

ORDINANCE NO. _____

**AN ORDINANCE TO AMEND THE UNIFIED DEVELOPMENT ORDINANCE,
A PART OF THE COMPREHENSIVE PLAN OF THE CITY OF NOBLESVILLE,
HAMILTON COUNTY, INDIANA**

This is an Ordinance to amend the Unified Development Ordinance for the City of Noblesville, Hamilton County, Indiana (the “UDO”), enacted by the City of Noblesville under authority of Indiana Code § 36-7-600, et seq., as amended.

WHEREAS, the Plan Commission of the City of Noblesville (the "Plan Commission") conducted a public hearing on application number _____ (the “Petition”) at its _____, 2023, meeting as required by law in regard to the application filed by Pulte Homes of Indiana, Inc. (the “Developer”) for a request in change of zoning (the "Petition"); and

WHEREAS, the Plan Commission sent a _____ Recommendation relating to the Petition to the Common Council of the City of Noblesville, Indiana, (the “City Council”) by a vote of _____ () in favor and _____ () opposed;

NOW, THEREFORE, BE IT ORDAINED by the City Council, meeting in regular session, it hereby adopts this ordinance (the "Ordinance") as an amendment to the UDO and the Official City of Noblesville Zoning Map (the "Zoning Map") as follows:

Section 1. Applicability of Ordinance.

- 1.1 The Zoning Map is hereby changed to designate the subject real estate generally located east of Boden Road and north of 156th Street, more particularly described in **Exhibit A**, attached hereto (the “Real Estate”), as a Planned Development Overlay District to be known as the **Finch Creek Planned Development** (the "District").
- 1.2 The District's underlying zoning districts shall be the **R-4 Residential District** for Areas A-C as shown on **Exhibit B-1** and **R-5 Residential District/PB Planned Business** for Area D as shown on **Exhibit B-1** (the "Underlying Districts"). Development in the Underlying Districts shall be governed entirely by (i) the provisions of this Ordinance and its exhibits, and (ii) those provisions of the UDO in effect as of the date of adoption of this Ordinance, and applicable to the Underlying District, except as modified, revised, supplemented, or expressly made inapplicable by this Ordinance (collectively, (i) and (ii), the “Governing Standards”).
- 1.3 All provisions and representations of the UDO that conflict with the provisions of this Ordinance and its exhibits are hereby rescinded as applied to the Real Estate and shall be superseded by the terms of this Ordinance.

Section 2. Definitions.

- 2.1 The general rules of construction set forth in Article 2 of the UDO and the definitions set forth in this Ordinance shall apply to the regulations of this Ordinance. Capitalized terms that are not otherwise defined herein but are defined in the UDO shall have the meaning ascribed to them in the UDO.
- 2.2 “Architectural and Landscaping Standards” shall mean the standards set forth in **Exhibit D**, attached hereto, related only to the single family detached homes.
- 2.3 “Frontage” shall mean property connected directly with a street or highway. For the purpose of determining frontage, an alley shall be considered the same as a street only for lots which the alley serves as it’s only means of frontage/access to public right-of-way.
- 2.4 “Local Streets” shall mean a system of streets and roads, which primarily provides local access service {including supplying access to fronting properties} and access to a higher order of street systems. Alleys shall be considered the same as a street or lots which the alley serves as it’s only means of frontage/access to public right-of-way.
- 2.5 “Illustrative Elevations” shall mean the set of single-family attached, single-family detached, multi-family, and commercial illustrative architectural elevations attached hereto as **Exhibit C**.
- 2.6 “Lot Type” shall mean the parcel with specific bulk and density standards associated with the various residential dwelling types identified in Section 5.
- 2.7 “Conceptual Development Plan” shall mean the colored, conceptual plan attached hereto as **Exhibit B**.

Section 3. Permitted Uses.

- 3.1 The following uses shall be permitted in Areas A, B & C:
 - a. Dwelling, Single-Family Detached
- 3.2 The following uses shall be permitted in Area D:
 - a. All uses in the R-5 Residential District
 - b. Assisted Living Facility
 - c. All uses as shown in the Use Exhibit, attached hereto as Exhibit E.
- 3.3 All Temporary Uses, Conditional Uses, Accessory Uses and Accessory Buildings customarily incidental to any of the permitted uses shall be permitted.

Section 4. Preliminary Development Plan.

- 4.1 The Conceptual Development Plan is hereby incorporated and approved. The Conceptual Development Plan is intended to establish the vision and intent for the

Real Estate; however, a Preliminary Development Plan is still required and has been filed with this Ordinance.

Section 5. Architectural Standards. The following standards shall apply.

