

ORDINANCE NO. _____

**AN ORDINANCE TO AMEND THE UNIFIED DEVELOPMENT ORDINANCE,
A PART OF THE COMPREHENSIVE PLAN OF THE CITY OF NOBLESVILLE,
HAMILTON COUNTY, INDIANA**

This is an Ordinance to amend the Unified Development Ordinance for the City of Noblesville, Hamilton County, Indiana (the “UDO”), enacted by the City of Noblesville under authority of Indiana Code § 36-7-4-600, et seq., as amended.

WHEREAS, the Plan Commission of the City of Noblesville (the "Plan Commission") conducted a public hearing on application number _____ (the “Petition”) at its _____, 2022, meeting as required by law in regard to the application filed by Birkla Investment Group, LLC, an Indiana limited liability company (the “Developer”) for a request in change of zoning (the "Petition"); and

WHEREAS, the Plan Commission sent a _____ Recommendation relating to the Petition to the Common Council of the City of Noblesville, Indiana, (the “City Council”) by a vote of __ () in favor and __ () opposed;

NOW, THEREFORE, BE IT ORDAINED by the City Council, meeting in regular session, it hereby adopts this ordinance (the "Ordinance") as an amendment to the UDO and the Official City of Noblesville Zoning Map (the "Zoning Map") to establish this Planned Development Overlay District (the "District") to read as follows:

Section 1. Applicability of Ordinance.

- 1.1 The Zoning Map is hereby changed to designate the subject real estate generally located southwest and northwest of the intersection of Campus Parkway and Brooks School and Boden Roads, more particularly described in **Exhibit A**, attached hereto (the “Real Estate”), as a Planned Development Overlay District to be known as The Gateway at Hyde Park Planned Development (the "District").
- 1.2 The District’s underlying zoning district shall be the Corporate Campus Planned Development District, with an underlying subdistrict of Mixed Residential Subdistrict. The Mixed Residential District is referred to herein as the “Underlying District.”
- 1.3 The standards of the UDO existing on the date of adoption of this Ordinance applicable to the Mixed Residential District shall apply to the development of the District, except as modified, revised, or expressly made inapplicable by this Ordinance. Cross-references to “Article”, “Part”, “Section” and “Subsection” in this Ordinance shall refer to the corresponding Article, Part, Section and Subsection as specified and referenced in the UDO.
- 1.4 All provisions and representations of the UDO that conflict with the provisions of this Ordinance and its exhibits are hereby rescinded as applied to the Real Estate and shall

be superseded by the terms of this Ordinance. All previous PD Ordinances, and any amendments thereto, applicable to the Real Estate are hereby repealed with respect to the Real Estate.

Section 2. Definitions.

- 2.1 The general rules of construction set forth in Article 2 of the UDO and the definitions set forth in this Ordinance shall apply to the regulations of this Ordinance. Capitalized terms that are not otherwise defined herein and are defined in the UDO shall have the meaning ascribed to them in the UDO.
- 2.2 “Preliminary Development Plan” shall mean the oversized, scaled development plans on file with the City of Noblesville’s Planning and Development Department dated September 21 and 22, 2022. The exhibit attached hereto as **Exhibit B** is a general representation of the oversized plans (collectively, the “Preliminary Development Plan”). A copy of the approved plans is also attached hereto as **Exhibit D**.
- 2.3 “Approved Elevations” shall mean the set of mixed-use building elevations on file with the City of Noblesville’s Planning and Development Department, as reviewed and approved by the City’s Architectural Review Board at its August 17, 2022, meeting. The exhibit attached hereto as **Exhibit C** is a sampling and general representation of those approved elevations (collectively, the “Approved Elevations”).

Section 3. Permitted Uses.

- 3.1 All uses permitted in the Commercial and Commercial/Office land use categories in Appendix D of the UDO shall be permitted within the District. Multi-Family Dwellings and associated uses shall be permitted within the District. There shall be a maximum of 236 Multi-Family Dwelling Units.
- 3.2 Accessory Uses and Accessory Buildings customarily incidental to the permitted uses shall be permitted.

Section 4. Preliminary Development Plan.

- 4.1 The Preliminary Development Plan is hereby incorporated and approved. Pursuant to Article 8 of the UDO, the Preliminary Development Plan is intended to establish the basic goals and policies, bulk standards, variations from the Underlying District and layout of the District.

Section 5. Architectural Standards.

- 5.1 The following standards shall apply to the District:
 - A. The Approved Elevations are hereby incorporated and approved. All mixed-use buildings and multi-family buildings shall be substantially consistent with the Approved Elevations. The Director of Planning and Development, including his or her designees, shall review for compliance and approve building elevations at the time of filing of the Detailed Development Plan and/or Building Permit.
 - B. If a building elevation does not comply with Section 5.1A, then the proposed building elevation(s) shall be submitted for review and approval by the

Architectural Review Board. The Architectural Review Board's review of the building elevation(s) shall be performed in order to determine its compatibility and consistency with the intended quality and character of the District and the Approved Elevations.

Section 6. **Title, Purpose and Effect.** The regulations of *ARTICLE 1. TITLE, PURPOSE AND EFFECT* shall apply.

Section 7. **Definitions and Rules of Word Usage.** The regulations of *ARTICLE 2. DEFINITIONS AND RULES OF WORD USAGE* shall apply.

Section 8. **Administrative Bodies and Officials.** The regulations of *ARTICLE 3. ADMINISTRATIVE BODIES AND OFFICIALS* shall apply.

Section 9. **Zoning Applications and Approvals.** The regulations of *ARTICLE 4. ZONING APPLICATIONS AND APPROVALS* shall apply.

Section 10. **Subdivision Procedure.** The regulations of *ARTICLE 5. SUBDIVISION PROCEDURE* shall apply.

Section 11. **Site Design and Improvement Standards.** The regulations of *ARTICLE 6. SITE DESIGN AND IMPROVEMENT STANDARDS* shall apply, except as modified below:

- 11.1 ***Article 6, Part A, Section 5.F. Sidewalks:*** Shall not apply to the internal drives. Instead, sidewalks shall be provided as shown on the Preliminary Development Plan.
- 11.2 ***Article 6, Part C, Section 2.B.2. Corner Lots:*** Shall not apply.
- 11.3 ***Article 6, Part D, Section 1.D – G. Streets and Roads:*** Shall not apply because all internal drives are private. Instead, internal circulation shall be provided as shown on the Preliminary Development Plan.
- 11.4 ***Article 6, Part D, Section 3. Sidewalks and Pedestrian Access:*** Shall not apply to the internal drives. Instead, sidewalks shall be provided as shown on the Preliminary Development Plan.

Section 12. **Plans, Maps, and Zoning Districts.** The regulations of *ARTICLE 7. PLANS, MAPS, AND ZONING DISTRICTS* shall apply.

Section 13. **Zoning Districts.** The regulations of *ARTICLE 8. ZONING DISTRICTS* shall apply, except as modified below:

- 13.1 ***Article 8, Part A, Section 5. Landscaping and Screening:*** Shall not apply. Instead, landscaping and screening shall be provided as shown on the Preliminary Development Plan.
- 13.2 ***Table 8.B. Summary of Residential Bulk Requirements and Article 8(E)(4)(B) and (C) (Mixed Use Residential Subdistrict Regulations):*** Shall not apply. Instead, the following requirements shall apply:

Min. Lot Area	2 acres
Min. Lot Width	150'
Maximum Building Height	75'
Campus Parkway, Boden Road and Brooks School Road Building Setback	0'
All Other Perimeter Setbacks	15' (side and rear yards)
Floor Area Ratio	Not Applicable
Min. Floor Area	700 SF/Unit
Maximum Lot Coverage	Not Applicable

Note: Accessory structures such as entry monument signs, roundabout walls and gateway structures shall be permitted within the building setbacks, subject to the City Engineering Department's approval.

- 13.3 **Article 8, Part E, Section 5.B.8.c. Roofs:** Shall not apply. Instead, the following shall apply: All rooftop equipment, including vents greater than 1 foot in height, shall be screened from street level view to the greatest extent possible to preclude viewing of same from directly adjacent public rights-of-ways by parapet walls, rooftop walls or recesses in sloped roofs.
- 13.4 **Article 8, Part E, Section 6. Parking/Loading:** Shall not apply. Instead, parking and loading shall be as shown on the approved Preliminary Development Plan.
- 13.5 **Article 8, Part H, Section 3.F.1.b. Establishment of Site Development Intensity:** Shall not apply. Instead, the maximum number of Dwelling Units within the District shall not exceed two hundred fifty (250).
- 13.6 **Article 8, Part H, Section 3.F.2. Establishment of Peripheral Yard:** Shall not apply. Instead, perimeter landscaping shall be as shown on the approved Preliminary Development Plan.
- 13.7 **Article 8, Part H, Section 3.H. Designation of Permanent Common Open Space:** Shall not apply in light of the District's inclusion within the overall Hyde Park master plan.

Section 14. General Regulations. The regulations of *ARTICLE 9. GENERAL REGULATIONS* shall apply, except as modified below.

- 14.1 **Article 9, Part A, Section 3. Number of Buildings per Lot:** Shall not apply.
- 14.2 **Article 9, Part A, Section 8. Vision Corner Clearance:** Shall not apply. Instead, the vision corner clearance as shown in the Preliminary Development Plan shall apply.

Section 15. Off-Street Parking and Loading. The regulations of *ARTICLE 10. OFF-STREET PARKING AND LOADING* shall apply, except as modified below:

- 15.1 **Table 10.0.3.B. Required Parking Spaces:** Shall not apply; instead, parking spaces shall be provided as follows:

Use	Parking Spaces Required
Multi-Family Dwellings	1.5 per unit
Commercial	4 per 1000 sf
Office	3 per 1000 sf

- 15.2 **Table 10.0.4.A. Off-Street Parking Dimensions:** Shall apply, except the vehicle projection for a ninety-degree (90°) parking stall shall be eighteen (18) feet and aisle width shall be 22' minimum and a typical module will be 58'.
- 15.3 **Article 10, Section 4.B.1. Dimensions and Layout:** Shall not apply; instead, the off-street parking shall be located as shown on the approved Preliminary Development Plan.
- 15.4 **Article 10, Section 4.C.2. Driveways:** Shall not apply; instead, the entrances and exits shall be as generally shown on the approved Preliminary Development Plan.
- 15.5 **Article 10, Section 4.C.4. Location of Parking and Loading Behind Required Setback:** Shall not apply; instead, the parking and loading shall be as generally shown on the approved Preliminary Development Plan.
- 15.6 **Article 10, Section 4.D.3. Marking of Parking:** Shall apply, except bumper guards or wheel guards shall not be required. Instead, curbs shall be integrated with the sidewalk.
- 15.7 **Article 10, Section 6.A. and B. Pedestrian Access:** Shall not apply. Instead, the pedestrian walkways shall be as shown generally on the approved Preliminary Development Plan.
- 15.8 **Article 10, Section 9. Required Off-Street Loading Standards:** Shall not apply.

Section 16. Signs. The regulations of *ARTICLE 11. SIGNS* shall apply, except as modified below:

- 16.1 **Article 11, Part B, Section 2. Sign Calculation Standards:** Shall not apply. Instead, signs shall comply substantially with the sign package attached hereto as **Exhibit E**.
- 16.2 **Article 11, Part B, Section 3.A. Design:** Shall not apply. Instead, signs shall comply substantially with the sign package attached hereto as **Exhibit E**.
- 16.3 **Article 11, Part C. Signs:** Shall not apply. Instead, signs shall comply substantially with the sign package attached hereto as **Exhibit E**. The sign package shows the conceptual intent and the sizes for the proposed ground and building signs. Wayfinding, directional, informational, traffic control, incidental and similar signage are not shown on **Exhibit E** and shall be permitted per the UDO.
- 16.4 **Additional Provisions**

- A. **Vision Clearance.** Monument (ground) signs shall not be established within the vision corner clearance areas and are subject to approval by the Planning Department and Engineering Department.
- B. **Building Mounted Signs.** All building mounted signs shall be individual lettering and, if lit, shall be back-lit.

Section 17. Landscaping and Screening. The regulations of *ARTICLE 12. LANDSCAPING AND SCREENING* shall not apply. Instead, landscaping and screening shall be as shown generally on the approved Preliminary Development Plan.

Section 18. Environmental Performance Standards. The regulations of *ARTICLE 13. ENVIRONMENTAL PERFORMANCE STANDARDS* shall apply.

Section 19. Nonconforming Uses and Structures. The regulations of *ARTICLE 14. NONCONFORMING USES AND STRUCTURES* shall apply.

Section 20. Enforcement. The regulations of *ARTICLE 15. ENFORCEMENT* shall apply.

Section 21. Procedures.

- 21.1 **Detailed Development Plan.** Approval of a Detailed Development Plan (“DDP”) shall follow the procedures set out in Article 8, subject to the following clarification: (i) the Director of Planning and Zoning shall approve Minor Changes; and (ii) if a DDP includes a Major Change from the approved Preliminary Development Plan, then, prior to approval of the DDP, an amended Preliminary Development Plan shall be submitted to the City for review by the Technical Advisory Committee and then for review and approval by the Plan Commission following a public hearing. A Major Change from the approved Preliminary Development Plan shall be reviewed and approved by the Technical Advisory Committee and the Plan Commission based upon compliance with the development standards set forth herein and shall be compatible and consistent with the intended quality and character of the District. A Secondary Plat shall be submitted for review and approval as part of any approved DDP.
- 21.2 **Major Change.** For purposes of this Ordinance, a “Major Change” shall mean: (i) a substantial change to the **location** of a perimeter entrance as shown on the Preliminary Development Plan; and (ii) significant changes to the drainage management systems, including, but not limited to, BMP’s and legal drains.
- 21.3 **Minor Change.** For purposes of this Ordinance, a “Minor Change” shall mean any change that: (i) is not a Major Change; and (ii) is consistent with the intent of this Ordinance and consistent with the quality and character represented in this Ordinance for the District. Specifically, changes to the internal street configurations and building configurations, are expected and shall be deemed to be Minor Changes for purposes of this Ordinance.

Approved on this _____ day of _____, 2022 by the Common Council of the City of Noblesville, Indiana:

AYE		NAY	ABSTAIN
	Brian Ayer		
	Mark Boice		
	Michael J. Davis		
	Gregory P. O'Connor		
	Darren Peterson		
	Pete Schwartz		
	Aaron Smith		
	Dan Spartz		
	Megan G. Wiles		

ATTEST: _____
 Evelyn L. Lees, City Clerk

Presented by me to the Mayor of the City of Noblesville, Indiana, this _____ day of _____, 2022 at _____ .M.

 Evelyn L. Lees, City Clerk

MAYOR'S APPROVAL

 Chris Jensen, Mayor

 Date

MAYOR'S VETO

 Chris Jensen, Mayor

 Date

ATTEST: _____
 Evelyn L. Lees, City Clerk

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security Number in this document, unless required by law: Steven D. Hardin

Prepared by: Steven D. Hardin, Attorney-At-Law, Faegre Drinker Biddle & Reath, LLP
600 East 96th Street, Suite 600, Indianapolis, Indiana 46032 | (317) 569-9600.

EXHIBIT A
REAL ESTATE

PART OF THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 18 NORTH, RANGE 5 EAST OF THE SECOND PRINCIPAL MERIDIAN, HAMILTON COUNTY, INDIANA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID NORTHEAST QUARTER; THENCE ALONG THE EAST LINE THEREOF SOUTH 00 DEGREES 05 MINUTES 55 SECONDS EAST (BASIS OF BEARINGS) 924.01 FEET; THENCE SOUTH 89 DEGREES 39 MINUTES 18 SECONDS WEST 65.00 FEET TO THE WEST LINE OF THE LAND OF CITY OF NOBLESVILLE AS DESCRIBED IN INSTRUMENT NO. 2006017144 IN THE OFFICE OF THE RECORDER OF HAMILTON COUNTY, INDIANA AND THE POINT OF BEGINNING; THENCE THE FOLLOWING EIGHT (8) COURSES ALONG THE LINES OF SAID LAND DESCRIBED IN INSTRUMENT NO. 2006017144; (1) SOUTH 00 DEGREES 05 MINUTES 55 SECONDS EAST 150.99 FEET; (2) SOUTH 89 DEGREES 54 MINUTES 08 SECONDS WEST 20.00 FEET; (3) SOUTH 00 DEGREES 05 MINUTES 51 SECONDS EAST 65.00 FEET; (4) NORTH 89 DEGREES 54 MINUTES 09 SECONDS EAST 20.00 FEET; (5) SOUTH 00 DEGREES 05 MINUTES 51 SECONDS EAST 350.00 FEET; (6) SOUTH 12 DEGREES 13 MINUTES 57 SECONDS WEST 183.71 FEET; (7) NORTH 89 DEGREES 59 MINUTES 47 SECONDS WEST 138.77 FEET TO A POINT ON A CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 645.00 FEET AND A CHORD BEARING NORTH 73 DEGREES 21 MINUTES 06 SECONDS WEST 369.50 FEET; (8) NORTHWESTERLY ALONG SAID CURVE 374.75 FEET; THENCE NORTH 19 DEGREES 49 MINUTES 01 SECONDS EAST 422.79 FEET; THENCE NORTH 00 DEGREES 01 MINUTES 14 SECONDS WEST 110.00 FEET; THENCE NORTH 89 DEGREES 58 MINUTES 46 SECONDS EAST 141.24 FEET; THENCE NORTH 17 DEGREES 42 MINUTES 10 SECONDS EAST 137.12 FEET; THENCE NORTH 89 DEGREES 39 MINUTES 18 SECONDS EAST 204.51 FEET TO THE POINT OF BEGINNING, CONTAINING 6.76 ACRES MORE OR LESS.

