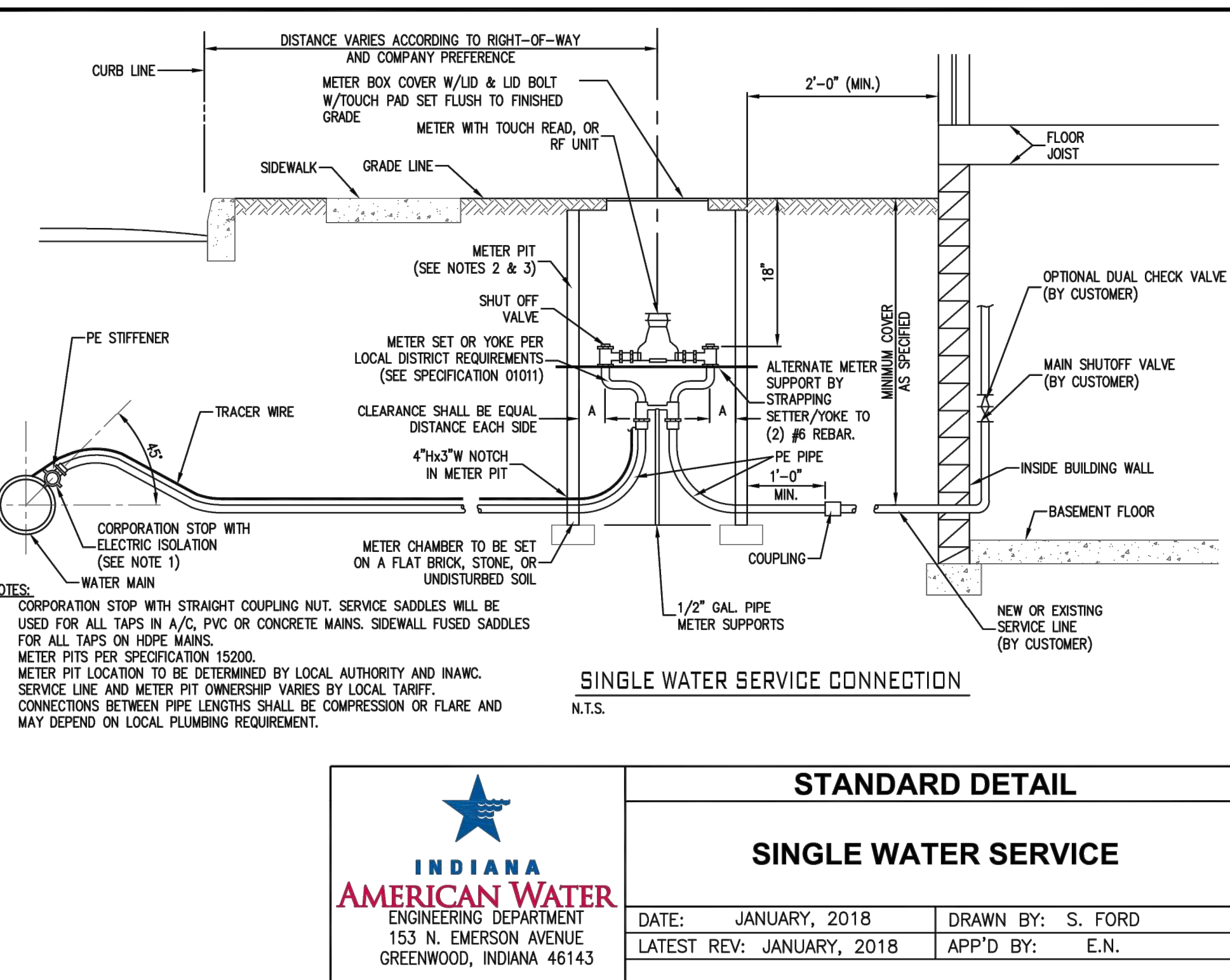
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NOTE: CONTRACTOR TO INSTALL INAWC APPROVED WATTS SERIES 709 MODEL DOUBLE CHECK DETECTOR ASSEMBLY OR APPROVED EQUAL