- 5.1 All single-family homes and multi-family buildings shall be: 1) substantially consistent with the Illustrative Elevations; or 2) otherwise comply with the Architectural and Landscaping Standards set forth in **Exhibit D**. The Director of Planning and Development (the “Director”), including his/her designees, shall review and approve home elevations at the time of filing of the Detailed Development Plan and/or Building Permit for compliance.
- 5.2 If a home or multi-family elevation does not comply with Section 5.1, then the proposed home or multi-family elevation(s) shall be submitted for review and approval by the Director. The Director’s review of the elevation(s) shall be performed in order to determine its compatibility and consistency with the intended quality and character of the District and the Illustrative Elevations. If the Director does not approve the proposed home or multi-family elevation pursuant to the standards set forth in this Section 5, then the Developer shall have the right to submit the proposed elevation to the Architectural Review Board (“ARB”) for review and approval. The ARB’s review shall be performed in order to determine compatibility and consistency with the intended quality and character of the District and the Illustrative Elevations.
- 5.3 All commercial/retail buildings shall be substantially consistent with the Illustrative Elevations, unless the commercial/retail space is within the footprint of a mixed-use building, in which case, it shall blend into the rest of the building.
- 5.4 Any number of materials may be used for the design of buildings in Areas D. The following is a list of acceptable materials:
 - A. Brick
 - B. Stone
 - C. C.M.U (concrete masonry units)
 - D. Glass block
 - E. Cast stone
 - F. Poured Concrete
 - G. Precast Concrete
 - H. Colored/Decorative Concrete
 - I. Limestone
 - J. Terracotta
 - K. Fiber Cement Siding
 - L. Wood
 - M. Engineered Wood
 - N. Stucco
 - O. EIFS
 - P. Glass (clear, colored, sand blasted, etched, etc.)
 - Q. Metal railing

Section 6. **Title, Purpose, and Effect.** The regulations of *ARTICLE 1. TITLE, PURPOSE, AND EFFECT* shall apply.

Section 7. **Definitions and Rules of Word Usage.** The regulations of *ARTICLE 2 DEFINITIONS AND RULES OF OWRD USAGE* shall apply.

Section 8. **Administrative Bodies and Officials.** The regulations of *ARTICLE 3 ADMINISTRATIVE BODIES AND OFFICIALS* shall apply.

Section 9. **Zoning Applications and Approvals** The regulations of *ARTICLE 4 ZONING APPLICATIONS AND APPROVALS* shall apply.

Section 10. **Subdivision Procedure.** The regulations of *ARTICLE 5 SUBDIVISION PROCEDURE* shall apply.

Section 11. **Site Design and Improvement Standards.** The regulations of *ARTICLE 6 SITE DESIGN AND IMPROVEMENT STANDARDS* shall apply; except as modified below:

- 11.1 ***Article 6, Part C, Section 1.B.1. Blocks:*** Shall apply; except Blocks on local streets in residential areas shall not be more than two thousand six hundred ten (2,610) feet nor less than one hundred fifty (150) feet in length.
- 11.2 ***Article 6, Part C, Section 2.B.2. Corner Lot Dimensions:*** Shall apply; except Corner Lots shall be a minimum of twenty-five (25) percent larger than the minimum lot areas indicated for the area and lot type as identified in Section 13 of this Ordinance.
- 11.3 ***Article 6, Part C, Section 2.C.2. Lot Lines:*** Shall apply; except side lot lines shall be permitted to have jogs/offsets between the front and rear lot lines for Area C.
- 11.4 ***Article 6, Part D, Section 1.C.5.a. Mounds:*** Shall apply; except mounds shall be a minimum height at peak of three (3) feet.
- 11.5 ***Article 6, Part D, Section 1.C.7.b. Permanent Dead-End Streets (Cul de sacs):*** Shall apply; except the maximum length of a permanent cul-de-sac shall be permitted to be nine hundred twenty five (925) feet in length. The maximum length of a temporary cul-de-sac shall be permitted to be two thousand five hundred (2,500) feet in length.
- 11.6 ***Article 6, Part D, Section 1.D.5. Horizontal Alignment:*** Shall apply; except the minimum centerline radii for horizontal curves shall be one hundred fifty (150) feet for Residential Minor Collector streets, and the minimum tangent distance between reverse curves shall be zero (0) feet for Residential Minor Collector streets.

Section 12. **Plans, Maps, and Zoning Districts.** The regulations of *ARTICLE 7 PLANS, MAPS, AND PROCEDURES* shall apply.

Section 13. **Zoning Districts.** The regulations of *ARTICLE 8 ZONING DISTRICTS* shall apply, except as modified below:

- 13.1 **Table 8.B Summary of Residential Bulk Requirements and Table 8.C Summary of Commercial Bulk Requirements:** Shall not apply. Instead, the following requirements shall apply:

Standard	Area A Lot Type 1	Area A Lot Type 2	Area A Lot Type 3
Min. Lot Area	5,625 SF	6,500 SF	8,125 SF
Min. Lot Width	45'	51'	64'
Min. Lot Frontage	20'	20'	20'
Maximum Building Height	35'	35'	35'
Min. Front Yard Setback	20'	20'	20'
Min. Side Yard Setback ¹	5'	5'	5'
Min. Rear Yard Setback	15' (Primary) 5' (Accessory)	15' (Primary) 5' (Accessory)	15' (Primary) 5' (Accessory)
Floor Area Ratio	Does Not Apply	Does Not Apply	Does Not Apply
Min. Floor Area	1,400 SF	1,600 SF	2,000 SF
Maximum Lot Coverage	55%	55%	55%

¹ Minimum setback on either side of the structure.