ALSO INCLUDING:

A PART OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 18 NORTH, RANGE 5 EAST, FALL CREEK TOWNSHIP, HAMILTON COUNTY, STATE OF INDIANA AND BEING A PORTION OF A PARCEL OF REAL ESTATE DESCRIBED IN THAT CERTAIN DEED TO THE CITY OF NOBLESVILLE, PER INST. NO. 2006-17144, AS RECORDED IN THE HAMILTON COUNTY RECORDER'S OFFICE, STATE OF INDIANA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

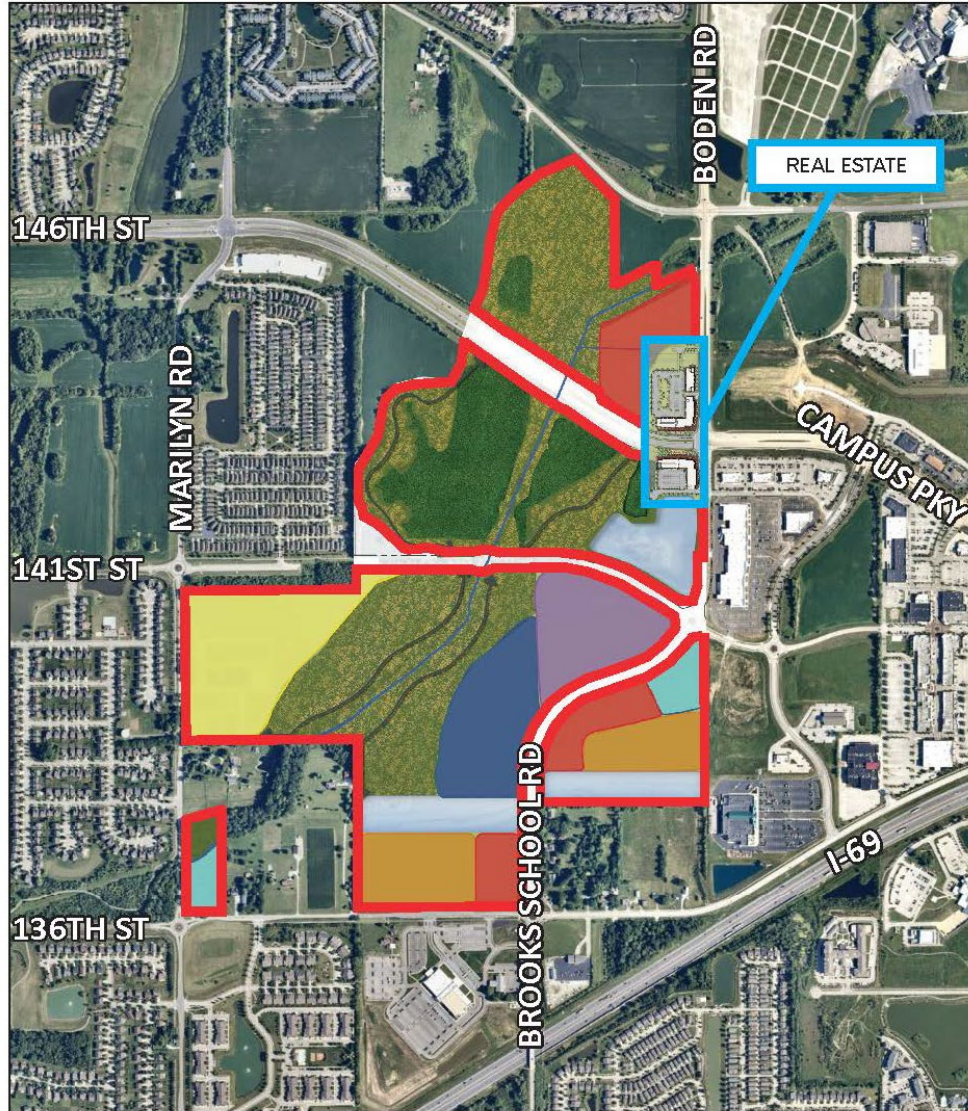
COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 22, THENCE SOUTH 00 DEGREES 05 MINUTES 55 SECONDS EAST, ALONG THE EAST LINE THEREOF, 1874.93 FEET TO THE SOUTHEAST CORNER OF PARCEL #18 (RIGHT OF WAY FOR EAST 146TH STREET) IN SAID INST. NO. 2006-17144; THENCE NORTH 89 DEGREES 59 MINUTES 51 SECONDS WEST, ALONG THE SOUTH LINE THEREOF, 65.00 FEET TO THE POINT OF BEGINNING OF THE REAL ESTATE DESCRIBED HEREIN; THENCE SOUTH 00 DEGREES 05 MINUTES 55 SECONDS EAST, PARALLEL TO SAID EAST QUARTER SECTION LINE, 200.00 FEET; THENCE NORTH 89 DEGREES 59 MINUTES 51 SECONDS WEST, PARALLEL TO SAID SOUTH RIGHT OF WAY LINE, 178.68 FEET TO THE POINT OF CURVATURE OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 1050.00 FEET, THE RADIUS POINT OF WHICH BEARS NORTH 00 DEGREES 00 MINUTES 09 SECONDS EAST; THENCE NORTHWESTERLY ALONG SAID CURVE AN ARC LENGTH OF 83.96 FEET TO A POINT WHICH BEARS SOUTH 04 DEGREES 35 MINUTES 03 SECONDS WEST FROM SAID RADIUS POINT; THENCE SOUTH 04 DEGREES 35 MINUTES 03 SECONDS WEST, ALONG A RADIAL LINE FROM SAID PREVIOUS CURVE, 25.00 FEET TO A POINT ON A NON-TANGENT CURVE TO THE RIGHT

HAVING A RADIUS OF 1075.00 FEET; THENCE NORTHWESTERLY ALONG SAID CURVE AN ARC LENGTH OF 267.66 FEET TO A POINT ON THE EAST LIMITS OF THE FLOODWAY FOR SAND CREEK, PER FLOOD INSURANCE RATE MAP #18057C0255F FOR HAMILTON COUNTY, WHICH POINT BEARS SOUTH 18 DEGREES 51 MINUTES 00 SECONDS WEST FROM SAID RADIUS POINT, THE FOLLOWING SIX (6) CALLS BEING ALONG SAID SAND CREEK FLOODWAY LIMITS, (1) THENCE NORTH 22 DEGREES 08 MINUTES 09 SECONDS EAST 25.04 FEET; (2) THENCE NORTH 20 DEGREES 19 MINUTES 33 SECONDS EAST 57.68 FEET; (3) THENCE NORTH 17 DEGREES 52 MINUTES 16 SECONDS EAST 50.00 FEET; (4) THENCE NORTH 15 DEGREES 34 MINUTES 13 SECONDS EAST 55.55 FEET; (5) THENCE NORTH 14 DEGREES 08 MINUTES 14 SECONDS EAST 26.72 FEET; (6) THENCE NORTH 13 DEGREES 38 MINUTES 48 SECONDS EAST 10.31 FEET TO A POINT ON THE AFORESAID SOUTH RIGHT OF WAY LINE OF EAST 146TH STREET, PER SAID INST. NO. 2006-17144; SAID POINT BEING A POINT OF CURVATURE OF A CURVE TO THE LEFT, HAVING A RADIUS OF 850.00 FEET, THE RADIUS POINT OF WHICH BEARS NORTH 19 DEGREES 08 MINUTES 10 SECONDS EAST; THENCE SOUTHEASTERLY ALONG SAID CURVE AN ARC LENGTH OF 283.85 FEET TO A POINT WHICH BEARS SOUTH 00 DEGREES 00 MINUTES 09 SECONDS WEST FROM SAID RADIUS POINT; THENCE SOUTH 89 DEGREES 59 MINUTES 51 SECONDS EAST, ALONG SAID SOUTH RIGHT OF WAY LINE, 178.33 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION, CONTAINING 2.40 ACRES, MORE OR LESS.

ALSO INCLUDING:

PART OF THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 18 NORTH, RANGE 5 EAST OF THE SECOND PRINCIPAL MERIDIAN, HAMILTON COUNTY, INDIANA, DESCRIBED AS FOLLOWS:

COMMENCING AT A HARRISON MONUMENT MARKING THE SOUTHEAST CORNER OF THE NORTHEAST QUARTER; THENCE ALONG THE EAST LINE THEREOF NORTH 00 DEGREES 05 MINUTES 55 SECONDS WEST (BASIS OF BEARINGS) 793.84 FEET; THENCE NORTH 89 DEGREES 59 MINUTES 51 SECONDS WEST 65.00 FEET TO THE NORTHEAST CORNER OF THE LAND OF MAB CAPITAL INVESTMENTS LLC AS DESCRIBED IN TRACT II OF INSTRUMENT NO. 2019059131 IN THE OFFICE OF THE RECORDER OF HAMILTON COUNTY, INDIANA; THENCE ALONG THE EAST LINE OF SAID TRACT II SOUTH 00 DEGREES 05 MINUTES 55 SECONDS EAST 200.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 00 DEGREES 05 MINUTES 55 SECONDS EAST 134.51 FEET; THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS WEST 292.69 FEET; THENCE SOUTH 27 DEGREES 40 MINUTES 42 SECONDS WEST 60.68 FEET; THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS WEST 98.67 FEET; THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST 100.88 FEET; THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS EAST 41.50 FEET; THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST 80.99 FEET TO THE SOUTH LINE OF THE AFORESAID TRACT II IN INSTRUMENT NO. 2019059131 AND A POINT ON A CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 1075.00 FEET AND A CHORD BEARING SOUTH 82 DEGREES 22 MINUTES 08 SECONDS EAST 114.28 FEET; THENCE THE FOLLOWING FOUR (4) COURSES ALONG THE SOUTH LINE OF SAID TRACT II; (1) SOUTHEASTERLY ALONG SAID CURVE 114.33 FEET; (2) NORTH 04 DEGREES 35 MINUTES 03 SECONDS EAST 25.00 FEET TO A POINT ON A CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 1050.00 FEET AND A CHORD BEARING SOUTH 87 DEGREES 42 MINUTES 24 SECONDS EAST 83.94 FEET; (3) SOUTHEASTERLY ALONG SAID CURVE 83.96 FEET; (4) SOUTH 89 DEGREES 59 MINUTES 51 SECONDS EAST 178.68 FEET TO THE POINT OF BEGINNING, CONTAINING 1.31 ACRES MORE OR LESS.



 HYDE PARK

EXHIBIT B
PRELIMINARY DEVELOPMENT PLAN



THE GATEWAY AT HYDE PARK
NOBLESVILLE, IN | SEPTEMBER 2022

EXHIBIT C
SAMPLING AND GENERAL REPRESENTATION
OF THE APPROVED ELEVATIONS



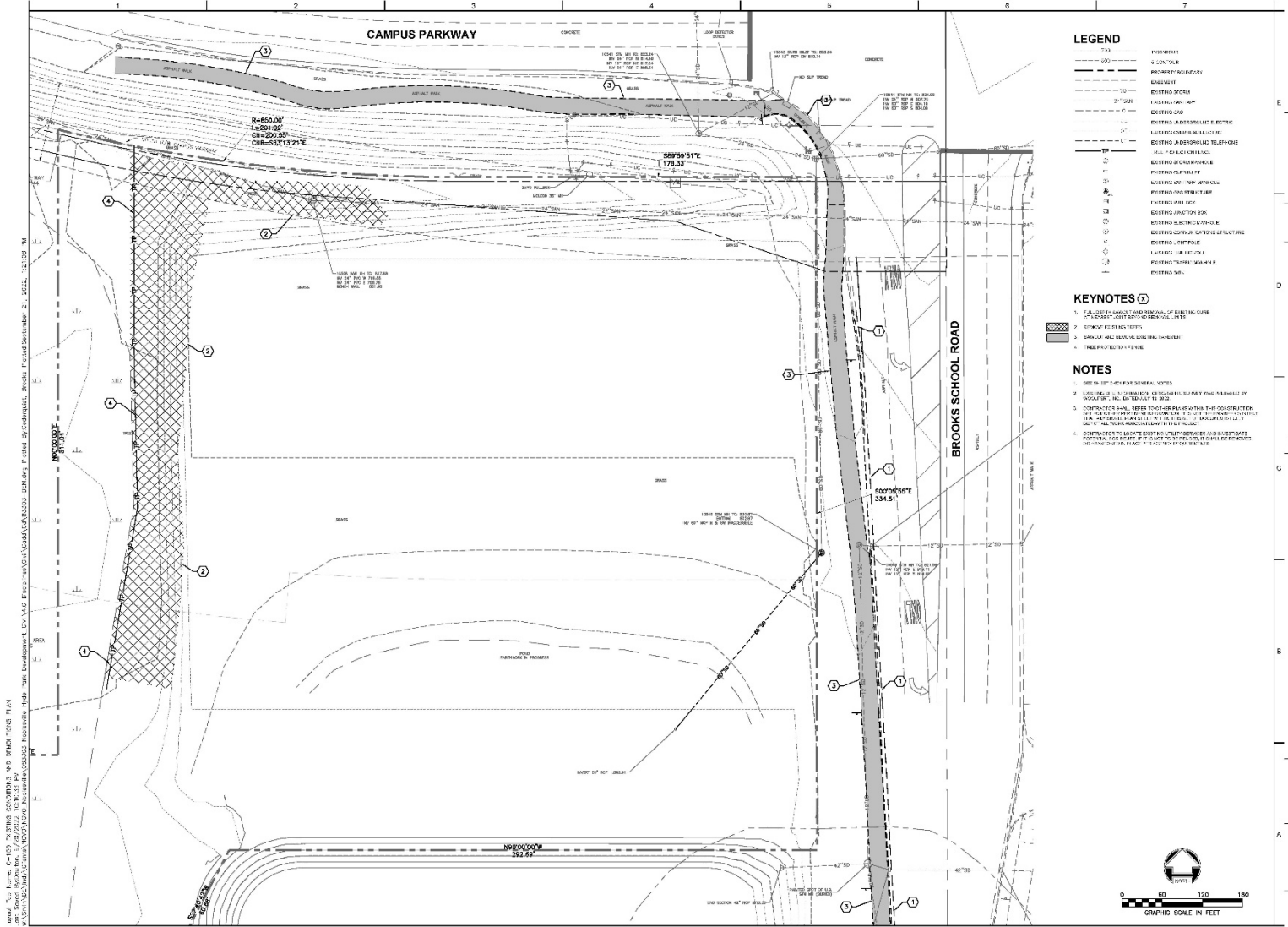
EXHIBIT C, CONT.
SAMPLING AND GENERAL REPRESENTATION
OF THE APPROVED ELEVATIONS



EXHIBIT C, CONT.
SAMPLING AND GENERAL REPRESENTATION
OF THE APPROVED ELEVATIONS



EXHIBIT D, CONT. PRELIMINARY DEVELOPMENT PLAN



LEGEND	
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---	PROPERTY BOUNDARY
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KEYNOTES	
1	EXISTING TRAFFIC LIGHT
2	EXISTING TRAFFIC LIGHT
3	EXISTING TRAFFIC LIGHT
4	EXISTING TRAFFIC LIGHT

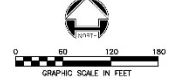
- NOTES**
- SEE SHEET C-100 FOR GENERAL NOTES.
 - CONSTRUCTION SHALL BE AS SHOWN UNLESS INDICATED OTHERWISE.
 - CONSTRUCTION SHALL BE AS SHOWN UNLESS INDICATED OTHERWISE.
 - CONSTRUCTION SHALL BE AS SHOWN UNLESS INDICATED OTHERWISE.
 - CONSTRUCTION SHALL BE AS SHOWN UNLESS INDICATED OTHERWISE.