WOOLPERT
 ARCHITECTURE | ENGINEERING | GEOSPATIAL

333 North Alabama Street, Suite 200
 Indianapolis, IN 46204
 317.299.7500

REGISTERED PROFESSIONAL ENGINEER
 STATE OF INDIANA
 10505661

ISSUANCE SCHEDULE

NUMBER	DATE	DESCRIPTION

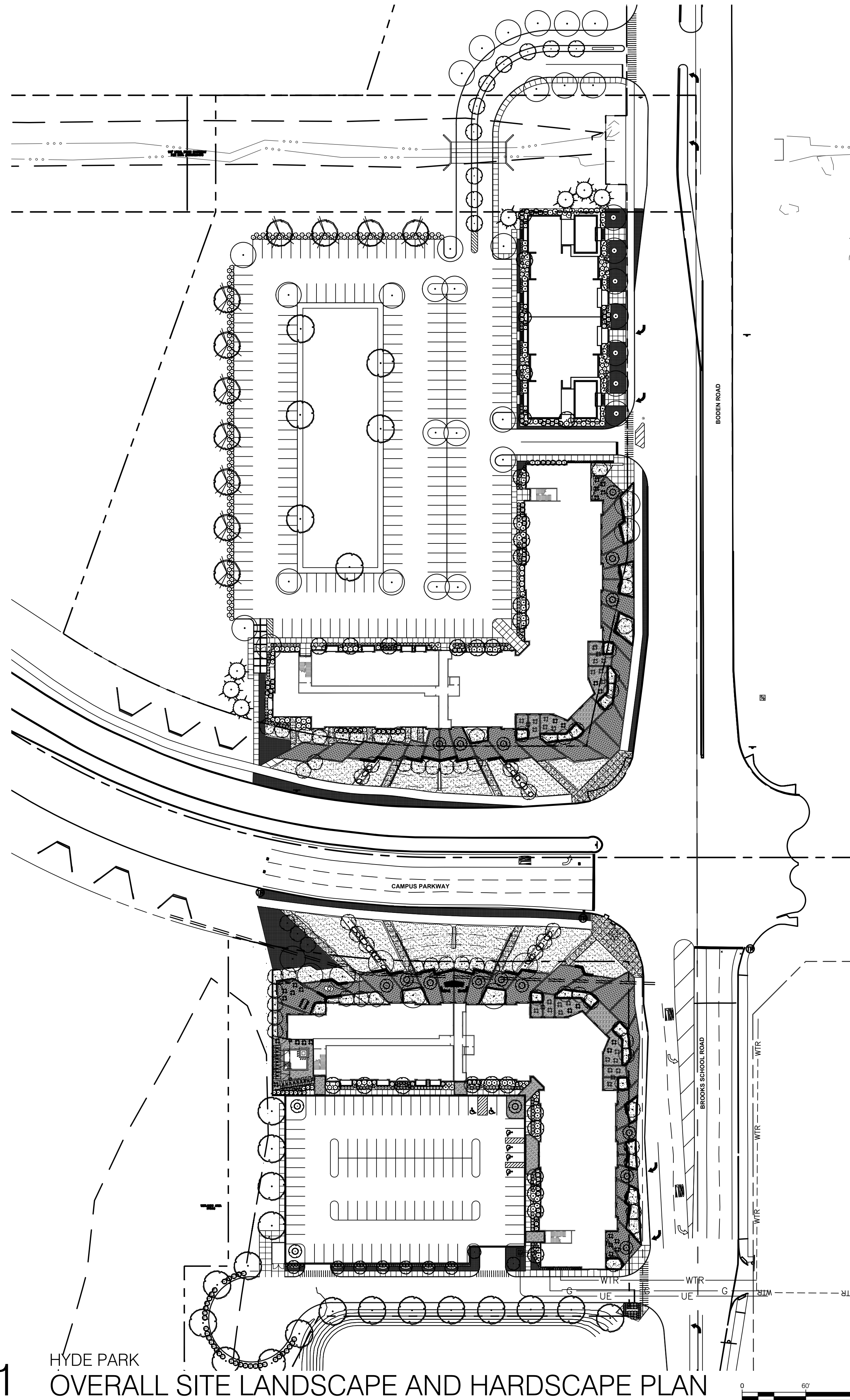
NOVO DEVELOPMENT GROUP
THE GATEWAY AT HYDE PARK
 PRELIMINARY DEVELOPMENT PLANS

BROOKS SCHOOL ROAD
 NOBLESVILLE, IN 46060

PROJECT NO: 83303
 DATE ISSUED: 09/21/2022
 DESIGNED BY: BAC
 DRAWN BY: BAC
 CHECKED BY: ASJ

SHEET NAME: DETAILS
 SHEET NO: C-504

LEGEND			
SYMBOL / PATTERN	QTY.	SIZE AND TYPE	PLANT DESCRIPTION
[Pattern]		SPECIALTY PAVING	
[Pattern]		SPECIALTY PAVING	
[Pattern]		LANDSCAPE BED	MIX OF SHRUBS, GRASSES, PERENNIALS
[Pattern]		CONC. WALK	4" STANDARD FINISH CONCRETE
[Pattern]		TURF SEE MIX	SEE SEEDING NOTES L2.1
[Symbol]	2 1/2" CAL.	SHADE TREE	OAK, HYBRID ELM, GINKGO, LOCUST
[Symbol]	2 1/2" CAL.	SHADE TREE	PARKING PERIMETER SHADE TREE OAK, LOCUST, LONDON PLANETREE
[Symbol]	2 1/2" CAL.	SHADE TREE	MAPLE, LINDEN, ELM
[Symbol]	2 1/2" CAL.	NARROW SHADE TREE	COLUMNAR MAPLE, COLUMNAR OAK COLUMNAR SWEETGUM