Standard	Area B Lot Type 1 (Front Load Series)	Area B Lot Type 2 (Side Load Series)	Area C (Specialty)
Min. Lot Area	7,800 SF	10,400 SF	3,900 SF
Min. Lot Width	60'	80'	40'
Min. Lot Frontage	20'	20'	20'
Maximum Building Height	35'	35'	35'
Min. Front Yard Setback	20' ²	20' ²	20'
Min. Side Yard Setback ³	5'	3'	0'
Min. Building Separation	10'	10'	10' ⁶
Min. Rear Yard Setback	20' (Primary) 5' (Accessory)	20' (Primary) 5' (Accessory)	15'
Floor Area Ratio	Does Not Apply	Does Not Apply	Does Not Apply
Min. Floor Area	1,600 SF ⁴ 2,200 SF ⁵	2,200 SF ⁴ 2,600 SF ⁵	1,800 SF
Maximum Lot Coverage	55%	55%	Does Not Apply

² Front Yard Setbacks in Area B shall be offset a minimum of two feet (2') on adjacent lots. No variation required along street curves.

³ Minimum setback on either side of the structure.

⁴ For a single-story dwelling unit.

⁵ For a two-story dwelling unit.

⁶ Brick, overhangs, and front porch slabs may encroach into this separation up to one (1) foot.

Standard	Area D (Mixed-Use) ¹
Min. Lot Area	Does Not Apply
Min. Lot Size	Does Not Apply
Min. Lot Width	Does Not Apply
Maximum Building Height	4 stories or 50', whichever is greater
Min. Front Yard Setback	5'
Min. Side Yard Setback ²	5'
Min. Rear Yard Setback	5'
Floor Area Ratio	Does Not Apply
Min. Floor Area	700 SF/Unit
Min. District Size	N/A
Max District Size	N/A
Maximum Lot Coverage	Does Not Apply

¹ Article 8, Part B, Section 6(C)(1) shall not apply to Area D.

² Minimum setback on either side of the structure

Note: Accessory structures such as entry monument signs, roundabout walls and gateway structures shall be permitted within the building setbacks, subject to the City Engineering Department's approval.

13.2 Article 8, Part B, Section 6.C.1.b. Setbacks: Shall not apply.

13.3 Article 8, Part H, Section 3.F.1.b. Establishment of Site Development Intensity: Shall not apply. Instead, the maximum number of Dwelling Units for each Area is:

- A. Area A shall not exceed six hundred ninety (690) total Dwelling Units and shall include a minimum of fifty (50) of each Lot Type.
- B. Area B shall not exceed five hundred thirty five (535) total Dwelling Units and shall include a minimum of seventy-two (72) of each Lot Type.
- C. Area C shall not exceed one hundred fifteen (115) total Dwelling Units. If a secondary plat has not been recorded for any portion of Area C within five (5) years from the date of approval of this PD Ordinance, then development in that

portion of Area C shall comply with the standards set forth in Area B, Lot Type 1.

- D. Area D shall not exceed six hundred (600) total Dwelling Units and shall include a maximum of: five hundred (500) Multi-Family Dwellings and one hundred (100) Single-Family Attached Dwellings/Townhouses.

13.4 **Article 8, Part H, Section 3.F.2. Establishment of Peripheral Yard:** Shall not apply. Instead, Section 17.4 of this Ordinance shall apply.

13.5 **Article 8, Part H, Section 3.H. Designation of Permanent Common Open Space:** Shall not apply. Instead, open space shall be provided as generally shown on the Conceptual Development Plan.

Section 14. General Regulations. The regulations of *ARTICLE 9 GENERAL REGULATIONS* shall apply; except as modified below:

14.1 **Article 9, Part G, Section 3.A. Temporary Uses Require a Temporary Use Permit (Model Homes):** Shall apply; except as modified below:

- A. Area A shall be permitted a maximum of six (6) model homes at any given time, of any plan or product series on any lot within Area A. Model home areas identified within this PUD or the Site Plan are subject to change at any time.
- B. Area B shall be permitted a maximum of six (6) model homes at any given time, of any plan or product series on any lot within Area B. Model home areas identified within this PUD or the Site Plan are subject to change at any time.
- C. Area C shall be permitted a maximum of four (4) model homes at any given time, of any plan or product series on any lot within Area C. Model home areas identified within this PUD or the Site Plan are subject to change at any time.
- D. Area D shall be permitted a maximum of two (2) model homes at any given time, of any plan or product series on any lot within Area D. Model home areas identified within this PUD or the Site Plan are subject to change at any time.

Section 15. Off-Street Parking and Loading. The regulations of *ARTICLE 10 OFF-STREET PARKING AND LOADING* shall apply, except as modified below:

- 15.1 **Table 10.0.4.A. Off-Street Parking Dimensions:** Shall apply, except the vehicle projection for a ninety-degree (90 °) parking stall shall be eighteen (18) feet.
- 15.2 **Article 10, Section 4.B.1. Dimensions and Layout:** Shall not apply; instead, the off- street parking shall be located as generally shown on the Conceptual Development Plan.
- 15.3 **Article 10, Section 4.C.2. Driveways:** Shall not apply; instead, the entrances and exits shall be as generally shown on the Conceptual Development Plan, and residential driveways located on property fronting more than one public street shall have the leading edge of the driveway at least ten (10) feet from the

intersection.