WOOLPERT
ARCHITECTURE | ENGINEERING | SURVEYING
333 North Alabama Street, Suite 200
Indianapolis, IN 46204
317.285.7500



NOVO DEVELOPMENT GROUP
THE GATEWAY AT HYDE PARK
 PRELIMINARY DEVELOPMENT PLANS
 BROOKS SCHOOL ROAD
 WINDYVILLE, IN 46089

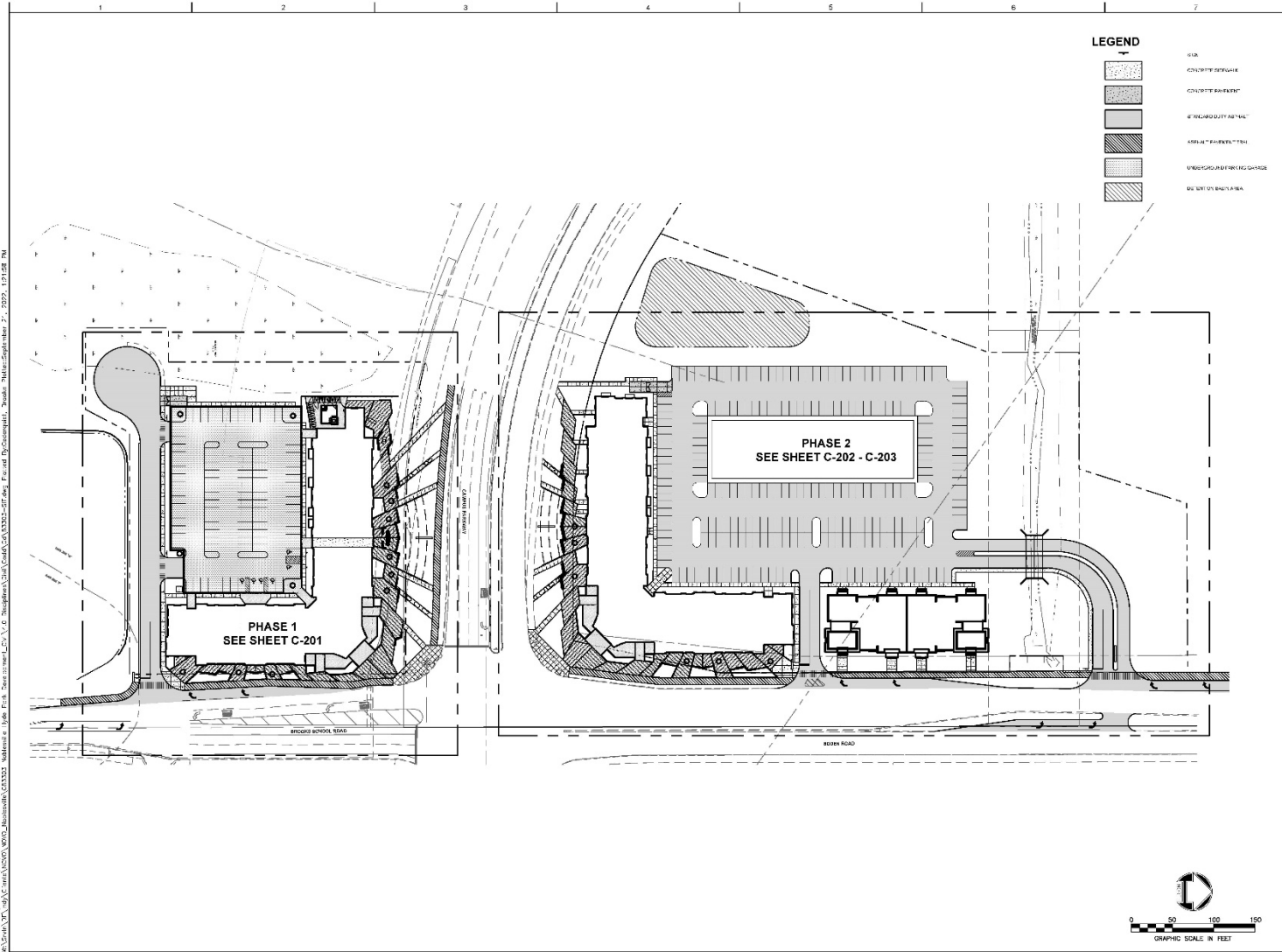
PROJECT NO:	83303
DATE ISSUED:	09/21/2022
DESIGNED BY:	BAC
DRAWN BY:	BAC
CHECKED BY:	ASJ




SHEET NAME:
EXISTING CONDITIONS
AND DEMOLITIONS
PLAN

SHEET NO:
C-100

EXHIBIT D, CONT. PRELIMINARY DEVELOPMENT PLAN




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WOOLPERT
ARCHITECTURE | ENGINEERING | GEOTECHNICAL

333 North Alabama Street, Suite 200
Indianapolis, IN 46204
317.295.7500



PERFORMANCE SCHEDULE

DATE: 08/21/2002

PROJECT: THE GATEWAY AT HYDE PARK

NOVO DEVELOPMENT GROUP
THE GATEWAY AT HYDE PARK
PRELIMINARY DEVELOPMENT PLANS

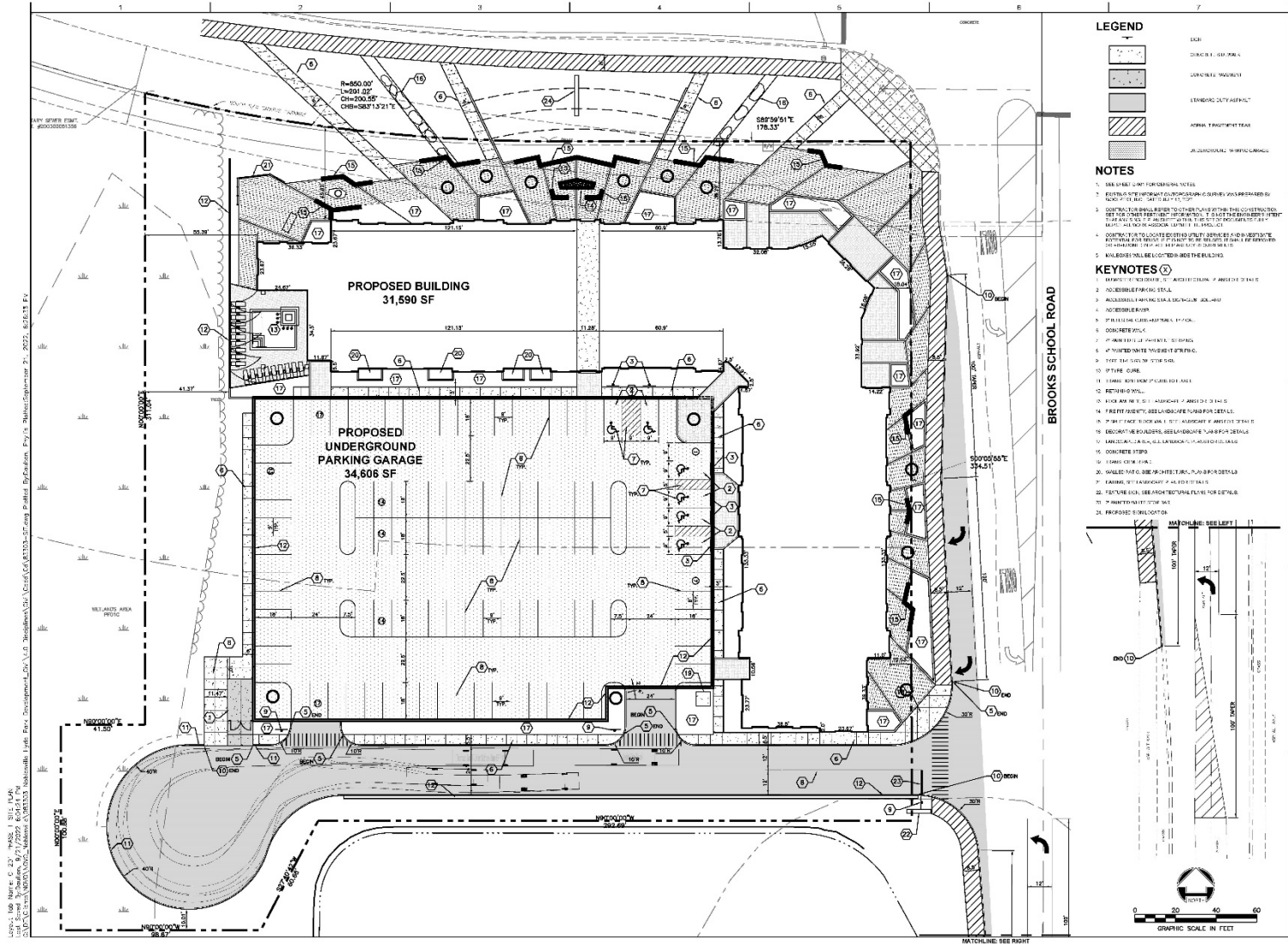
BROOKS SCHOOL ROAD
INDIANAPOLIS, IN 46206

PROJECT NO:	03333
DATE ISSUED:	09/21/2002
DESIGNED BY:	BAC
DRAWN BY:	BAC
CHECKED BY:	ASJ

SHEET NAME:
OVERALL SITE PLAN

SHEET NO:
C-200

EXHIBIT D, CONT. PRELIMINARY DEVELOPMENT PLAN



LEGEND

[Symbol]	EXIST
[Symbol]	CONCRETE
[Symbol]	ASPHALT
[Symbol]	GRAVEL
[Symbol]	LANDSCAPE
[Symbol]	UNDERGROUND

NOTES

1. SEE SHEET 1 FOR GENERAL NOTES
2. ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY DATA.
3. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND ALL LOCAL ORDINANCES AND REGULATIONS.
4. ALL UTILITIES SHALL BE DEEPER THAN THE PROPOSED FOUNDATION FOOTINGS.
5. UTILITIES SHALL BE LOCATED AND PROTECTED AS SHOWN.

KEYNOTES

1. EXISTING UTILITY
2. PROPOSED UTILITY
3. PROPOSED UTILITY (UNDERGROUND)
4. PROPOSED UTILITY (ASPHALT)
5. PROPOSED UTILITY (CONCRETE)
6. PROPOSED UTILITY (LANDSCAPE)
7. PROPOSED UTILITY (UNDERGROUND)
8. PROPOSED UTILITY (ASPHALT)
9. PROPOSED UTILITY (CONCRETE)
10. PROPOSED UTILITY (LANDSCAPE)
11. PROPOSED UTILITY (UNDERGROUND)
12. PROPOSED UTILITY (ASPHALT)
13. PROPOSED UTILITY (CONCRETE)
14. PROPOSED UTILITY (LANDSCAPE)
15. PROPOSED UTILITY (UNDERGROUND)
16. PROPOSED UTILITY (ASPHALT)
17. PROPOSED UTILITY (CONCRETE)
18. PROPOSED UTILITY (LANDSCAPE)
19. PROPOSED UTILITY (UNDERGROUND)
20. PROPOSED UTILITY (ASPHALT)
21. PROPOSED UTILITY (CONCRETE)
22. PROPOSED UTILITY (LANDSCAPE)
23. PROPOSED UTILITY (UNDERGROUND)
24. PROPOSED UTILITY (ASPHALT)

W
WOOLPERT
ARCHITECTURE | ENGINEERING | GEOSPATIAL
333 North Alabama Street, Suite 200
Indianapolis, IN 46204
317.299.7900

NOVO DEVELOPMENT GROUP
THE GATEWAY AT HYDE PARK
PRELIMINARY DEVELOPMENT PLANS

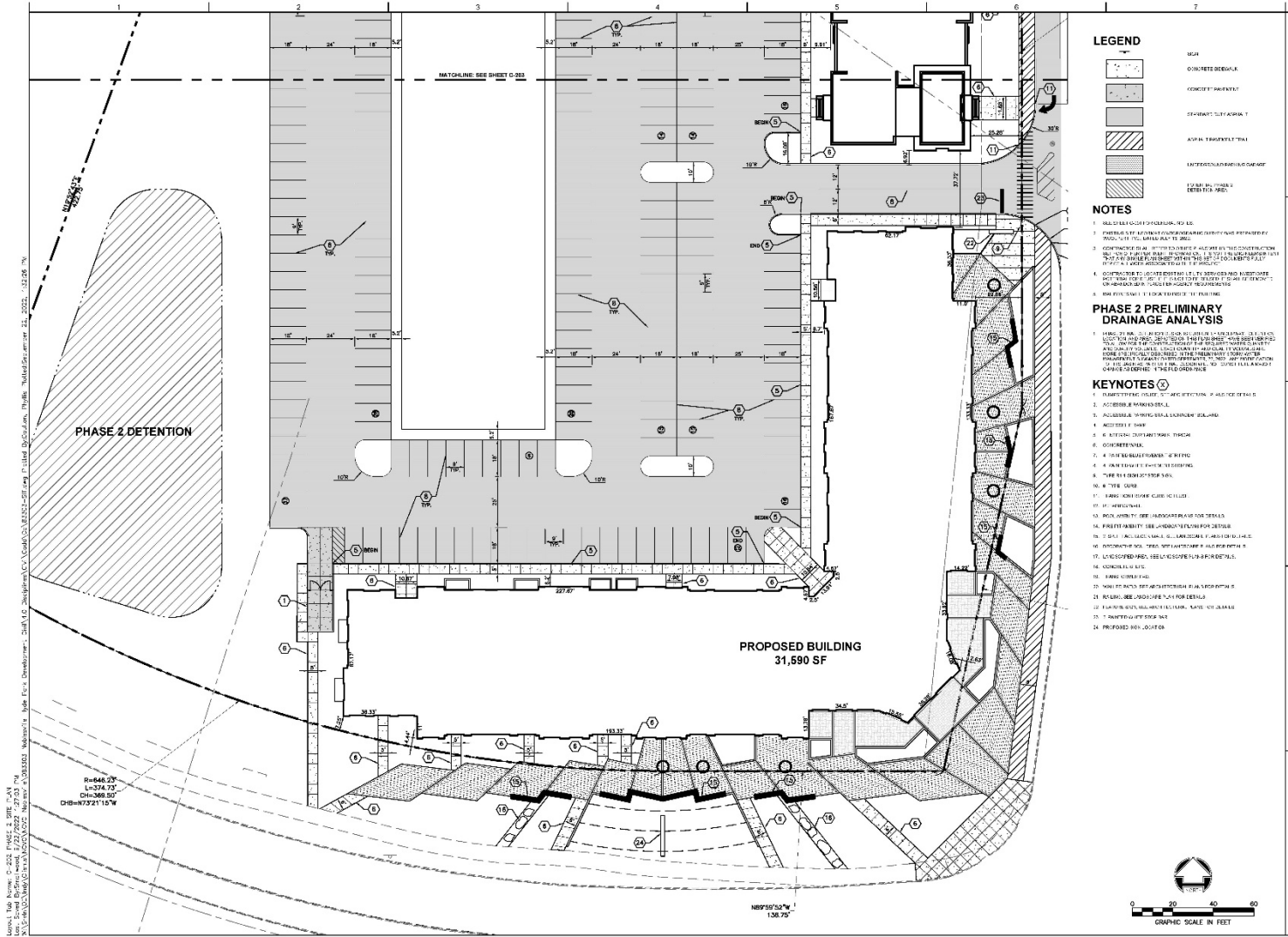
BROOKS SCHOOL ROAD
NOVO DEVELOPMENT GROUP
INDIANAPOLIS, IN 46203

PROJECT NO: 03030
DATE ISSUED: 05/21/2022
DESIGNED BY: BAC
DRAWN BY: BAC
CHECKED BY: ASJ

SHEET NAME:
PHASE 1 SITE PLAN

SHEET NO:
C-201

EXHIBIT D, CONT. PRELIMINARY DEVELOPMENT PLAN



NOVO DEVELOPMENT GROUP
 333 North Alabama Street, Suite 200
 Indianapolis, IN 46204
 317.258.7500

LEGEND

- LEGN
- UNPAVED DRIVEWAY
- CONCRETE DRIVEWAY
- STAINLESS STEEL ASPHALT
- ASPHALT DRIVEWAY DRIVE
- EXPOSED GRANULAR SUBGRADE
- EXPOSED GRANULAR SUBGRADE

NOTES

1. PROVIDE SLOPE TO DRAINAGE TO ALL.
2. PROVIDE SLOPE TO DRAINAGE TO ALL UNPAVED DRIVEWAYS AND DRIVEWAYS.
3. CONTRACTOR SHALL VERIFY TO EXISTING AND ALL UTILITIES CONSTRUCTION SHALL BE COMPLETED WITHIN THE 15' SETBACK PER CITY OF INDIANAPOLIS.
4. CONTRACTOR TO VERIFY EXISTING UTILITIES AND ALL UTILITIES CONSTRUCTION SHALL BE COMPLETED WITHIN THE 15' SETBACK PER CITY OF INDIANAPOLIS.
5. CONTRACTOR TO VERIFY EXISTING UTILITIES AND ALL UTILITIES CONSTRUCTION SHALL BE COMPLETED WITHIN THE 15' SETBACK PER CITY OF INDIANAPOLIS.

PHASE 2 PRELIMINARY DRAINAGE ANALYSIS

1. THIS PLAN IS A PRELIMINARY DRAINAGE ANALYSIS AND IS NOT TO BE USED FOR CONSTRUCTION.
2. THIS PLAN IS A PRELIMINARY DRAINAGE ANALYSIS AND IS NOT TO BE USED FOR CONSTRUCTION.
3. THIS PLAN IS A PRELIMINARY DRAINAGE ANALYSIS AND IS NOT TO BE USED FOR CONSTRUCTION.

KEYNOTES

1. PLUMBING SYMBOLS TO BE PROVIDED BY ARCHITECT.
2. ACCESSIBLE WALKWAY.
3. ACCESSIBLE WALKWAY TO BE PROVIDED.
4. ACCESSIBLE WALKWAY.
5. ACCESSIBLE WALKWAY.
6. ACCESSIBLE WALKWAY.
7. ACCESSIBLE WALKWAY.
8. ACCESSIBLE WALKWAY.
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22. ACCESSIBLE WALKWAY.
23. ACCESSIBLE WALKWAY.
24. ACCESSIBLE WALKWAY.