[Symbol]	1 1/2" CAL.	ORNAMENTAL TREE	SERVICEBERRY, RED BUD, DOGWOOD, TREE LILAC, MAGNOLIA
[Symbol]	6" H.T.	EVERGREEN TREES	FOUNDATION REQUIREMENTS PARKING PERIMETER SPRUCE, JUNIPER, CEDAR, ARBORVITAE
[Symbol]	#3-#5 GAL	EVERGREEN & ORNAMENTAL SHRUBS	FOUNDATION REQUIREMENTS PARKING PERIMETER VIBURNUM, YEW, JUNIPER, LILAC, ROSE, HYDRANGEA, BOXWOOD, TYP.
[Symbol]	#1 GAL	PERENNIALS ORNAMENTAL GRASS	FOUNDATION REQUIREMENTS FOUNTAIN GRASS, BLACK EYED SUSAN, LIRIOPE, LIATRIS, SHASTA DAISY, DAYLILY, PERENNIAL VARIETY



01 HYDE PARK
OVERALL SITE LANDSCAPE AND HARDSCAPE PLAN

L1.0 1"=60'-0"



Know what's below.
Call before you dig.



design group, llc
landscape
architecture
+
planning
professionals
317.258.5229
jlapp@lappdesigngroup.com

Consultants

Project Info

Gateway at
Hyde Park

Noblesville, IN

PRELIMINARY
DEVELOPMENT
PLAN

***SUBJECT TO COUNTY
APPROVAL FOR
ALTERNATIVES***

PRELIMINARY
NOT FOR CONSTRUCTION

Seal

Drawing Scope

**OVERALL SITE
LANDSCAPE PLAN**
Drawing Info

Drawn: JML
Checked: JML
Date: 09/22/2022
Project No: 22520
Revision:

Sheet No.