- 15.4 **Article 10, Section 4.C.4. Location of Parking and Loading Behind Required Setback:** Shall not apply; instead, the parking and loading shall be as generally shown on the Conceptual Development Plan.
- 15.5 **Article 10, Section 4.D.3. Marking of Parking:** Shall apply, except bumper guards or wheel guards shall not be required if curbs are integrated with the sidewalk.
- 15.6 **Article 10, Section 6.A.3. Pedestrian Access Along Building Facades Not Adjacent to a Public Sidewalk:** Shall not apply. Instead, the pedestrian walkways shall be as shown generally on the Conceptual Development Plan.
- 15.7 **Article 10, Section 6.A.4. Pedestrian Access Through Parking Areas:** Shall not apply.
- 15.8 **Article 10, Section 6.B.2. Pedestrian Walkway Standards - Along Facades Not Adjacent to Sidewalks:** Shall not apply.
- 15.9 **Article 10, Section 9.E. Design and Improvement Standards:** Shall not apply.
- 15.10 **Article 10, Section 9.F. Central Loading:** Shall not apply.
- 15.11 **Additional Off-Street Parking Provisions:** Notwithstanding the above, as an alternative to the UDO's parking and loading requirements, a site-specific parking and loading plan for Areas D, may be submitted for review and approval by the Director.

Section 16. **Signs.** The regulations of *ARTICLE 11. SIGNS* shall apply, except as modified below:

- 16.1 **Article 11, Part B, Section 3.A.4 Design:** Shall apply; except that the size of the words "of Noblesville" shall be a minimum of twenty-five (25) percent of the height of the largest group of letters.
- 16.2 **Article 11, Part B, Section 5 Design:** Shall not apply. Signs and accessory walls or monuments may be located within setbacks and ROWs.
- 16.3 **Article 11, Part C, Section 1.B.2. Type of Sign Permitted:** Shall apply. In addition, blade and building mounted signs shall be permitted in the District.
- 16.4 **Article 11, Part C, Section 1.B.3. Number:** Shall apply; except as modified below:
 - A. Only one (1) Ground Sign shall be permitted at each entrance to a recorded, platted residential subdivision, if the Ground Sign is located within the median of a boulevard entrance.
 - B. Two (2) Ground Signs shall be permitted at each entrance to a recorded, platted residential subdivision, if the Ground Signs is located on either side of the entrance. Accessory walls, columns or other monumentation shall be permitted as part of the signage on either side and within the median.

- 16.5 **Article 11, Part C, Section 1.B.4. Maximum Sign Area:** Shall apply; except as modified below:
- A. The Maximum Sign Area shall be one hundred (100) square feet, per face, per sign.
- 16.6 **Article 11, Part C, Section 1.B.5. Maximum Ground Sign Height:** Shall apply; except as modified below:
- A. The Maximum Ground Sign Height shall be twenty (20) feet; decorative/accessory features shall be permitted to extend up to twenty-five (25) feet in height. Please see an example sign attached hereto as **Exhibit G.**
- 16.7 **Del Webb Sign Package Details:** Shall apply as detailed below and substantially the same as shown on **Exhibit G to G-9.**
- A. **Pole banner** signs shall be permitted to be installed or displayed by the Developer or the homeowners' association for the Finch Creek PD (the "HOA") only along the main, entrance boulevard and in front of the amenity center and shall not be classified as temporary signs. Street pole banners and pole banners shall be spaced a minimum of 150 feet apart, shall have no more than two (2) banners per pole, and shall not be affixed to more than fifteen (15) poles. Examples of the permitted street pole banners and pole banners are attached hereto as **Exhibit G-1 and Exhibit G-2.**
 - I. Street Pole Banners and Pole Banners may be located on any street light poles within the Real Estate and shall not be limited in the total number of banners in the development. Each banner shall be a maximum of 2' wide and 5' tall. Banners may have print on both faces.
 - II. Flags: Corporate flags may be flown at sales center locations in conjunction with the American flag are permitted. Only one corporate flag shall be permitted per builder. The maximum height of any such flag pole shall be restricted to twenty five (25'). Flag size should be appropriate for the height of the flag pole.
 - B. **Parking Signs** shall be permitted as follows: One (1) sign, per parking space, not to exceed two (2) square feet in area and six (6) feet in height (includes post) shall be permitted. An example of the permitted parking sign is attached hereto as **Exhibit G-6.**
 - C. **Permanent Way Finding/Directional Signs** shall be permitted as follows throughout the Finch Creek Development: These signs are intended to be directional signs for both pedestrian and vehicular traffic.
 - I. Way Finding Signs not located at the intersection of two roads shall be spaced a minimum of 50 feet apart. An example of the permitted way finding/directional sign is attached hereto as **Exhibit G-3.**
 - II. Way Finding Signs are limited to four (4) square feet in sign face area, affixed to a post totaling not more than five (5) feet