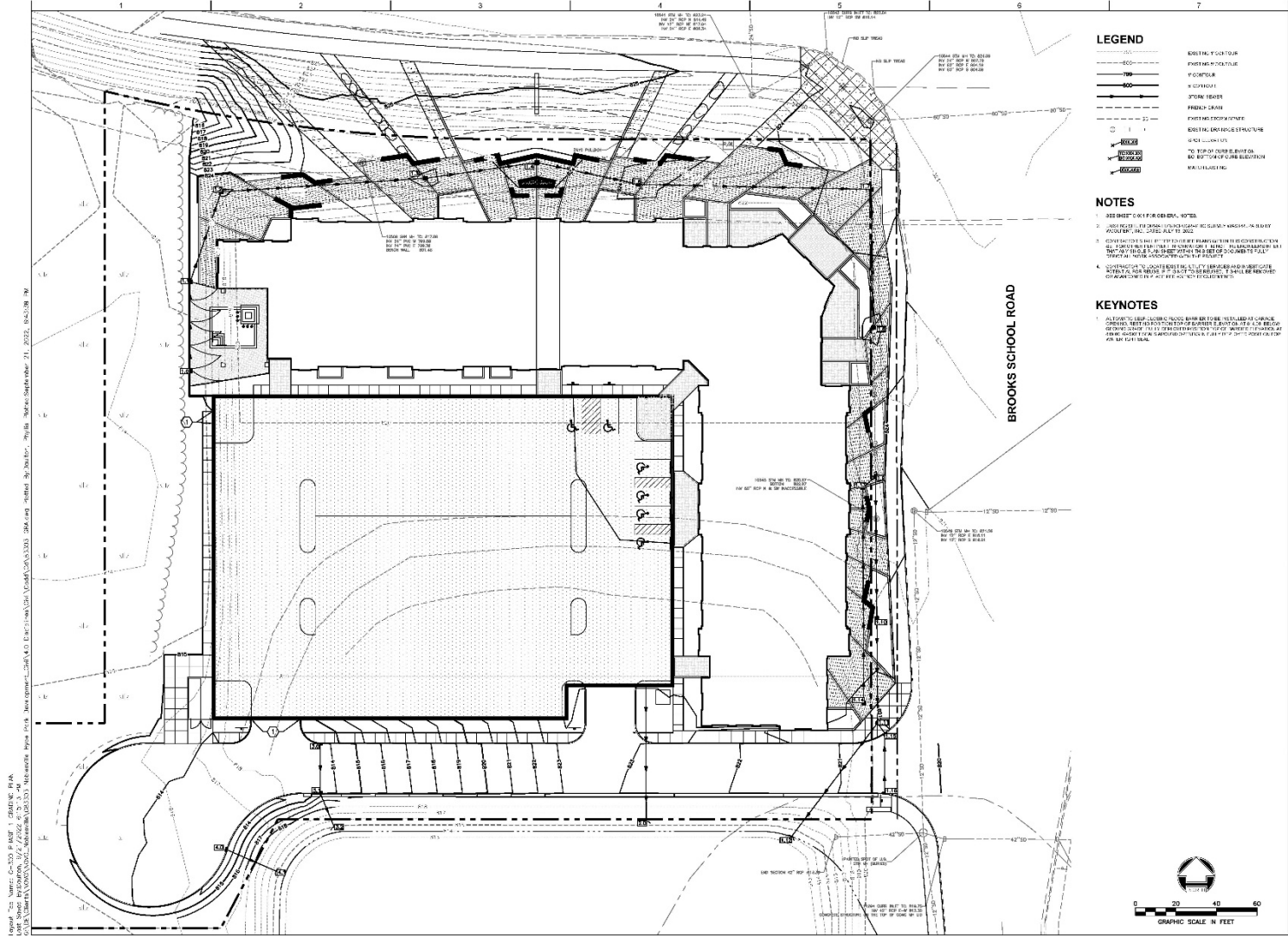
WOOLPERT
 ARCHITECTURE | ENGINEERING | GEOSPATIAL
 333 North Alabama Street, Suite 200
 Indianapolis, IN 46204
 317.258.7500

NOVO DEVELOPMENT GROUP
THE GATEWAY AT HYDE PARK
 PRELIMINARY DEVELOPMENT PLANS
 BROOKS SCHOOL ROAD
 NOTLEYVILLE, IN 46067

PROJECT NO.	83203
DATE ISSUED	09/21/2022
DESIGNED BY	BAC
DRAWN BY	BAC
CHECKED BY	ASJ

SHEET NO. **C-202**

EXHIBIT D, CONT. PRELIMINARY DEVELOPMENT PLAN



LEGEND

- EXISTING FOOTPRINT
- EXISTING TOPOGRAPHY
- PROPOSED FOOTPRINT
- PROPOSED TOPOGRAPHY
- PARKING SPACE
- FINISHED GRADE
- EXISTING STRUCTURE
- EXISTING STRUCTURE
- PROPOSED STRUCTURE
- PROPOSED STRUCTURE
- PROPOSED STRUCTURE

NOTES

1. SEE SHEET C-301 FOR GENERAL NOTES.
2. ALL PROPOSED CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC, IRC, AND UPC.
3. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC, IRC, AND UPC.
4. CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.

KEYNOTES

1. ALL PROPOSED CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC, IRC, AND UPC.

WOOLPERT
ARCHITECTURE | ENGINEERING | DESIGN
323 North Alabama Street, Suite 200
Indianapolis, IN 46204
317.258.7558

INSURANCE SCHEDULE	
DATE	
ISSUED	

NOVO DEVELOPMENT GROUP
THE GATEWAY AT HYDE PARK
PRELIMINARY DEVELOPMENT PLANS

NOVO DEVELOPMENT GROUP
INDIANAPOLIS, INDIANA

PROJECT NO: 202303
DATE ISSUED: 08/20/2023
DESIGNED BY: SAC
DRAWN BY: SAC
CHECKED BY: ASU

SHEET NAME:
PHASE 1 GRADING
PLAN

SHEET NO:
C-301

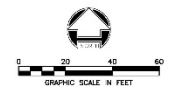
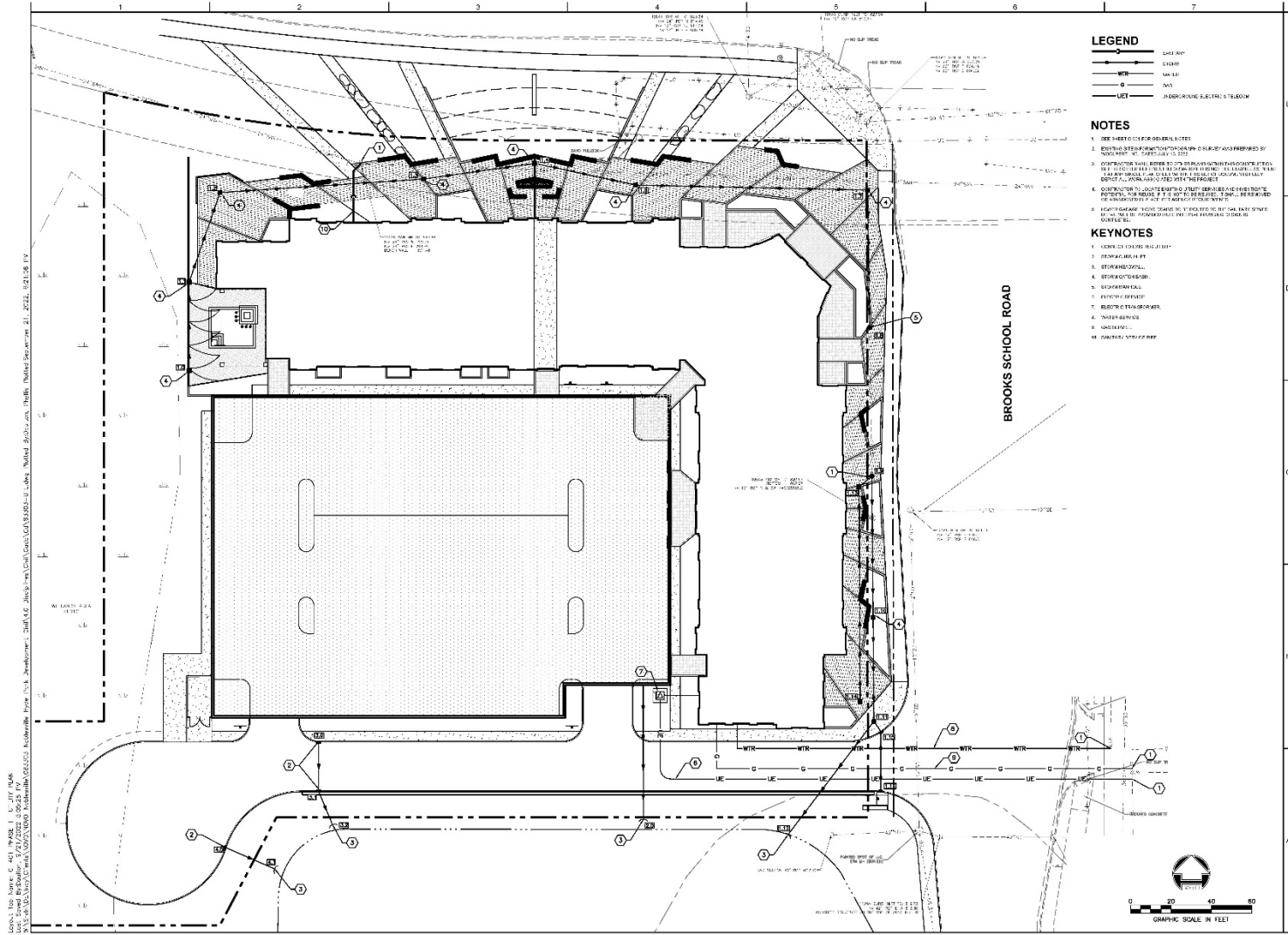


EXHIBIT D, CONT. PRELIMINARY DEVELOPMENT PLAN



ISSUANCE OF SHEET
 DATE: 09/21/2022

NOVO DEVELOPMENT GROUP
THE GATEWAY AT HYDE PARK
PRELIMINARY DEVELOPMENT PLANS

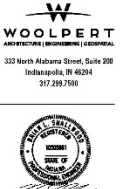
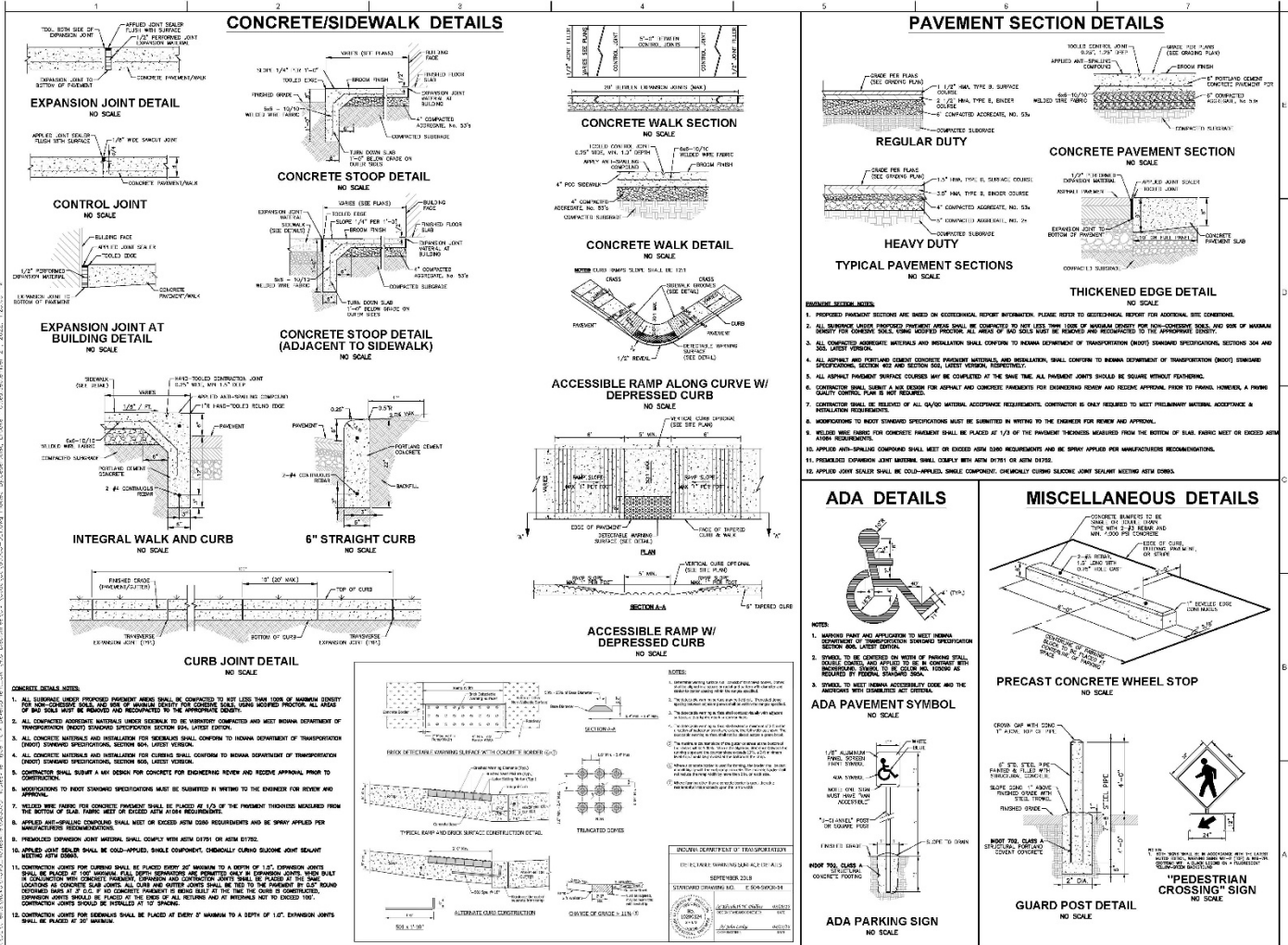
BROOKS SCHOOL ROAD
 MOBILEVILLE, TN 38060

PROJECT NO: 83303
 DATE ISSUED: 09/21/2022
 DESIGNED BY: BAC
 DRAWN BY: BAC
 CHECKED BY: ASJ

SHEET NAME:
 PHASE 1 UTILITY PLAN

SHEET NO:
C-401

EXHIBIT D, CONT. PRELIMINARY DEVELOPMENT PLAN



Woolpert
332 North Alabama Street, Suite 200
Birmingham, AL 35204
317.289.7500

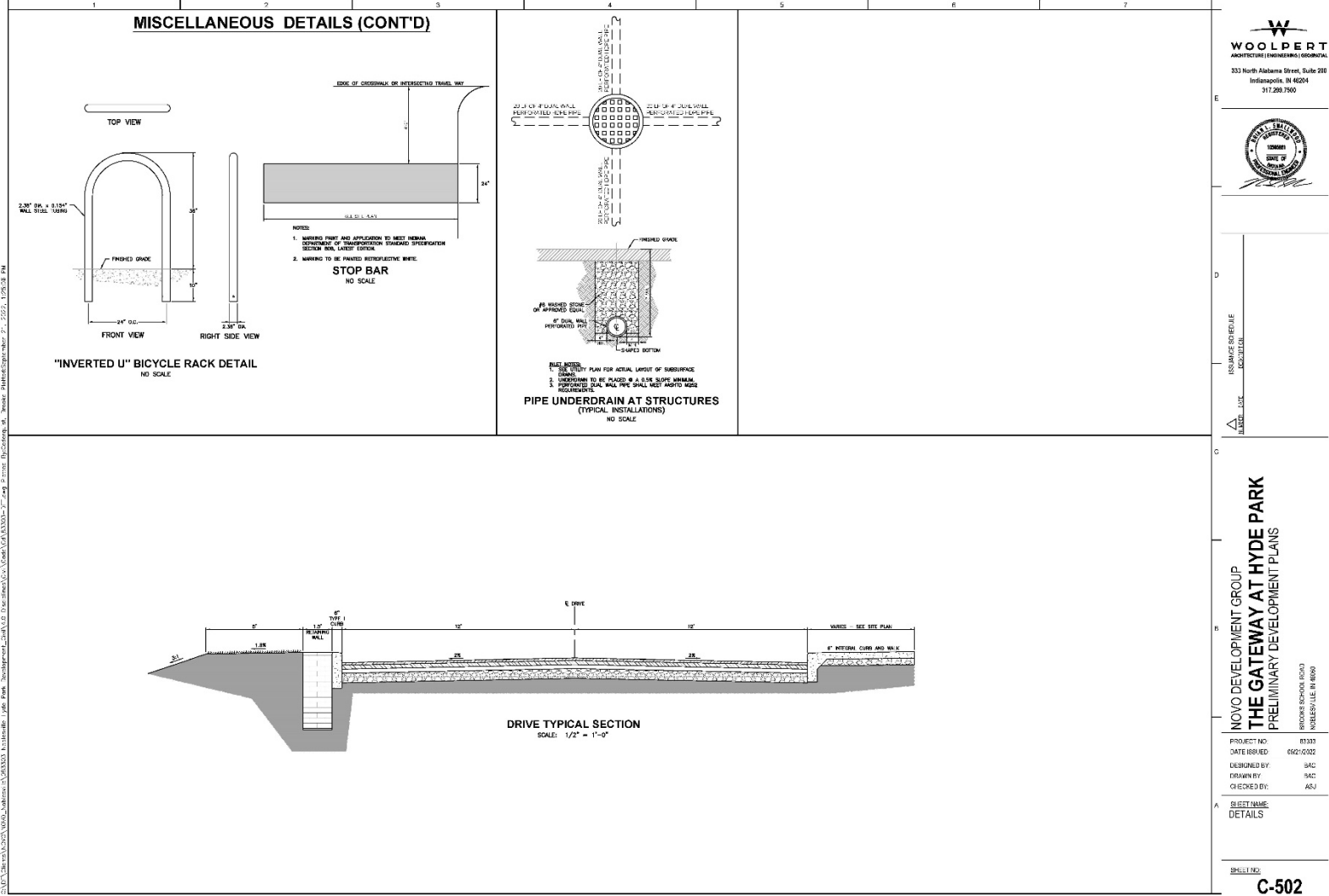
NOVO DEVELOPMENT GROUP
THE GATEWAY AT HYDE PARK
PRELIMINARY DEVELOPMENT PLANS

PROJ: 17-03
DATE: 08/20/2012
DESIGNED BY: BAC
DRAWN BY: BAC
CHECKED BY: ASJ

SHEET NO: 11
SHEET TOTAL: 11

SHEET NO: 11
SHEET TOTAL: 11

EXHIBIT D, CONT.
PRELIMINARY DEVELOPMENT PLAN



NOVO DEVELOPMENT GROUP
 PROJECT NO: 0333
 DATE ISSUED: 09/21/2023
 DESIGNED BY: SAC
 DRAWN BY: SAC
 CHECKED BY: ASJ

WOOLPERT
 ARCHITECTURE (ENGINEERING) GEOSCIENCE
 333 North Alabama Street, Suite 200
 Indianapolis, IN 46204
 317.285.7900