L1.0

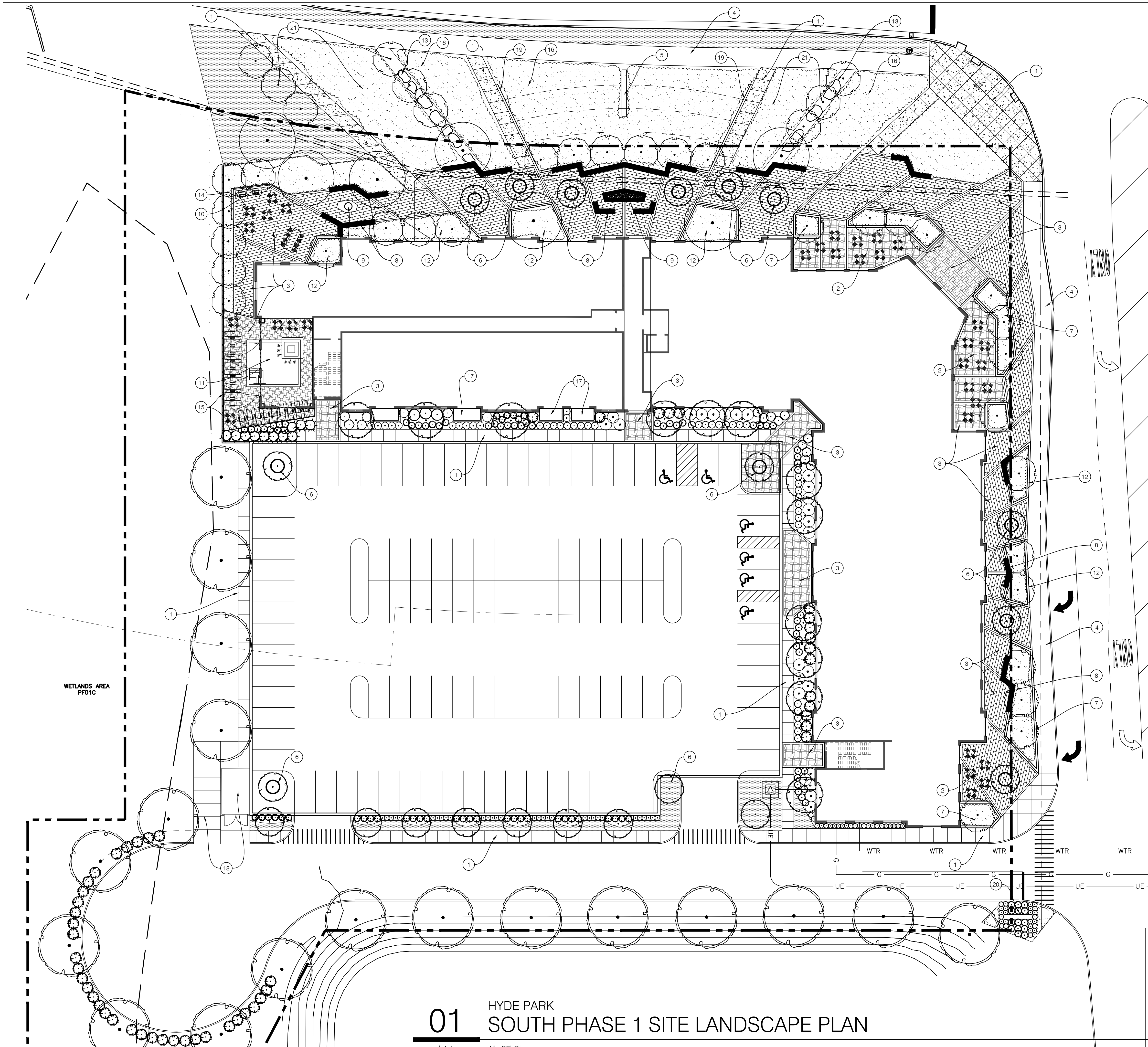
KEY NOTES

- 1 STANDARD 4" CONCRETE PAVEMENT WITH LIGHT BROOM FINISH.
- 2 OUTDOOR DINING AREA
- 3 SPECIALTY PAVEMENT
- 4 8' WIDE ASPHALT MULTI-PURPOSE PATH
- 5 PROPOSED SIGN LOCATION SUBJECT TO COUNTY APPROVAL
- 6 LANDSCAPE POT
- 7 RAISED LANDSCAPE PLANTER
- 8 SEAT WALL BENCH, TYP.
- 9 FIRE PIT FEATURE AREA
- 10 RESIDENT GRILLING STATION
- 11 POOL AMENITY SPACE
- 12 6" CURBED PLANTER
- 13 LIMESTONE BOULDER BANDING
- 14 PRIVACY SCREEN
- 15 POOL FENCE
- 16 LANDSCAPE BED
- 17 PRIVATE RESIDENT PATIO WITH GARDEN WALL
- 18 SERVICE AND UNLOADING AREA
- 19 LANDSCAPE RETAINING WALL
- 20 DESIGNATION SIGN
- 21 TREES AND LANDSCAPING IN R.O.W. SUBJECT TO COUNTY APPROVAL