- in height (includes post). Way Findings Signs shall not be illuminated.
- III. Subject to necessary approvals, Way Finding Signs may be located within the public right-of-way.
 - IV. Way Finding Sign design and material shall be in character with the theme of the Finch Creek PD or an applicable phase thereof. Plastic material shall be prohibited.
- D. Subject to necessary approvals, the Developer may elect **special street signs** for the neighborhood in order to establish the character and theme of the development. If elected, the HOA must maintain and/or replace such signs as needed. Street signs shall conform to the Manual for United Traffic Control Devices (M.U.T.C.D.).
- E. **Model Home/Sales Center Signage** shall be permitted for so long as a Dwelling is used as a model home by a builder of Dwellings in Finch Creek PD as follows:
- I. **Sales Center Sign:** One (1) ground sign on the lot on which the sales center is located, individually not to exceed eighteen (18) square feet in sign face area, five (5) feet in height (includes posts), and six (6) feet in width (includes posts) shall be permitted. The sales center sign may be double-faced. An example of the permitted sales center sign is attached hereto as **Exhibit G-4**.
 - II. **Model Identification Sign:** One (1) freestanding sign, per model, on the lot on which the model home is located, not to exceed six (6) square feet in sign face area, four (4) feet in height (includes posts), and four (4) feet in width (includes posts). An example of the permitted model identification sign is attached hereto as **Exhibit G-5**.
 - III. **Model Window/Decal Signs:** Three (3) window/decal signs, per model, a combined total of up to ten (10) square feet in area shall be permitted.
- F. **Amenity Signage** shall be permitted as follows:
- I. **Ground Sign:** One (1) ground sign, located at the clubhouse location, individually not to exceed one hundred twenty-eight (128) square feet in sign face area, thirteen (13) feet in height (includes posts), and sixteen (16) feet in width (includes posts) shall be permitted until the clubhouse is complete and available for use. An example of the permitted amenity ground sign is attached hereto as **Exhibit G-7**.
 - II. **Boulevard Signs:** Ten (10) individual ground signs, located along the entry boulevard, individually not to exceed six (6) square feet in sign face area, affixed to a post totaling not more than five (5) feet in height (includes post), subject to necessary approvals, may be located within the public right-of-way.

Examples of the permitted boulevard signs are attached hereto as **Exhibit G-8**. All Boulevard Signs shall be removed no later than the completion and sale of Dwellings on all Lots in the Finch Creek PD.

G. **Marketing Entrance Identification Signs** shall be permitted as follows:

- I. **Location:** Each permanent entrance off Five Points Road shall be permitted a maximum of one (1) double-faced, or two (2) single-faced ground sign(s). An example of the permitted marketing entrance identification sign is attached hereto as **Exhibit G-9**
- II. **Size:** Each sign face of a marketing entrance identification sign shall individually not to exceed sixty-four (64) square feet in sign face area with five (5) square feet for starbursts (see Sign Exhibit), ten (10) feet in height (includes posts), and eight (8) feet in width (includes posts). All Marketing Entrance Identification Signs shall be removed no later than the completion and sale of Dwellings on all Lots in the Finch Creek PD.

16.8 **Temporary Pole Banner Signs:** Temporary Pole Banner signs shall be permitted to be installed or displayed by a Developer at each entry way of the district, with a maximum of four (4) poles on each side of each entry way. Temporary Pole Banner signs shall be removed upon turnover from the Builder to the Home Owner Association.

16.9 **Additional Sign Provisions:** Notwithstanding the above, a Program of Signs including dimensions, color, materials, illumination, and locations may be submitted for review and approval by the Plan Commission.

Section 17. Landscaping and Screening. The regulations of *ARTICLE 12. LANDSCAPING AND SCREENING* shall apply; except as modified below:

17.1 **Article 12, Section 4.B.6. Landscaping and Screening:** Shall apply, except no maximum height requirement.

17.2 **Lot Landscaping.** Individual lots and multi-family buildings shall be landscaped in accordance with the Architectural and Landscaping Standards, attached hereto as **Exhibit D**.

17.3 **Parking Lot Landscaping.** Commercial parking lots shall provide perimeter landscaping a minimum of ten (10) feet in width.

17.4 **Building Base Landscaping.** As an alternative to the UDO's building base landscaping requirements, a site-specific landscape plan, including soft-scapes and vegetation around outdoor seating/patio areas, may be submitted for review and approval by the Director.

17.5 **Table 12.0.7.E. Landscape Buffer Yard Requirements:** Shall apply only where and as specified below and as depicted on the Buffer Exhibit, attached hereto as **Exhibit F**. All other Landscape Buffer Yards shall be waived.

- A. The Landscape Buffer Yards along Boden Road, 166th Street, and 156th Street shall be a minimum of fifty (50) feet in width, except along Area D, where Landscape Buffer Yards shall not apply.
- B. The Landscape Buffer Yard along Olio Road shall be a minimum of fifty (50) feet in width and may be located east, west, or within the relocated powerline easement. The Landscape Buffer yard may include easements. Mounding and plantings, per the UDO, shall be required unless otherwise restricted by a utility easement. This standard is intended to accommodate the relocation of the existing overhead powerlines to the Olio Road frontage.
- C. The Landscape Buffer Yard along the shared property line north of the Mixed-Use Area and the Noble East PD shall be a minimum of twenty (20) feet in width.