NOVO DEVELOPMENT GROUP
THE GATEWAY AT HYDE PARK
 PRELIMINARY DEVELOPMENT PLANS
 WORKSHEET NO. C-502
 INDIVIDUAL SHEET

PROJECT NO:	0333
DATE ISSUED:	09/21/2023
DESIGNED BY:	SAC
DRAWN BY:	SAC
CHECKED BY:	ASJ

SHEET NO:
C-502

EXHIBIT D, CONT. PRELIMINARY DEVELOPMENT PLAN

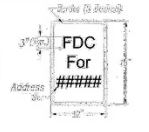
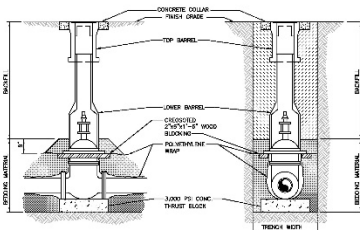
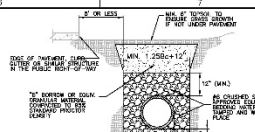
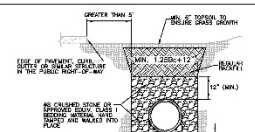

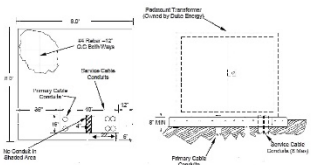
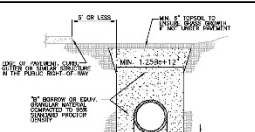
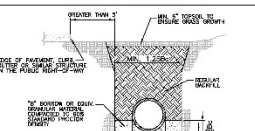
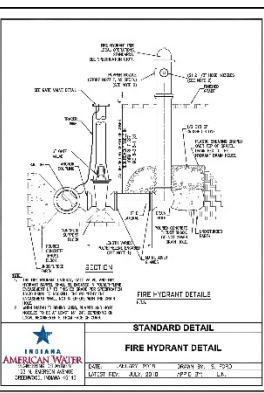
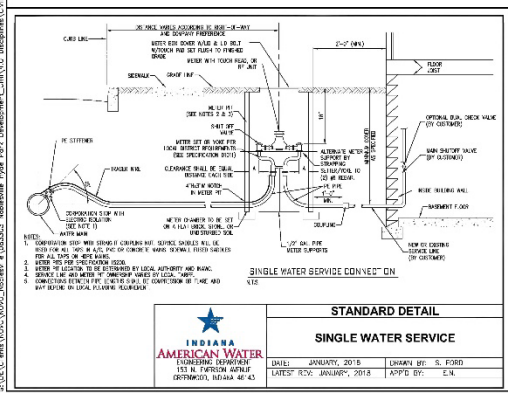
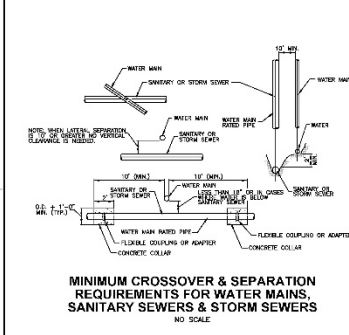
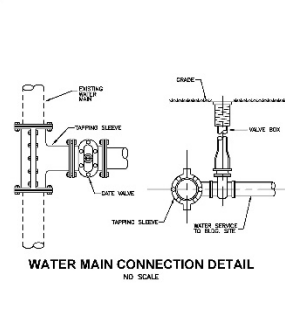
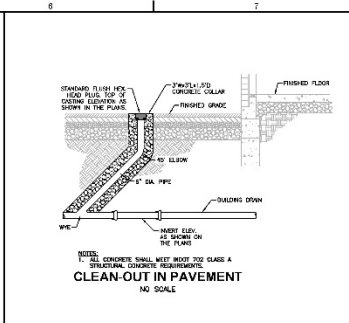
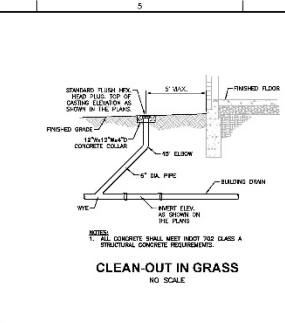
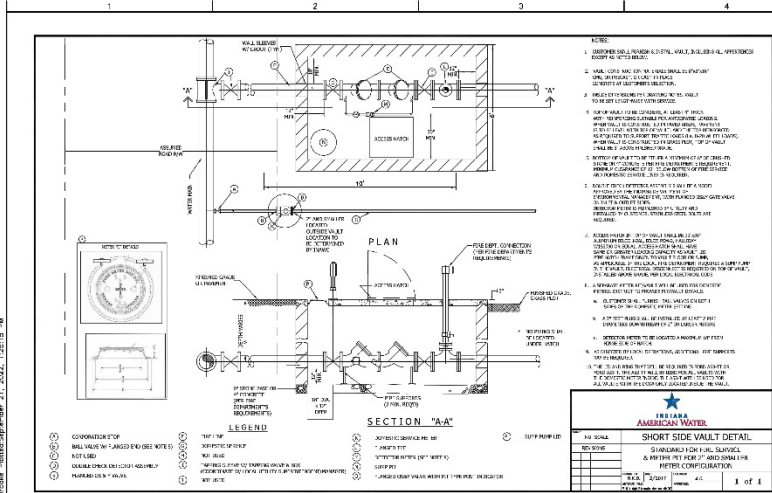
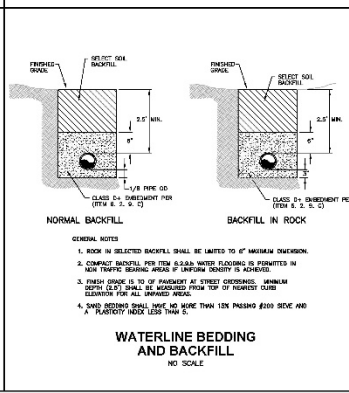
<p style="text-align: center;">NOBLESVILLE FIRE DEPARTMENT CODE ENFORCEMENT DIVISION 10 S. Main Street, 46178 317.754.3100 www.noblesville.org</p> <p style="text-align: center;">NOBLESVILLE INDIANA</p> <p style="text-align: center;">Fire Department Connection (FDC) Specifications</p> <p>The City of Noblesville Fire Department requires that the installation of Fire Department Connections (FDC) meet the regulations of NFPA 13, NFPA 13R, NFPA 14, and the following items:</p> <ol style="list-style-type: none"> The FDC shall be located off the building in a location approved by the City of Noblesville Fire Marshal. A site utility plan shall be submitted to the City of Noblesville Fire Marshal. The FDC shall be provided with a single 2" elbow connection that shall face towards the nearest point of the department access. The 1" water connection shall measure 30-42 inches from the finished grade and project downward at a 30-45 degree angle. A minimum of a 1" FDC service size shall be utilized on a fire service line that is 6" or larger. Any exterior FDC pipe that is not located within the Fire Service Vault shall be painted "Traffic Red" and constructed of a material that is not susceptible to degradation. The FDC shall be located not more than 100 feet from the nearest fire hydrant except off a public water main. <p style="text-align: center;">FDC Signage Specifications</p> <ol style="list-style-type: none"> The sign shall be constructed out of a material that is not susceptible to degradation. The sign material shall be approved by the Fire Marshal. The sign, letters, and optional lettering shall be RED in color. The sign shall be attached to the FDC pipe in an approved method. The approved method is "cut & weld" or rivets, available from any electrical supply store. 	<p style="text-align: center;">NOBLESVILLE FIRE DEPARTMENT CODE ENFORCEMENT DIVISION 10 S. Main Street, 46178 317.754.3100 www.noblesville.org</p> <p style="text-align: center;">NOBLESVILLE INDIANA</p> <p style="text-align: center;">Fire Hydrant Specifications</p> <ol style="list-style-type: none"> A water distribution plan, with the fire hydrants identified, shall be submitted and approved by the Fire Marshal of the City of Noblesville prior to construction of a structure. All on-site fire hydrants shall be located between the curb and sidewalk in the right-of-way. The 3" elbow connection shall face the street. The number, size, and arrangement of outlets, the size of the main valve opening and the size of the barrel shall be suitable for the required fire protection. The type and installation of fire hydrants shall be approved by the respective Water Utility. Fire hydrants shall meet the following criteria: <ol style="list-style-type: none"> Mechanical joint connector for 6" service pipe Minimum of a 1/2" diameter main valve opening Two (2) 2 1/2" male outlets with threads being National Standard A cleaner rulled with a 3" Storm Connector and a 3" storm cap & chain A main valve seat provided with bronze or bronze threads A "break-away" hydrant that allows the barrel to break with a minimal amount of water seeping Four (4) drain holes at the bottom to prevent freezing All public hydrants shall be factory painted in the color "Traffic Yellow", "Caution Yellow", or "Safety Yellow" (Do not paint the Storm Connector) All private hydrants shall be factory painted in the color "Safety Red" or equivalent (Do not paint the Storm Connector) The hydrant shall be operated by a national standard pentagon operating nut (1 1/2" dia.) 	 <p style="text-align: center;">PLASTIC PIPE (PVC & HDPE) TRENCH DETAIL (WITHIN 5' FROM EDGE OF PAVEMENT) NO SCALE</p>  <p style="text-align: center;">PLASTIC PIPE (PVC & HDPE) TRENCH DETAIL (GREATER THAN 5' FROM EDGE OF PAVEMENT) NO SCALE</p>	<p style="text-align: center;">Woolpert ARCHITECTURE ENGINEERING CONSULTING 333 North Alabama Street, Suite 200 Indianapolis, IN 46204 317.299.7500</p> 
<p style="text-align: center;">EXHIBIT D</p> <p style="text-align: center;">INSTALLATION REQUIREMENTS FOR THREE-PHASE PADMOUNT TRANSFORMER FOUNDATIONS FOR COMMERCIAL OR INDUSTRIAL CUSTOMERS</p> <ol style="list-style-type: none"> Approval: The customer reserves the right to refuse service to those installations that do not meet Duke Energy requirements and may elect to remove existing services unless the customer fails to provide adequate maintenance to customer-owned facilities.  Location: Duke Energy shall be responsible for determining the best location for the transformer pad. The customer shall provide a level location for a padmount transformer installation as directed by the Company. The three-phase transformer must be located adjacent to and within 10 feet of a driveway or other area accessible to Duke Energy construction and maintenance equipment. No part of the transformer (or transformer pad) may be within 10 feet from any combustible wall, window, or ventilation opening, and 20 feet from any driveway in a building. There must be at least of three (3) feet of clearance between customer equipment or landscaping and the side of the transformer (or transformer pad) and 10 feet of clearance to the front of the transformer (or transformer pad). 	 <p style="text-align: center;">REINFORCED CONCRETE PIPE (RCP) TRENCH DETAIL (WITHIN 5' FROM EDGE OF PAVEMENT) NO SCALE</p>  <p style="text-align: center;">REINFORCED CONCRETE PIPE (RCP) TRENCH DETAIL (GREATER THAN 5' FROM EDGE OF PAVEMENT) NO SCALE</p>	<p style="text-align: center;">NOVO DEVELOPMENT GROUP THE GATEWAY AT HYDE PARK PRELIMINARY DEVELOPMENT PLANS</p> <p style="text-align: center;">SHEET NO. C-503</p> <p style="text-align: center;">DATE: 08/20/2024 DESIGNED BY: JAC CHECKED BY: JAC CREATED BY: AJG</p> <p style="text-align: center;">SHEET NO. C-503</p>	

EXHIBIT D, CONT. PRELIMINARY DEVELOPMENT PLAN



TYPICAL THRUST BLOCKING DETAILS
NO SCALE

AREA OF CONCRETE IN CONTACT WITH UNDERGROUND PIPE	MINIMUM CONC. FILL REQUIRED FOR CONCRETE THRUST BLOCKING	MINIMUM CONC. FILL REQUIRED FOR CONCRETE THRUST BLOCKING	MINIMUM CONC. FILL REQUIRED FOR CONCRETE THRUST BLOCKING	MINIMUM CONC. FILL REQUIRED FOR CONCRETE THRUST BLOCKING	MINIMUM CONC. FILL REQUIRED FOR CONCRETE THRUST BLOCKING
SIZE	12" DIA.	15" DIA.	18" DIA.	21" DIA.	24" DIA.
CONCRETE	1.0	1.5	2.0	2.5	3.0
BACKFILL	1.0	1.5	2.0	2.5	3.0
TOTAL	2.0	3.0	4.0	5.0	6.0
CONCRETE	1.0	1.5	2.0	2.5	3.0
BACKFILL	1.0	1.5	2.0	2.5	3.0
TOTAL	2.0	3.0	4.0	5.0	6.0



ISSUANCE SCHEDULE
DATE: 09/21/2022

NOVO DEVELOPMENT GROUP
THE GATEWAY AT HYDE PARK
PRELIMINARY DEVELOPMENT PLANS

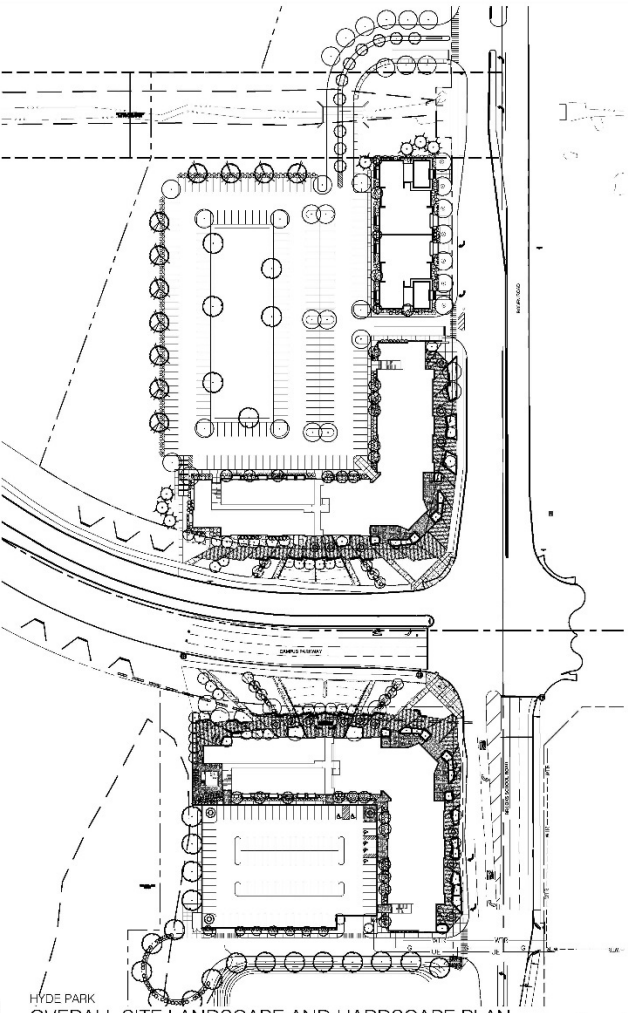
PROJECT NO: 83303
DATE ISSUED: 09/21/2022
DESIGNED BY: BAC
DRAWN BY: HXC
CHECKED BY: ASD

SHEET NAME: DETAILS

SHEET NO: **C-504**

EXHIBIT D, CONT.
PRELIMINARY DEVELOPMENT PLAN

SYMBOL	QTY	SYMBOL	QTY	SYMBOL	QTY	SYMBOL	QTY



01 HYDE PARK OVERALL SITE LANDSCAPE AND HARDSCAPE PLAN



LIA PIP
 design group, llc
 landscape
 architecture
 &
 planning
 professionals
 317.258.5229
 hollywoodindiana.com