LEGEND

SYMBOL / PATTERN	QTY.	SIZE AND TYPE	PLANT DESCRIPTION
[Pattern]		SPECIALTY PAVING	
[Pattern]		SPECIALTY PAVING	
[Pattern]		LANDSCAPE BED	MIX OF SHRUBS, GRASSES, PERENNIALS
[Pattern]		CONC. WALK	4" STANDARD FINISH CONCRETE
[Pattern]		TURF SEE MIX	SEE SEEDING NOTES L2.1
[Symbol]	2 1/2" CAL.	SHADE TREE	OAK, HYBRID ELM, GINKGO, LOCUST
[Symbol]	2 1/2" CAL.	SHADE TREE	PARKING PERIMETER SHADE TREE OAK, LOCUST, LONDON PLANETREE
[Symbol]	2 1/2" CAL.	SHADE TREE	MAPLE, LINDEN, ELM
[Symbol]	2 1/2" CAL.	NARROW SHADE TREE	COLUMNAR MAPLE, COLUMNAR OAK, COLUMNAR SWEETGUM
[Symbol]	1 1/2" CAL.	ORNAMENTAL TREE	SERVICEBERRY, RED BUD, DOGWOOD, TREE LILAC, MAGNOLIA
[Symbol]	6' H.T.	EVERGREEN TREES	FOUNDATION REQUIREMENTS PARKING PERIMETER SPRUCE, JUNIPER, CEDAR, ARBORVITAE
[Symbol]	#3-#5 GAL	EVERGREEN & ORNAMENTAL SHRUBS	FOUNDATION REQUIREMENTS PARKING PERIMETER VIBURNUM, YEW, JUNIPER, LILAC, ROSE, HYDRANGEA, BOXWOOD, TYP.
[Symbol]	#1 GAL	PERENNIALS ORNAMENTAL GRASS	FOUNDATION REQUIREMENTS FOUNTAIN GRASS, BLACK EYED SUSAN, LIRIOPE, LIATRIS, SHASTA DAISY, DAYLILY, PERENNIAL VARIETY

BROOKS SCHOOL ROAD



01 HYDE PARK SOUTH PHASE 1 SITE LANDSCAPE PLAN

L1.1 1"=20'-0"



Know what's below.
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Project Info

Gateway at Hyde Park

Noblesville, IN

PRELIMINARY DEVELOPMENT PLAN

SUBJECT TO COUNTY APPROVAL FOR ALTERNATIVES

PRELIMINARY NOT FOR CONSTRUCTION

Seal

Drawing Scope

SOUTH PHASE 1 SITE LANDSCAPE PLAN

Drawing Info

Drawn: JML
Checked: JML
Date: 09/22/2022
Project No: 22520
Revision:

Sheet No.