17.6 **Article 12, Section 9. Street Trees:** Shall apply; except as modified below:

- A. For Areas A & B, one (1) street tree shall be required per lot, except for corner lots, which shall have two (2) street trees – one (1) on each street frontage.
- B. For Areas C & D, the spacing of street trees shall be every forty (40) to sixty (60) feet. When spacing is limited by extenuating circumstances such as sanitary sewer restrictions, driveways, or other restrictions, street trees may be planted within a common area or lot.

Section 18. Environmental Performance Standards. The regulations of *ARTICLE 13. ENVIRONMENTAL PERFORMANCE STANDARDS* shall apply.

Section 19. Nonconforming Uses and Structures. The regulations of *ARTICLE 14. NONCONFORMING USES AND STRUCTURES* shall apply.

Section 20. Enforcement. The regulations of *ARTICLE 15. ENFORCEMENT* shall apply.

Section 21. Procedures.

21.1 Detailed Development Plan. A Detailed Development Plan (“DDP”) for each section within an Area shall be submitted to the City for review and approval pursuant to Article 8, Part H, Sec. 3, subject to the following clarification: (i) the Director of Planning and Zoning shall approve Minor Changes; and (ii) if a DDP includes a Major Change from the approved Preliminary Development Plan, then, prior to approval of the DDP, an amended Preliminary Development Plan shall be submitted to the City for review by the Technical Advisory Committee and then for review and approval by the Plan Commission following a public hearing. A Secondary Plat shall be submitted for review and approval as part of any approved DDP. A Major change from the approved Preliminary Development Plan shall be reviewed and approved by the Technical Advisory Committee and the Plan Commission based upon compliance with the development standards set forth

herein and shall be compatible and consistent with the intended quality and character of the District.

21.3 Major and Minor Changes.

21.3.1 “Major Change” shall mean: (i) an increase in the maximum number of Dwelling Units for an Area as described in Section 13.3 of this Ordinance, (ii) a substantial change to the location of a perimeter entrance as shown on the Preliminary Development Plan, and (iii) significant changes to the drainage management systems, including but not limited to, BMP’s and legal drains.

23.3.2 “Minor Change” shall mean: Any change (other than a Major Change) that is consistent with the intent of this Ordinance and consistent with the quality and character represented in this Ordinance. Specifically, changes to the internal street configurations and building configurations are expected and shall be deemed to be Minor Changes.

Section 22. Waivers.

22.1 A wall or fence may be allowed within the Common Area/Landscape Buffer.

Section 23. Amenities.

23.1 Trails/Paths. Trails shall be installed in the locations generally shown on the Conceptual Development Plan. All trails may be constructed of either asphalt or concrete. Internal trails shall be a minimum of eight (8) feet.

23.2 The following amenities shall be included in Area A:

- A. Clubhouse. A minimum fourteen thousand (14,000) square foot clubhouse shall be constructed, which shall include a fitness center, pool, community room, sports courts (bocce, tennis and/or pickle ball), and an outdoor kitchen or fire table area.
- B. Pocket Parks. Pocket parks shall be developed in the general location and size as shown on the Conceptual Development Plan, and may be selected from (dog park, community gardens, yoga lawn, seating area with landscaping, bird watching area, butterfly garden, etc.). Each pocket park shall be installed as part of any adjacent phase or section, with the exception of the dog park which may be installed in any phase or section.

[REMAINDER OF PAGE INTENTIONALLY LEFT BLANK-SIGNATURE PAGE(S) TO FOLLOW]

Approved on this ____ day of _____, 2023 by the Common Council of the City of Noblesville, Indiana:

AYE	COUNCIL MEMBER	NAY	ABSTAIN
	Brian Ayer		
	Mark Boice		
	Michael J. Davis		
	Gregory P. O'Connor		
	Darren Peterson		
	Pete Schwartz		
	Aaron Smith		
	Dan Spartz		
	Megan G. Wiles		

ATTEST: _____
 Evelyn L. Lees, City Clerk

Presented by me to the Mayor of the City of Noblesville, Indiana, this ____ day of _____, 2023 at _____ .M.

 Evelyn L. Lees, City Clerk

MAYOR'S APPROVAL

 Chris Jenson, Mayor

 Date

MAYOR'S VETO

 Chris Jenson, Mayor

 Date

ATTEST: _____
 Evelyn L. Lees, City Clerk

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security Number in this document, unless required by law: Rex A. Ramage.

Prepared by: Rex A. Ramage, Pulte Homes of Indiana, Inc.
 11590 N Meridian Street, Carmel, Indiana 46032 | (317) 814-2026

EXHIBIT A
REAL ESTATE

AS-SURVEYED LAND DESCRIPTION

Part of the Northeast Quarter, all of the Southeast Quarter, part of the Southwest Quarter, and part of the Northwest Quarter; all in Section 11, Township 18 North, Range 5 East of the Second Principal Meridian, Wayne Township, Hamilton County, Indiana, more particularly described as follows:

BEGINNING at a Harrison monument marking the northwest corner of said Northeast Quarter; thence South 89 degrees 59 minutes 27 seconds East (grid bearing based upon Indiana State Plane East Zone (NAD 83 2011, EPOCH 2010.0000) along the north line of said Northeast Quarter a distance of 861.25 feet to the northwest corner of a parcel described in Instrument Number 200400030204 in the Office of the Recorder of Hamilton County, Indiana, the following two (2) courses being along the west and south lines thereof; (1) thence South 00 degrees 15 minutes 13 seconds East a distance of 1436.35 feet to the southwest corner thereof; (2) thence South 89 degrees 59 minutes 27 seconds East a distance of 1749.40 feet to the east line of said Northeast Quarter; thence South 00 degrees 17 minutes 15 seconds East along said east line a distance of 1213.55 feet to the southeast corner of said Northeast Quarter, said corner being marked by a Harrison monument; thence South 00 degrees 26 minutes 38 seconds East along the east line of said Southeast Quarter a distance of 2656.66 feet to the southeast corner thereof, said corner being marked by a Harrison monument; thence South 89 degrees 47 minutes 37 seconds West along the south line of said Southeast Quarter a distance of 2622.52 feet to the southwest corner thereof, said corner being marked by a Harrison monument; thence South 89 degrees 44 minutes 48 seconds West along the south line of said Southwest Quarter a distance of 2503.93 feet to the east corner of a parcel described in Instrument Number 9448501 in said Recorder's Office; thence North 45 degrees 11 minutes 45 seconds West along the northeast line of said parcel a distance of 155.41 feet to the west line of said Southwest Quarter; thence North 00 degrees 08 minutes 18 seconds West along said west line a distance of 1222.16 feet to the northwest corner of the Southwest Quarter of said Southwest Quarter, said corner being marked by a mag nail with washer stamped "HWC ENGINEERING FIRM #0114"; thence North 89 degrees 51 minutes 37 seconds East along the north line of said quarter-quarter section a distance of 1306.55 feet to the southwest corner of the Northeast Quarter of said Southwest Quarter, said corner being marked by a 5/8-inch uncapped rebar; thence North 00 degrees 09 minutes 22 seconds West along the west line of said quarter-quarter section a distance of 1329.56 feet to the northwest corner thereof, said corner being marked by a 5/8-inch rebar with yellow plastic cap stamped "HWC ENGINEERING FIRM #0114"; thence North 00 degrees 15 minutes 13 seconds West along the west line of the East Half of said Northwest Quarter a distance of 2663.11 feet to the northwest corner of said half-quarter section, said corner being marked by a mag nail with washer stamped "P.I. CRIPE 842-6777"; thence South 89 degrees 59 minutes 43 seconds East along the north line of said Northwest Quarter a distance of 1304.79 feet to the POINT OF BEGINNING, containing 460.219 acres, more or less.

AND

Part of the West Half of Section 11, Township 18 North, Range 5 East located in Wayne Township, Hamilton County, Indiana, described as follows:

BEGINNING at the Southwest Corner of the Northwest Quarter of said Section, thence North 00 degrees 13 minutes 30 seconds West (basis of bearing = ALTA/ ACSM land title survey prepared by the Schneider Corporation as Job #3544.001) along the West line thereof a distance of 1662.31 feet; thence North 89 degrees 59 minutes 23 seconds East a distance of 1305.37 feet to the East line of the West half of said Northwest Quarter; thence South 00 degrees 15 minutes 14 seconds East along said East line a distance of 1661.95 feet to the Southeast corner of said half Quarter section; thence South 00 degrees 09 minutes 19 seconds East along the East line of the West half of the Southwest Quarter a distance of 1329.62 feet; thence South 89 degrees 51 minutes 35 seconds West a distance of 1306.57 feet to the West line of said Southwest Quarter; thence North 00 degrees 08 minutes 22 seconds West along said West line a distance of 1332.22 feet to the point of beginning, containing 89.74 acres, more or less.

EXCEPT a part of the West Half of Section 11, Township 18 North, Range 5 East, Hamilton County, Indiana, described as follows: Beginning on the West line of said Section at a point South 00 degrees 13 minutes 28 seconds East 1,011.11 feet from the Northwest corner of said Section, designated as point "2" on the Location Control Route Survey recorded in Instrument 2017028470, thence South 89 degrees 58 minutes 39 seconds East 70.00 feet along the North; thence South 00 degrees 13 minutes 28 seconds East 1,653.32 feet to the South line of the Northwest Quarter of said Section; thence North 89 degrees 37 minute 44 seconds West 70.00 feet along said South line to the Southwest corner of said Northwest Quarter, designated as point "3" on said Location Control Route Survey; thence North 00 degrees 13 minutes 28 seconds West 1,652.87 feet along the West line of said Section to the point of beginning and containing 2.656 acres, more or less.

AND

Part of the Northeast Quarter of Section 11, Township 18 North, Range 5 East of the Second Principal Meridian, in Wayne Township, Hamilton County, Indiana, based on a survey prepared by Michael G. Judt, Professional Surveyor #21500017, HWC Engineering Job #2017-266-C, more particularly described as follows:

BEGINNING at the northeast corner of said Northeast Quarter, marked by a Harrison monument; thence South 00 degrees 17 minutes 15 seconds East (grid bearing, Indiana State Plane, East Zone, NAD 83 (2011) EPOCH 2010.0000) along the east line of said Northeast Quarter a distance of 1436.35 feet; thence North 89 degrees 59 minutes 27 seconds West a distance of 1749.40 feet; thence North 00 degrees 15 minutes 13 seconds West a distance of 1436.35 feet to the north line of said Northeast Quarter; thence South 89 degrees 59 minutes 27 seconds East along said north line a distance of 1748.55 feet to the POINT OF BEGINNING, containing 57.670 acres, more or less.