Project No:
 Gateway at Hyde Park
 Noblesville, IN
 PRELIMINARY DEVELOPMENT PLAN

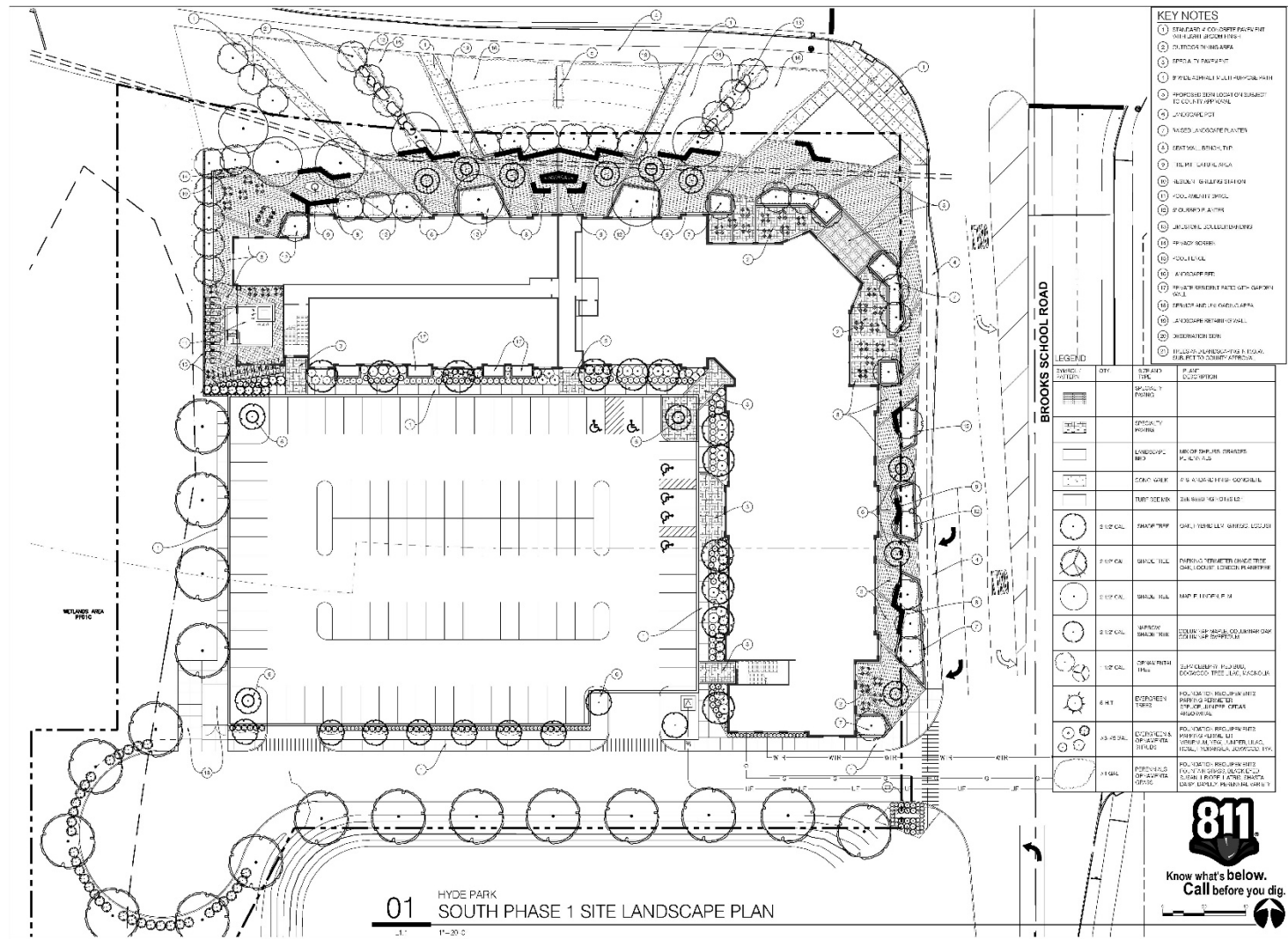
SUBJECT TO COUNTY APPLICABLE PZD ALTERNATIVE
 PRELIMINARY NOT FOR CONSTRUCTION

Showing Scope:

OVERALL SITE LANDSCAPE PLAN	
Drawn By:	JML
Checked By:	JML
Scale:	AS SHOWN
Project No:	2204
Revision:	
Client:	LI

L1.0

EXHIBIT D, CONT. PRELIMINARY DEVELOPMENT PLAN



LIA PIP
design group, llc
landscape architecture
+
planning professionals
317.258.5229
www.liapi.com

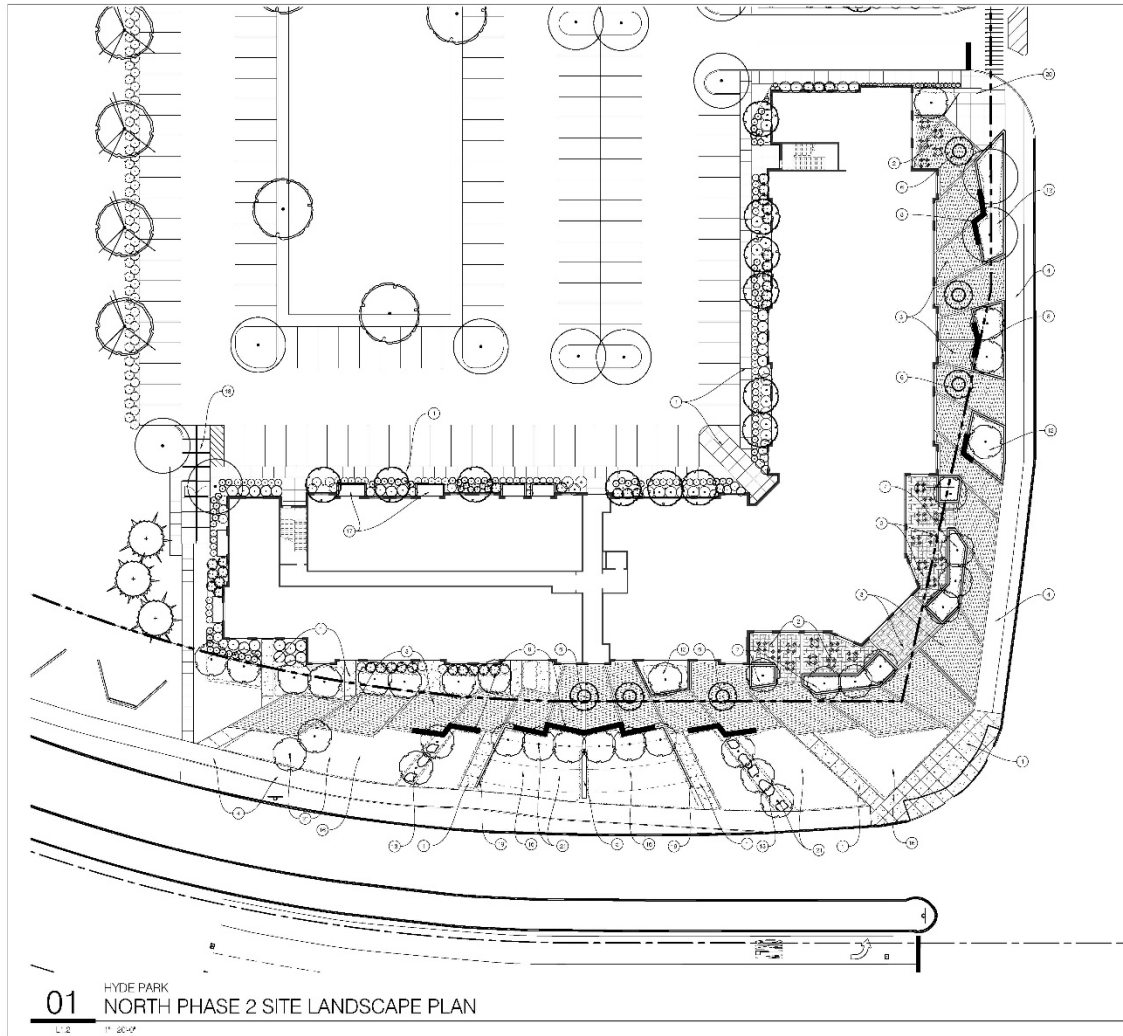
Gateway at Hyde Park
Noblesville, IN
PRELIMINARY DEVELOPMENT PLAN
APPROVAL FOR A "PRELIMINARY"
NOT FOR CONSTRUCTION

811
Know what's below.
Call before you dig.

SOUTH PHASE 1 SITE LANDSCAPE PLAN
Drawing info:
Owner: J&K
Designer: J&K
Date: 08/20/2022
Project No: 202202
Revision:
Sheet No:

L1.1

EXHIBIT D, CONT. PRELIMINARY DEVELOPMENT PLAN



01 HYDE PARK
NORTH PHASE 2 SITE LANDSCAPE PLAN
L-2 1" = 20'-0"

- KEY NOTES**
- 1. STANDARD FOOTCOTE PLACEMENT
 - 2. 1/2" DIA. SPACING MARKS
 - 3. 1/2" DIA. SPACING MARKS
 - 4. 1/2" DIA. SPACING MARKS
 - 5. 1/2" DIA. SPACING MARKS
 - 6. 1/2" DIA. SPACING MARKS
 - 7. 1/2" DIA. SPACING MARKS
 - 8. 1/2" DIA. SPACING MARKS
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 - 43. 1/2" DIA. SPACING MARKS
 - 44. 1/2" DIA. SPACING MARKS
 - 45. 1/2" DIA. SPACING MARKS
 - 46. 1/2" DIA. SPACING MARKS
 - 47. 1/2" DIA. SPACING MARKS
 - 48. 1/2" DIA. SPACING MARKS
 - 49. 1/2" DIA. SPACING MARKS
 - 50. 1/2" DIA. SPACING MARKS

SYMBOL	DESCRIPTION	NOTES
[Symbol]	CONCRETE	
[Symbol]	ASPHALT	
[Symbol]	LANDSCAPE BED	SEE SCHEDULE FOR SPECIFICATIONS
[Symbol]	CONCRETE	SEE SCHEDULE FOR SPECIFICATIONS
[Symbol]	1" DIA. TREE	SEE SCHEDULE FOR SPECIFICATIONS
[Symbol]	2" DIA. TREE	SEE SCHEDULE FOR SPECIFICATIONS
[Symbol]	3" DIA. TREE	SEE SCHEDULE FOR SPECIFICATIONS
[Symbol]	4" DIA. TREE	SEE SCHEDULE FOR SPECIFICATIONS
[Symbol]	5" DIA. TREE	SEE SCHEDULE FOR SPECIFICATIONS
[Symbol]	6" DIA. TREE	SEE SCHEDULE FOR SPECIFICATIONS
[Symbol]	7" DIA. TREE	SEE SCHEDULE FOR SPECIFICATIONS
[Symbol]	8" DIA. TREE	SEE SCHEDULE FOR SPECIFICATIONS
[Symbol]	9" DIA. TREE	SEE SCHEDULE FOR SPECIFICATIONS
[Symbol]	10" DIA. TREE	SEE SCHEDULE FOR SPECIFICATIONS
[Symbol]	11" DIA. TREE	SEE SCHEDULE FOR SPECIFICATIONS
[Symbol]	12" DIA. TREE	SEE SCHEDULE FOR SPECIFICATIONS
[Symbol]	13" DIA. TREE	SEE SCHEDULE FOR SPECIFICATIONS
[Symbol]	14" DIA. TREE	SEE SCHEDULE FOR SPECIFICATIONS
[Symbol]	15" DIA. TREE	SEE SCHEDULE FOR SPECIFICATIONS
[Symbol]	16" DIA. TREE	SEE SCHEDULE FOR SPECIFICATIONS
[Symbol]	17" DIA. TREE	SEE SCHEDULE FOR SPECIFICATIONS
[Symbol]	18" DIA. TREE	SEE SCHEDULE FOR SPECIFICATIONS
[Symbol]	19" DIA. TREE	SEE SCHEDULE FOR SPECIFICATIONS
[Symbol]	20" DIA. TREE	SEE SCHEDULE FOR SPECIFICATIONS
[Symbol]	21" DIA. TREE	SEE SCHEDULE FOR SPECIFICATIONS
[Symbol]	22" DIA. TREE	SEE SCHEDULE FOR SPECIFICATIONS
[Symbol]	23" DIA. TREE	SEE SCHEDULE FOR SPECIFICATIONS
[Symbol]	24" DIA. TREE	SEE SCHEDULE FOR SPECIFICATIONS
[Symbol]	25" DIA. TREE	SEE SCHEDULE FOR SPECIFICATIONS
[Symbol]	26" DIA. TREE	SEE SCHEDULE FOR SPECIFICATIONS
[Symbol]	27" DIA. TREE	SEE SCHEDULE FOR SPECIFICATIONS
[Symbol]	28" DIA. TREE	SEE SCHEDULE FOR SPECIFICATIONS
[Symbol]	29" DIA. TREE	SEE SCHEDULE FOR SPECIFICATIONS
[Symbol]	30" DIA. TREE	SEE SCHEDULE FOR SPECIFICATIONS



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Consulting

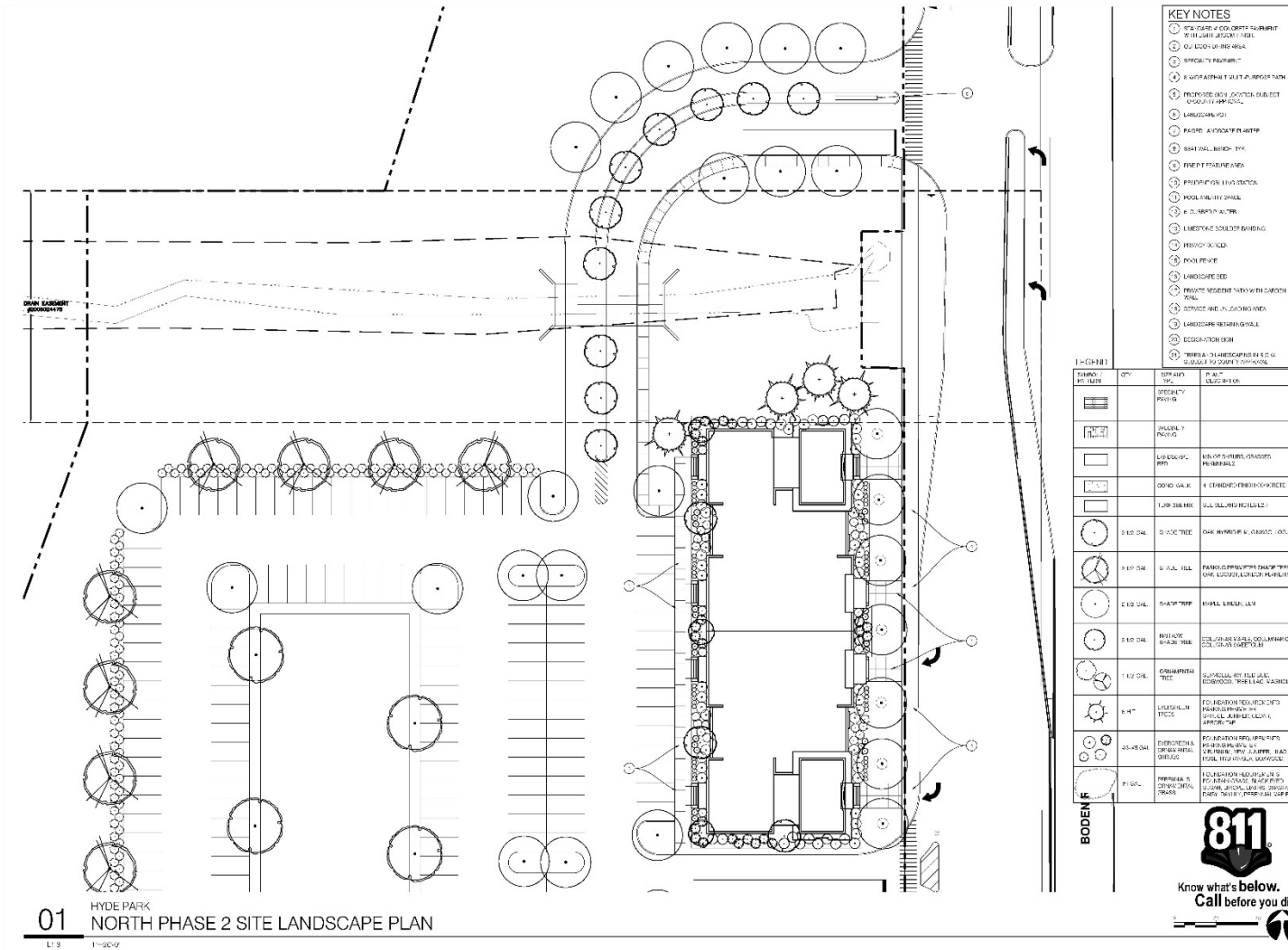
Project Info
Gateway at
Hyde Park
Noblesville, IN
PRELIMINARY
DEVELOPMENT
PLAN
**SUBJECT TO COUNTY
APPROVAL FOR
ALTERNATIVES**

PRELIMINARY
NOT FOR CONSTRUCTION

Drawing Scale
**NORTH PHASE 2 SITE
LANDSCAPE PLAN**
Drawing No. 01
Sheet 01 of 01
Date: 08/27/2020
Title No. 10000
Sheet No. 01

L1.2

EXHIBIT D, CONT. PRELIMINARY DEVELOPMENT PLAN



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Project Info
Gateway at
Hyde Park
Noblesville, IN
PRELIMINARY
DEVELOPMENT
PLAN

***NOT SET TO CONVEY
APPROVAL FOR
A.TERRA/75***

PRELIMINARY
NOT FOR CONSTRUCTION

Drawing Scope
**NORTH PHASE 2 SITE
LANDSCAPE PLAN**

Drawing Info
Date: J05
Created: J07
Drawn: 09/22/2020
Scale: 1/8"=1'-0"

Sheet No.
L1.3

KEY NOTES		
1	SPRING OR COOL DRIFT PLANTING WITH LIGHT GREEN FOLIAGE	
2	QUALITY PLANTING	
3	SPECIALTY PLANTING	
4	3" WPC ASPHALT CURB AT BORDER TYP.	
5	PROPOSED WALL FOOTING SUBJECT TO CIVIL ENGINEER	
6	LANDSCAPE	
7	PAVING - ASPHALT FINISH TYP.	
8	GRAVEL BENCH TYP.	
9	PROPERTY BOUNDARY	
10	PROPOSED EXISTING	
11	PROPOSED WALL	
12	P. S. ASPHALT TYP.	
13	LANDSCAPE SCHEDULE DRAWING	
14	PROPOSED	
15	POOL PERIMETER	
16	LANDSCAPE BED	
17	PROPOSED VERTICAL HARDWARE CARBON STEEL	
18	CONCRETE WALKWAY	
19	LANDSCAPE NETWORKING	
20	EDUCATION SIGN	
21	TRAIL	
22	TRAIL	
23	TRAIL	
24	TRAIL	
25	TRAIL	