L1.1

KEY NOTES

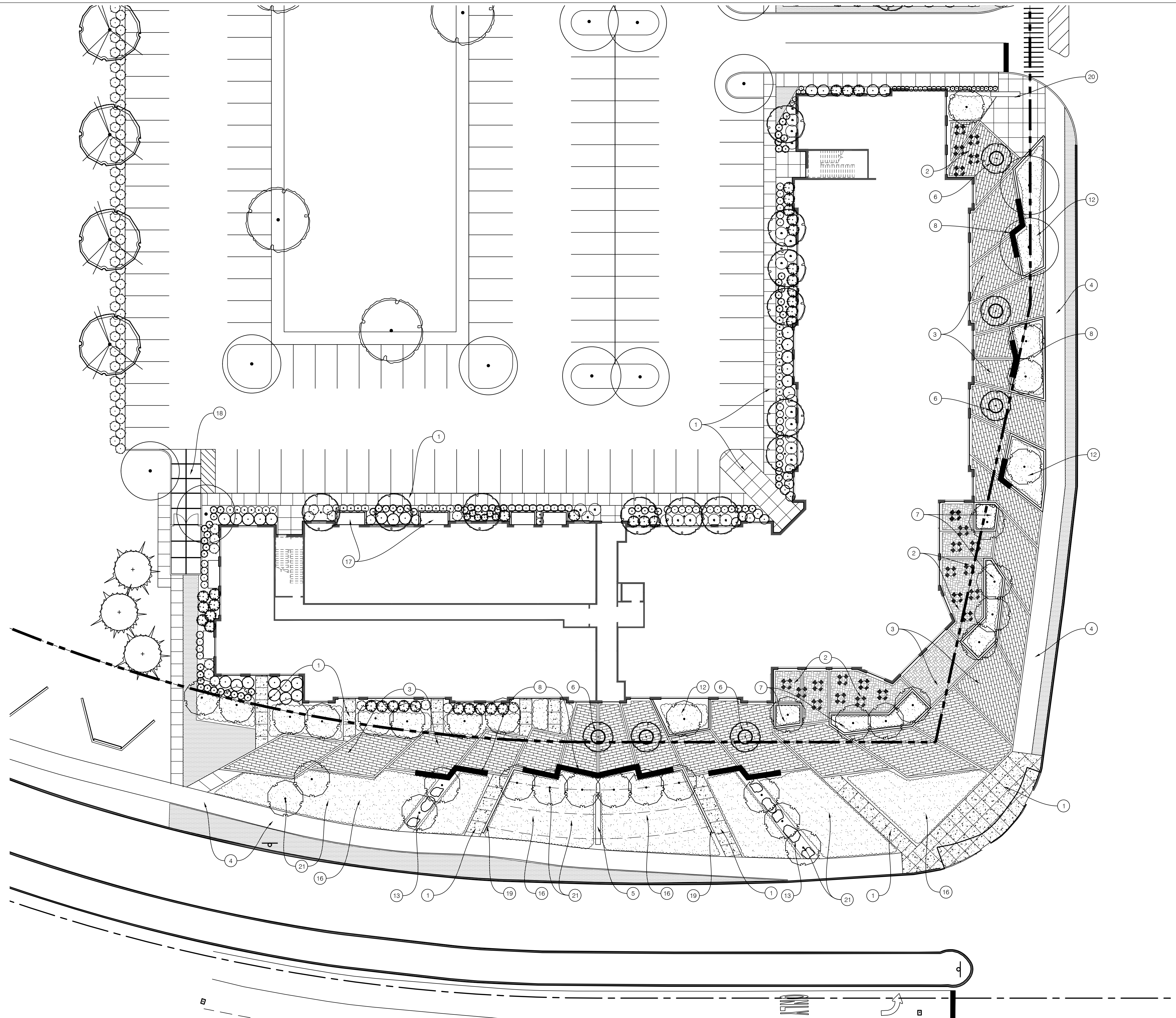
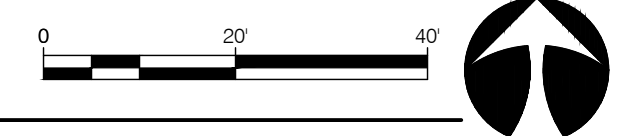
- 1 STANDARD 4" CONCRETE PAVEMENT WITH LIGHT BROOM FINISH.
- 2 OUTDOOR DINING AREA
- 3 SPECIALTY PAVING
- 4 8' WIDE ASPHALT MULTI-PURPOSE PATH
- 5 PROPOSED SIGN LOCATION SUBJECT TO COUNTY APPROVAL
- 6 LANDSCAPE POT
- 7 RAISED LANDSCAPE PLANTER
- 8 SEAT WALL BENCH, TYP.
- 9 FIRE PIT FEATURE AREA
- 10 RESIDENT GRILLING STATION
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- 14 PRIVACY SCREEN
- 15 POOL FENCE
- 16 LANDSCAPE BED
- 17 PRIVATE RESIDENT PATIO WITH GARDEN WALL
- 18 SERVICE AND UNLOADING AREA
- 19 LANDSCAPE RETAINING WALL
- 20 DESIGNATION SIGN
- 21 TREES AND LANDSCAPING IN ROW

LEGEND

SYMBOL / PATTERN	QTY.	SIZE AND TYPE	PLANT DESCRIPTION
[Pattern]		SPECIALTY PAVING	
[Pattern]		SPECIALTY PAVING	
[Pattern]		LANDSCAPE BED	MIX OF SHRUBS, GRASSES, PERENNIALS
[Pattern]		CONC. WALK	4" STANDARD FINISH CONCRETE
[Pattern]		TURF SEE MIX	SEE SEEDING NOTES L2.1
[Symbol]	2 1/2' CAL.	SHADE TREE	OAK, HYBRID ELM, GINKGO, LOCUST
[Symbol]	2 1/2' CAL.	SHADE TREE	PARKING PERIMETER SHADE TREE OAK, LOCUST, LONDON PLANETREE
[Symbol]	2 1/2' CAL.	SHADE TREE	MAPLE, LINDEN, ELM
[Symbol]	2 1/2' CAL.	NARROW SHADE TREE	COLUMNAR MAPLE, COLUMNAR OAK, COLUMNAR SWEETGUM
[Symbol]	1 1/2' CAL.	ORNAMENTAL TREE	SERVICEBERRY, RED BUD, DOGWOOD, TREE LILAC, MAGNOLIA
[Symbol]	6' H.T.	EVERGREEN TREES	FOUNDATION REQUIREMENTS PARKING PERIMETER SPRUCE, JUNIPER, CEDAR, ARBORVITAE
[Symbol]	#3-#5 GAL.	EVERGREEN & ORNAMENTAL SHRUBS	FOUNDATION REQUIREMENTS PARKING PERIMETER VIBURNUM, YEW, JUNIPER, LILAC, ROSE, HYDRANGEA, BOXWOOD, TYP.
[Symbol]	#1 GAL.	PERENNIALS ORNAMENTAL GRASS	FOUNDATION REQUIREMENTS FOUNTAIN GRASS, BLACK EYED SUSAN, LIRIOPE, LIATRIS, SHASTA DAISY, DAYLILY, PERENNIAL VARIETY