SYMBOL	DESCRIPTION	PLANT	PLANT
[Symbol]	SPRING PLANTING		CELESTIAL
[Symbol]	QUALITY PLANTING		
[Symbol]	LANDSCAPE		SEMI-PANICULATED
[Symbol]	CONCRETE WALKWAY		CONCRETE
[Symbol]	PAVING		ASPHALT FINISH TYP.
[Symbol]	3" WPC ASPHALT CURB		
[Symbol]	PROPOSED WALL		
[Symbol]	LANDSCAPE SCHEDULE		
[Symbol]	PROPOSED		
[Symbol]	POOL PERIMETER		
[Symbol]	LANDSCAPE BED		
[Symbol]	PROPOSED VERTICAL HARDWARE		
[Symbol]	CONCRETE WALKWAY		
[Symbol]	LANDSCAPE NETWORKING		
[Symbol]	EDUCATION SIGN		
[Symbol]	TRAIL		
[Symbol]	TRAIL		
[Symbol]	TRAIL		
[Symbol]	TRAIL		
[Symbol]	TRAIL		

811
Know what's below.
Call before you dig.

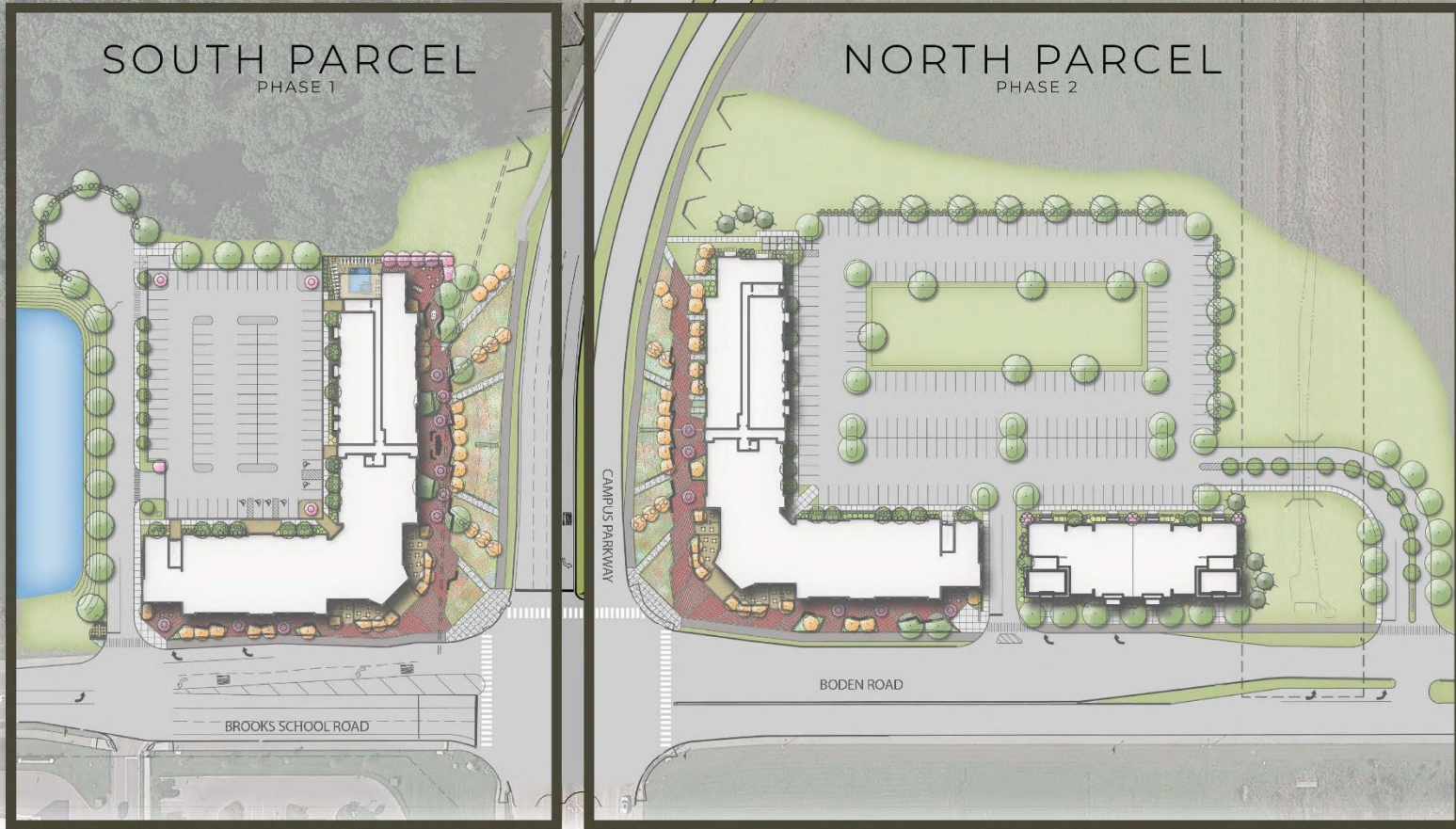
EXHIBIT E
CONCEPTUAL SIGN PACKAGE



THE "GATEWAY"
INTEGRATED
SIGNAGE PACKAGE

09.21.22

EXHIBIT E, CONT.
CONCEPTUAL SIGN PACKAGE



THE GATEWAY AT HYDE PARK
NOBLESVILLE, IN | SEPTEMBER 2022



EXHIBIT E, CONT.
CONCEPTUAL SIGN PACKAGE

**INTEGRATED DEVELOPMENT
SIGNAGE PLANS
SOUTH PARCEL - Sheet 1**



1 EXTERIOR ELEVATION - NORTH
1/16" = 1'-0"



2 EXTERIOR ELEVATION - SOUTH
1/16" = 1'-0"

**“GATEWAY”
AT HYDE PARK
INTEGRATED DEVELOPMENT
SIGN LEGEND**

- PROJECTION SIGN**
A1 Tenant Blade Area 72" w x 246" h x 30" d
- AWNING SIGN - 1ST FLOOR TENANT**
B1 Tenant Awning Area 180" w x 94" h
B2 Tenant Awning Area 126" w x 52" h
- WINDOW TENANT GRAPHIC: Not more than 33% OF PANE**
- BLADE SIGN - TENANT PROJECTION SIGN**
C1 Projection Area 80" w x 50" h x 18" d
- PROJECTION and WALL SIGNS - PARKING GARAGE**
P1 Projection Sign Area 72" w x 90" h x 30" d
P2 Garage Wall Sign Area 20' w x 3.5' h
- DESIGNATION AND GROUND SIGNS**
D1 Designation Sign Area 12" w x 12" h
D2 Ground Sign Area 21'-6" w x 12" h
- WALL SIGN - PROPERTY NAME**
E1 "Gateway" Marquee Sign Area 18' w x 3.5' h
E2 "Gateway" Leasing Sign Area 52" w x 114" h



EXHIBIT E, CONT.
CONCEPTUAL SIGN PACKAGE

**INTEGRATED DEVELOPMENT
SIGNAGE PLANS
SOUTH PARCEL - Sheet 2**



1 EXTERIOR ELEVATION - EAST
1/16" = 1'-0"



2 EXTERIOR ELEVATION - WEST
1/16" = 1'-0"

**"GATEWAY"
AT HYDE PARK
INTEGRATED DEVELOPMENT
SIGN LEGEND**

	PROJECTION SIGN	
	A1 Tenant Blade Area	72" w x 246" h x 30" d
	AWNING SIGN - 1ST FLOOR TENANT	
	B1 Tenant Awning Area	180" w x 94" h
	B2 Tenant Awning Area	126" w x 52" h
	WINDOW TENANT GRAPHIC: Not more than 33% OF FRAME	
	BLADE SIGN - TENANT PROJECTION SIGN	
	C1 Projection Area	50" w x 50" h x 18" d
	PROJECTION and WALL SIGNS - PARKING GARAGE	
	P1 Projection Sign Area	72" w x 90" h x 30" d
	P2 Garage Wall Sign Area	20" w x 3.5" h
	DESIGNATION AND GROUND SIGNS	
	D1 Designation Sign Area	12" w x 12" h
	D2 Ground Sign Area	21'-6" w x 12" h
	WALL SIGN - PROPERTY NAME	
	E1 "Gateway" Marquee Sign Area	19" w x 3.5" h
	E2 "Gateway" Leasing Sign Area	50" w x 11' h



EXHIBIT E, CONT.
CONCEPTUAL SIGN PACKAGE

**INTEGRATED DEVELOPMENT
SIGNAGE PLANS
NORTH PARCEL - Sheet 1**



**“GATEWAY”
AT HYDE PARK
INTEGRATED DEVELOPMENT
SIGN LEGEND**

	PROTECTION SIGN A1 Tenant Blade Area: 72" w x 246" h x 30" d
	AWNING SIGN - 1ST FLOOR TENANT B1 Tenant Awning Area: 160" w x 9'4" h B2 Tenant Awning Area: 126" w x 52" h
	WINDOW TENANT GRAPHIC: Not more than 33% OF PANE
	BLADE SIGN - TENANT PROJECTION SIGN C1 Projection Area: 80" w x 50" h x 18" d
	PROTECTION and WALL SIGNS - PARKING GARAGE P1 Projection Sign Area: 72" w x 107" h x 30" d P2 Garage Wall Sign Area: 20" w x 3.5" h
	DESIGNATION AND GROUND SIGNS D1 Designation Sign Area: 12" w x 12" h D2 Ground Sign Area: 21' 6" w x 12' h
	WALL SIGN - PROPERTY NAME E1 "Gateway" Marquee Sign Area: 19" w x 3.5" h E2 "Gateway" Leasing Sign Area: 52" w x 114" h



EXHIBIT E, CONT.
CONCEPTUAL SIGN PACKAGE

**INTEGRATED DEVELOPMENT
SIGNAGE PLANS
NORTH PARCEL - Sheet 2**



**“GATEWAY”
AT HYDE PARK
INTEGRATED DEVELOPMENT
SIGN LEGEND**

- PROJECTION SIGN**
A1 Tenant Blade Area 72”w x 246”h x 30”d
- AWNING SIGN - 1ST FLOOR TENANT**
B1 Tenant Awning Area 180”w x 94”h
B2 Tenant Awning Area 126”w x 52”h
- WINDOW TENANT GRAPHIC: Not more than 33% OF PANE**
- BLADE SIGN - TENANT PROJECTION SIGN**
C1 Projection Area 90”w x 50”h x 18”d
- PROTECTION and WALL SIGNS - PARKING GARAGE**
D1 Projection Sign Area 72”w x 90”h x 30”d
D2 Garage Wall Sign Area 20”w x 3.5”h
- DESIGNATION AND GROUND SIGNS**
D1 Designation Sign Area 12’w x 12’h
D2 Ground Sign Area 21’6”w x 12’h
- WALL SIGN - PROPERTY NAME**
E1 “Gateway” Marquee Sign Area 18”w x 3.5”h
E2 “Gateway” Leasing Sign Area 52”w x 114”h

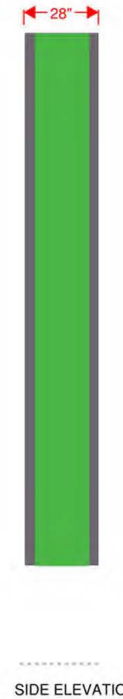
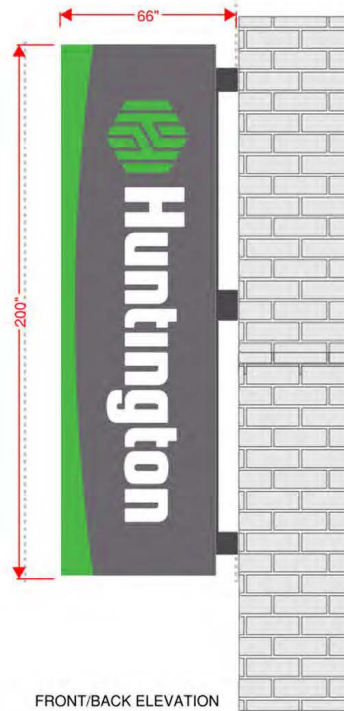


EXHIBIT E, CONT.
CONCEPTUAL SIGN PACKAGE

INTEGRATED DEVELOPMENT
Signage Examples

A1

PROJECTION SIGN - TENANT BLADE SIGN - SAMPLE



FABRICATE AND INSTALL INTERNALLY ILLUMINATED D/F BLADE SIGN

- FACES - 3/16" WHITE POLYCARBONATE
- VINYL - MATCH SPECS
- RETAINERS - 1" TO MATCH SPECS
- ARMS - 2" SQ ALUMINUM TUBING PAINTED TO MATCH SPECS
- BRACKET - 1/4" PLATE ALUMINUM PAINTED TO MATCH SPECS
- LEDS - WHITE

INSTALLATION - PROJECTED OFF BUILDING WITH ARMS AND BRACKETS

COLOR SPECIFICATIONS:		<i>NOTE: THERE WILL BE COLOR VARIATIONS FROM THIS PRINTED DRAWING TO THE FINAL PRODUCT. COLORS SPECIFIED WILL ALWAYS BE MATCHED AS CLOSELY AS POSSIBLE. RENDERING IS BASED ON ESTIMATED DIMENSIONS. A FINAL SURVEY MAY ALTER ILLUSTRATED REPRESENTATION AND PLACEMENT.</i>	SCI REP:	DESIGNER:	PERMIT INFORMATION:
A MP20147 DURONODIC BRONZE MET.	F		JV	NK	N/A
B DIG. PRINT	G	<i>IF ILLUMINATED: WILL BE WIRED TO 120 VOLT UNLESS OTHERWISE SPECIFIED. THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.</i>	DATE:	REVISION DATE:	FINAL DATE & BY:
C ORACAL 651-070 BLACK	H		04/29/2020		
D	I				SHEET #:
E	J				

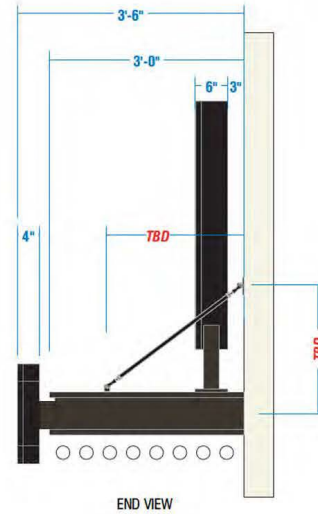
ART SCALE: 1" = 1'-0"

EXHIBIT E, CONT.
CONCEPTUAL SIGN PACKAGE

INTEGRATED DEVELOPMENT
Signage Examples

B1

AWNING SIGN - 1ST FLOOR TENANT - SAMPLE



18" INT. ILLUM. CHANNEL LETTERS W/ WIREWAY
ONE (1) SET REQ'D.

SCALE: 3/4" = 1'-0"
15.03 SQ. FT.

46" INT. ILLUM. MONOGRAM
ONE (1) SET REQ'D.

SCALE: 3/4" = 1'-0"
11.54 SQ. FT.

SCOPE OF WORK: MANUFACTURE & INSTALL ONE (1) TOP-MOUNTED INT. ILLUM. MONOGRAM ONTO COMPONENT SIGN A.3

SPECIFICATIONS:

CABINET: 6" D. FABRICATED ALUMINUM CHANNEL, PAINTED SATIN BLACK & INTERIOR PAINTED SATIN WHITE.

FACES: CLEAR ACRYLIC W/ 1ST SURFACE DIGITAL PRINT VINYL, 2ND SURFACE #70 DIFFUSER.

& 1" BLACK TRIM CAP

ILLUMINATION: PROVIDED BY 4000K WHITE LEDs & REMOTE POWER SUPPLIES HOUSED IN TRANSFORMER BOX, PAINTED BLACK, BEHIND WALL.

SUPPORTS: 3" SQ. STEEL TUBE W/ 1/2" STEEL MOUNTING PLATE, PAINTED SATIN BLACK. *NOTE: TRANS. BOX WILL BE VISIBLE.*

MOUNTING: BOLTED TO TOP OF CANOPY A.3 W/ NON-CORROSIVE HARDWARE PER ENGINEERING.

COLOR SPECIFICATIONS:

A	MP20147 DURONODIC BRONZE MET.	F
B	DIG. PRINT	G
C	ORACAL 651-070 BLACK	H
D		I
E		J

NOTE: THERE WILL BE COLOR VARIATIONS FROM THIS PRINTED DRAWING TO THE FINAL PRODUCT. COLORS SPECIFIED WILL ALWAYS BE MATCHED AS CLOSELY AS POSSIBLE. RENDERING IS BASED ON ESTIMATED DIMENSIONS. A FINAL SURVEY MAY ALTER ILLUSTRATED REPRESENTATION AND PLACEMENT.