Know what's below.
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01 HYDE PARK
NORTH PHASE 2 SITE LANDSCAPE PLAN

L1.2 1"=20'-0"

KEY NOTES

- 1 STANDARD 4" CONCRETE PAVEMENT WITH LIGHT BROOM FINISH.
- 2 OUTDOOR DINING AREA
- 3 SPECIALTY PAVEMENT
- 4 8' WIDE ASPHALT MULTI-PURPOSE PATH
- 5 PROPOSED SIGN LOCATION SUBJECT TO COUNTY APPROVAL
- 6 LANDSCAPE POT
- 7 RAISED LANDSCAPE PLANTER
- 8 SEAT WALL BENCH, TYP.
- 9 FIRE PIT FEATURE AREA
- 10 RESIDENT GRILLING STATION
- 11 POOL AMENITY SPACE
- 12 6" CURBED PLANTER
- 13 LIMESTONE BOULDER BANDING
- 14 PRIVACY SCREEN
- 15 POOL FENCE
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- 17 PRIVATE RESIDENT PATIO WITH GARDEN WALL
- 18 SERVICE AND UNLOADING AREA
- 19 LANDSCAPE RETAINING WALL
- 20 DESIGNATION SIGN
- 21 TREES AND LANDSCAPING IN R.O.W. SUBJECT TO COUNTY APPROVAL

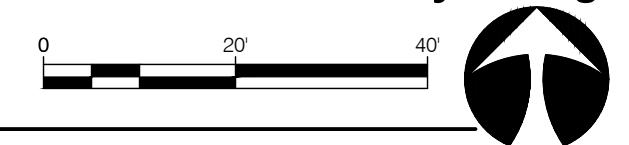
LEGEND

SYMBOL / PATTERN	QTY.	SIZE AND TYPE	PLANT DESCRIPTION
[Pattern]		SPECIALTY PAVING	
[Pattern]		SPECIALTY PAVING	
[Pattern]		LANDSCAPE BED	MIX OF SHRUBS, GRASSES, PERENNIALS
[Pattern]		CONC. WALK	4" STANDARD FINISH CONCRETE
[Pattern]		TURF SEE MIX	SEE SEEDING NOTES L2.1
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[Symbol]	2 1/2' CAL.	SHADE TREE	PARKING PERIMETER SHADE TREE OAK, LOCUST, LONDON PLANETREE
[Symbol]	2 1/2' CAL.	SHADE TREE	MAPLE, LINDEN, ELM
[Symbol]	2 1/2' CAL.	NARROW SHADE TREE	COLUMNAR MAPLE, COLUMNAR OAK, COLUMNAR SWEETGUM
[Symbol]	1 1/2' CAL.	ORNAMENTAL TREE	SERVICEBERRY, RED BUD, DOGWOOD, TREE LILAC, MAGNOLIA
[Symbol]	6 H.T.	EVERGREEN TREES	FOUNDATION REQUIREMENTS PARKING PERIMETER SPRUCE, JUNIPER, CEDAR, ARBORVITAE
[Symbol]	#3-#5 GAL	EVERGREEN & ORNAMENTAL SHRUBS	FOUNDATION REQUIREMENTS PARKING PERIMETER VIBURNUM, YEW, JUNIPER, LILAC, ROSE, HYDRANGEA, BOXWOOD, TYP.
[Symbol]	#1 GAL	PERENNIALS ORNAMENTAL GRASS	FOUNDATION REQUIREMENTS FOUNTAIN GRASS, BLACK EYED SUSAN, LIRIOPE, LIATRIS, SHASTA DAISY, DAYLILY, PERENNIAL VARIETY

BODEN F



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DRAIN EASEMENT #2005024478

01 HYDE PARK
NORTH PHASE 2 SITE LANDSCAPE PLAN

L1.3 1"=20'-0"