IF ILLUMINATED: WILL BE WIRED TO 120 VOLT UNLESS OTHERWISE SPECIFIED. THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

SCI REP:
JV

DESIGNER:
NK

PERMIT INFORMATION:
N/A

DATE:

REVISION DATE:

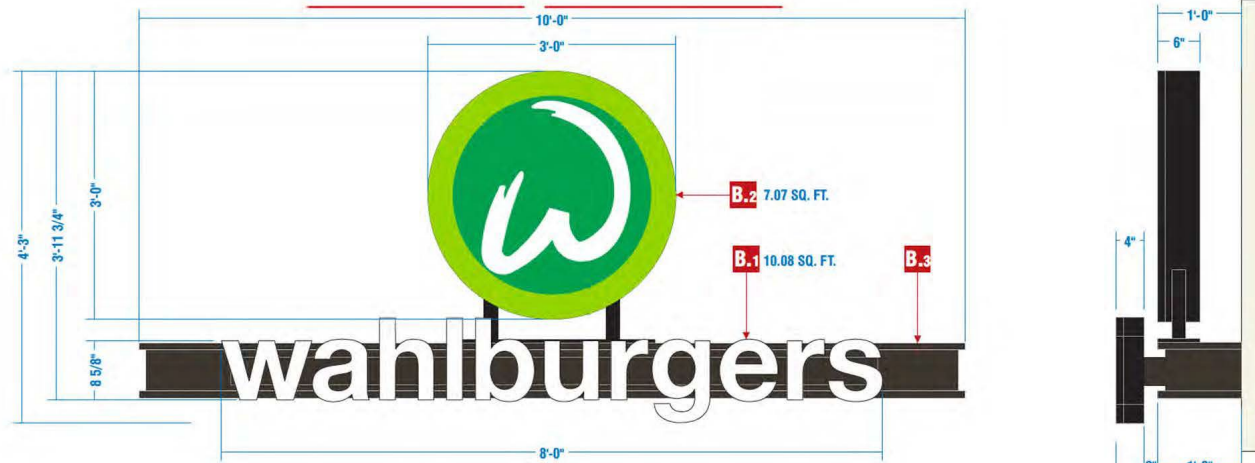
ART SCALE: 1" = 1'-0"

EXHIBIT E, CONT.
CONCEPTUAL SIGN PACKAGE

INTEGRATED DEVELOPMENT
Signage Examples

B2

AWNING SIGN - 1ST FLOOR TENANT - SAMPLE



24" INT. ILLUM. CHANNEL LETTERS W/ WIREWAY
ONE (1) SET REQ'D.

SCALE: 1" = 1'-0"
10.08 SQ. FT.

36" INT. ILLUM. MONOGRAM
ONE (1) SET REQ'D.

SCALE: 1" = 1'-0"
7.07 SQ. FT.

SCOPE OF WORK: MANUFACTURE & INSTALL ONE (1) SET OF WIREWAY MOUNTED INTERNALLY ILLUMINATED CHANNEL LETTERS ONTO COMPONENT SIGN B.3

SPECIFICATIONS:

LETTERS: 4" D. FABRICATED ALUMINUM CHANNEL, PAINTED SATIN BLACK & INTERIOR PAINTED SATIN WHITE.

FACES: 7328 WHITE ACRYLIC W/ 1" BLACK TRIM CAP

ILLUMINATION: PROVIDED BY 4000K WHITE LEDs & REMOTE POWER SUPPLIES HOUSED IN TRANSFORMER BOX. PAINTED BLACK ON BACKSIDE OF WALL. *NOTE: TRANSFORMER BOX WILL BE VISIBLE!*

WIREWAY: 5" X 3" FABRICATED ALUMINUM, PAINTED DARK BRONZE, SATIN FINISH.

SCOPE OF WORK: MANUFACTURE & INSTALL ONE (1) TOP-MOUNTED INT. ILLUM. MONOGRAM ONTO COMPONENT SIGN B.3

SPECIFICATIONS:

CABINET: 6" D. FABRICATED ALUMINUM CHANNEL, PAINTED SATIN BLACK & INTERIOR PAINTED SATIN WHITE.

FACES: CLEAR ACRYLIC W/ 1ST SURFACE DIGITAL PRINT VINYL, 2ND SURFACE #70 DIFFUSER & 1" BLACK TRIM CAP.

ILLUMINATION: PROVIDED BY 4000K WHITE LEDs & REMOTE POWER SUPPLIES HOUSED IN TRANSFORMER BOX, PAINTED BLACK ON BACKSIDE OF WALL. *NOTE: TRANSFORMER BOX WILL BE VISIBLE!*

SUPPORTS: 2" SQ. STEEL TUBE W/ 1/2" STEEL MOUNTING PLATE, PAINTED SATIN BLACK

MOUNTING: BOLTED TO TOP OF EYEBROW CANOPY B.3 W/ NON-CORROSIVE HARDWARE PER ENGINEERING.

COLOR SPECIFICATIONS:

- A MP20147 DURONODIC BRONZE MET. **F**
- B DIG. PRINT **B**
- C ORACAL 651-070 BLACK **H**
- D **I**
- E **J**

NOTE: THERE WILL BE COLOR VARIATIONS FROM THIS PRINTED DRAWING TO THE FINAL PRODUCT. COLORS SPECIFIED WILL ALWAYS BE MATCHED AS CLOSELY AS POSSIBLE. RENDERING IS BASED ON ESTIMATED DIMENSIONS. A FINAL SURVEY MAY ALTER ILLUSTRATED REPRESENTATION AND PLACEMENT.

IF ILLUMINATED: WILL BE WIRED TO 120 VOLT UNLESS OTHERWISE SPECIFIED. THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

SCI REP: JV	DESIGNER: NK	PERMIT INFORMATION: N/A
DATE:	REVISION DATE:	

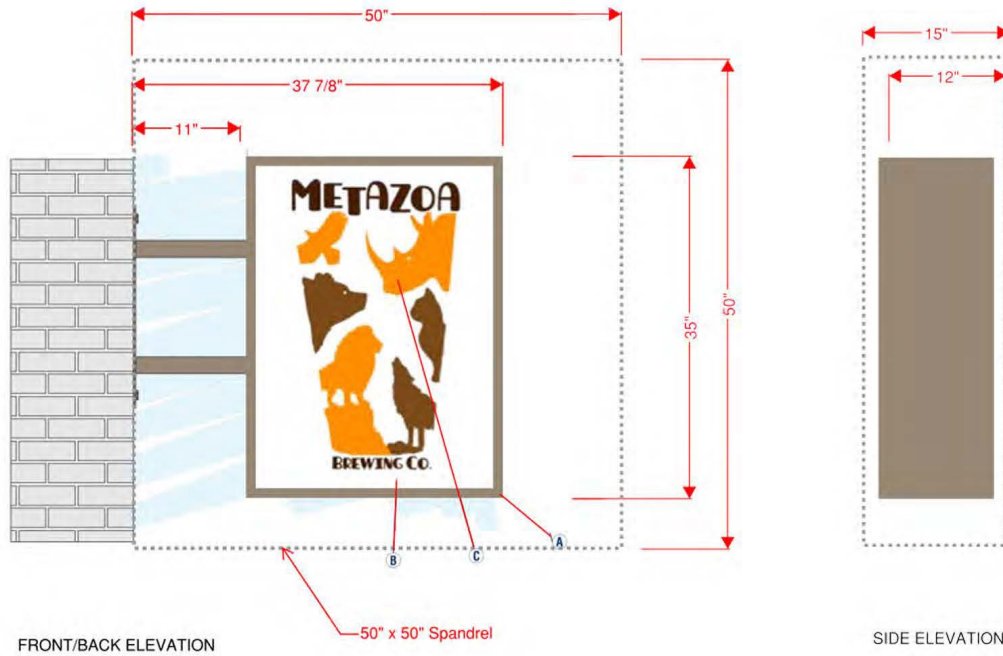
ART SCALE: 1" = 1'-0"

EXHIBIT E, CONT.
CONCEPTUAL SIGN PACKAGE

C1

TENANT BLADE SIGN - SAMPLE

INTEGRATED DEVELOPMENT
Signage Examples



Lo

FABRICATE AND INSTALL INTERNALLY ILLUMINATED D/F BLADE SIGN

- FACES - 3/16" WHITE POLYCARBONATE
- VINYL - MATCH SPECS
- RETAINERS - 1" TO MATCH SPECS
- ARMS - 2" SQ ALUMINUM TUBING PAINTED TO MATCH SPECS
- BRACKET - 1/4" PLATE ALUMINUM PAINTED TO MATCH SPECS
- LEDS - WHITE

INSTALLATION - PROJECTED OFF BUILDING WITH ARMS AND BRACKETS

COLOR SPECIFICATIONS:		<i>NOTE: THERE WILL BE COLOR VARIATIONS FROM THIS PRINTED DRAWING TO THE FINAL PRODUCT. COLORS SPECIFIED WILL ALWAYS BE MATCHED AS CLOSELY AS POSSIBLE. RENDERING IS BASED ON ESTIMATED DIMENSIONS. A FINAL SURVEY MAY ALTER ILLUSTRATED REPRESENTATION AND PLACEMENT.</i>	SCI REP:	DESIGNER:	PERMIT INFORMATION:	
A MP20147 DURNODIC BRONZE MET.	F		JV	NK	N/A	
B DIG. PRINT	G					
C ORACAL 651-070 BLACK	H					
D	I					
E	J		DATE:	REVISION DATE:	FINAL DATE & BY:	SHEET #:
			04/29/2020			

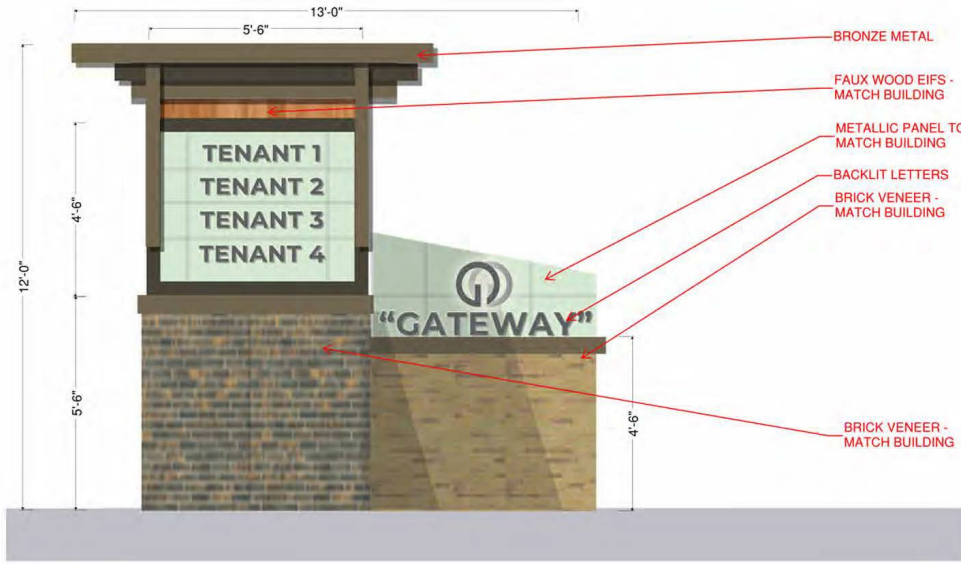
ART SCALE: 1" = 1' - 0"

EXHIBIT E, CONT.
CONCEPTUAL SIGN PACKAGE

INTEGRATED DEVELOPMENT
Signage Examples

D1

GROUND SIGN - 12'H X 13'W



COLOR SPECIFICATIONS:		<i>NOTE: THERE WILL BE COLOR VARIATIONS FROM THIS PRINTED DRAWING TO THE FINAL PRODUCT. COLORS SPECIFIED WILL ALWAYS BE MATCHED AS CLOSELY AS POSSIBLE. RENDERING IS BASED ON ESTIMATED DIMENSIONS. A FINAL SURVEY MAY ALTER ILLUSTRATED REPRESENTATION AND PLACEMENT.</i>	SCI REP:	DESIGNER:	PERMIT INFORMATION:
A MP20147 DURONODIC BRONZE MET.	F		JV	NK	N/A
B DIG. PRINT	G				
C ORACAL 651-070 BLACK	H				
D	I				
E	J	<i>IF ILLUMINATED: WILL BE WIRED TO 120 VOLT UNLESS OTHERWISE SPECIFIED. THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.</i>	DATE:	REVISION DATE:	

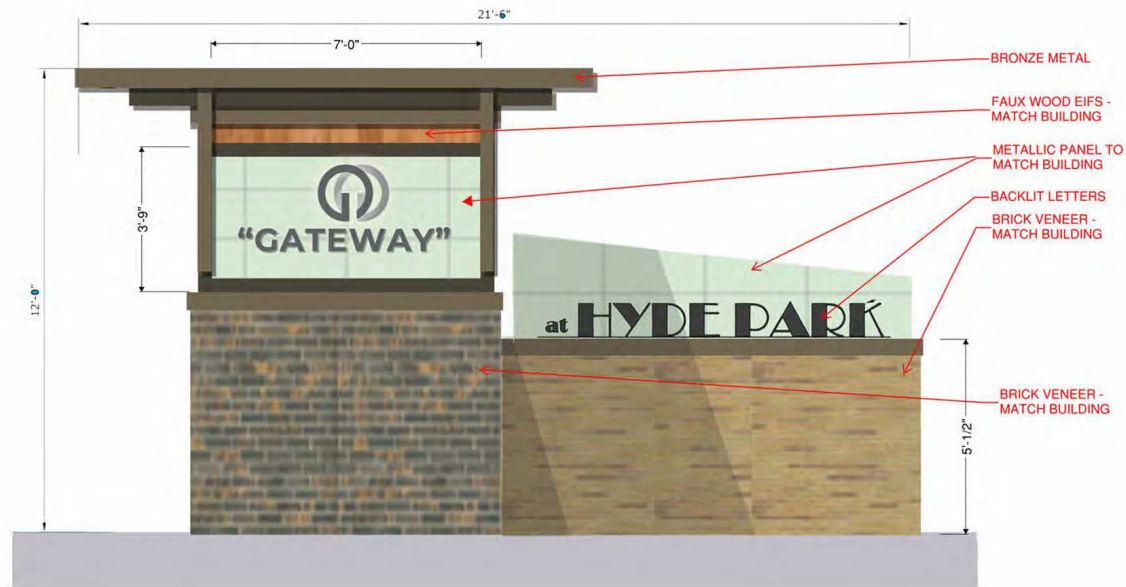
ART SCALE: 1" = 1'-0"

EXHIBIT E, CONT.
CONCEPTUAL SIGN PACKAGE

INTEGRATED DEVELOPMENT
Signage Examples

D2

DESIGNATION SIGN - 12'H X 21'-6"W



COLOR SPECIFICATIONS:

- A** MP20147 DURONODIC BRONZE MET.
- B** DIG. PRINT
- C** ORACAL 651-070 BLACK
- D**
- E**

- F**
- G**
- H**
- I**
- J**

NOTE: THERE WILL BE COLOR VARIATIONS FROM THIS PRINTED DRAWING TO THE FINAL PRODUCT. COLORS SPECIFIED WILL ALWAYS BE MATCHED AS CLOSELY AS POSSIBLE. RENDERING IS BASED ON ESTIMATED DIMENSIONS. A FINAL SURVEY MAY ALTER ILLUSTRATED REPRESENTATION AND PLACEMENT.

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SCI REP:
JV

DESIGNER:
NK

PERMIT INFORMATION:
N/A

DATE:

REVISION DATE:

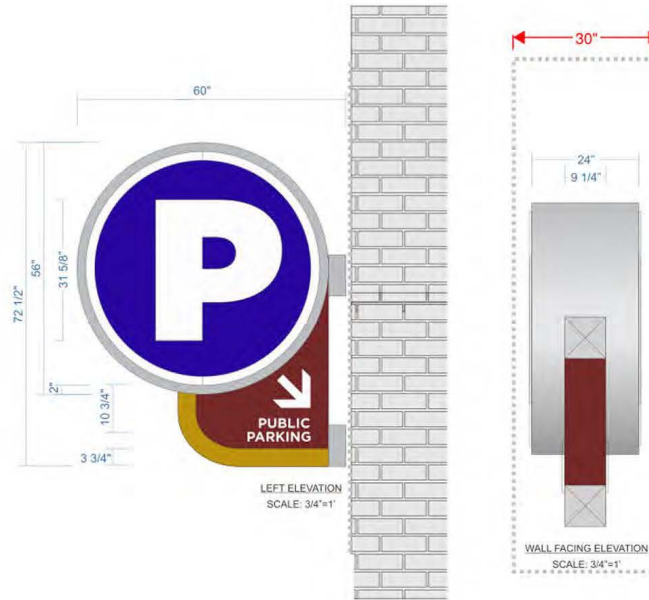
ART SCALE: 1" = 1' - 0"

EXHIBIT E, CONT.
CONCEPTUAL SIGN PACKAGE

P1

PARKING BLADE SIGN - SAMPLE

INTEGRATED DEVELOPMENT
Signage Examples



FABRICATE AND INSTALL (1) 2 SIDED FACE LIT BLADE SIGN

MAIN CABINET - .080" aluminum cladding, .040" returns, & 2" retainer painted MP 413420 brushed aluminum

BOARDER: 1/2" Clear Acrylic Push-thru w/ second surface diffuser vinyl

FACE: .090" Aluminum Painted PMS 072C Blue match w/ routed text and boarder

"P": 1/2" push through clear acrylic "P" with second surface diffuser vinyl

Bottom Arm - .080" aluminum cladding, routed for 1/2" arrow clear acrylic push-thru w/ second surface diffuser, Front elevation painted PMS 1245C Yellow, side and back elevations painted PMS 1245C Yellow, PMS 491C Red

Mounting: Thru-bolt mounted flush via aluminum spacers painted MP 413420 brushed aluminum

Illumination: AVL 6500 white LEDs

COLOR SPECIFICATIONS:

A	F
B	G
C	H
D	I
E	J

NOTE: THERE WILL BE COLOR VARIATIONS FROM THIS PRINTED DRAWING TO THE FINAL PRODUCT. COLORS SPECIFIED WILL ALWAYS BE MATCHED AS CLOSELY AS POSSIBLE. RENDERING IS BASED ON ESTIMATED DIMENSIONS. A FINAL SURVEY MAY ALTER ILLUSTRATED REPRESENTATION AND PLACEMENT.

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PERMIT INFORMATION: N/A	DATE:	REVISION DATE:	FINAL DATE & BY:	SHEET #:
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ART SCALE: 1" = 1'-0"