EXHIBIT B
CONCEPTUAL DEVELOPMENT PLAN



EXHIBIT B-1
AREA PLAN

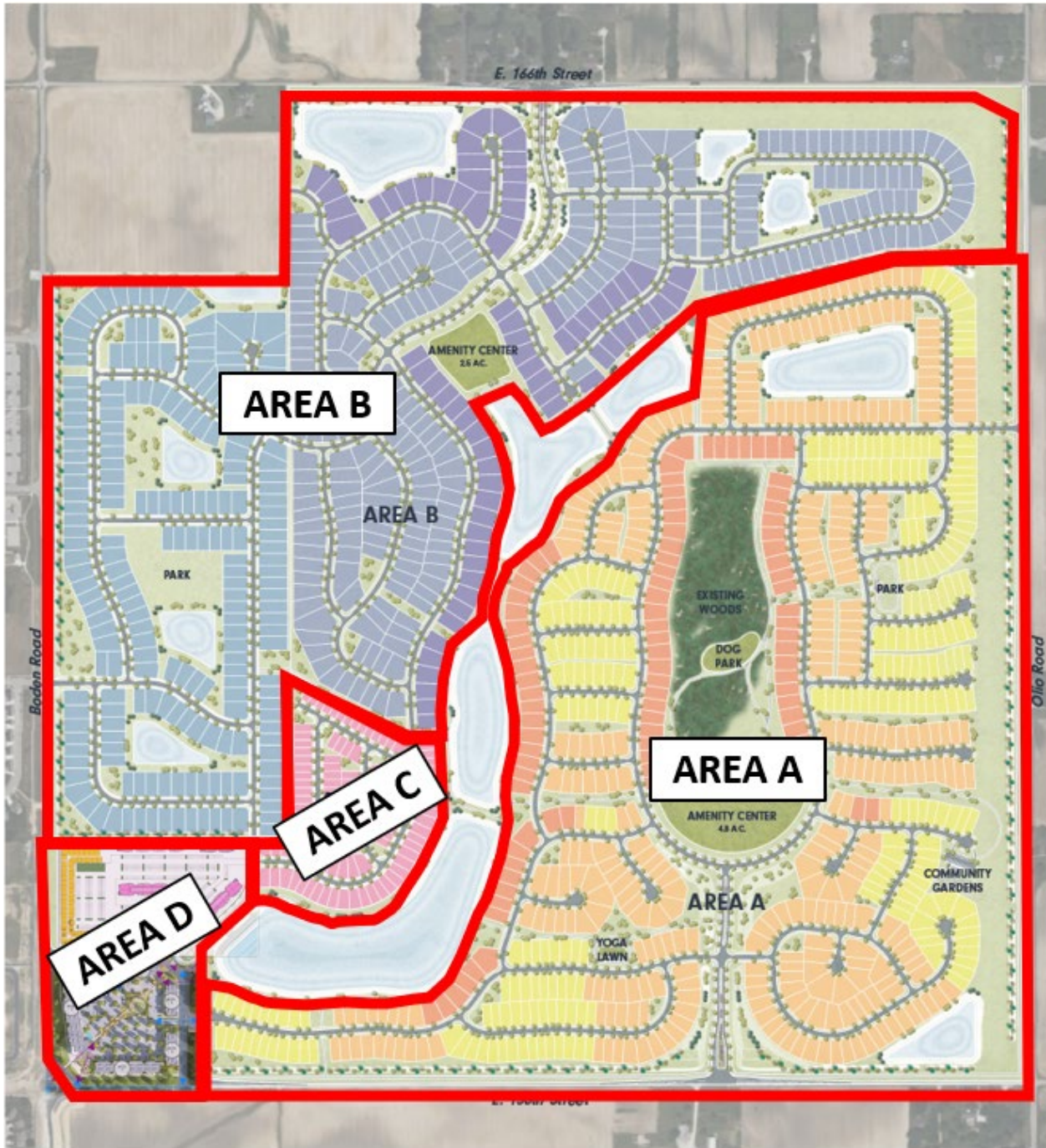


EXHIBIT B-2
AREA D – CONCEPTUAL SITE PLAN



EXHIBIT C – (AREA A - LOT TYPE 1)



EXHIBIT C – (AREA A - LOT TYPE 2)



EXHIBIT C – (AREA A – LOT TYPE 3)



EXHIBIT C – (AREA B – LOT TYPE 1)
FRONT LOAD



EXHIBIT C – (AREA B – LOT TYPE 1)
FRONT LOAD



EXHIBIT C – (AREA B – LOT TYPE 2)
SIDE LOAD



EXHIBIT C – (AREA C – LOT TYPE 1)
CORNERSTONE SERIES (SPECIALTY HOUSING)



EXHIBIT C – (AREA D)
MIXED-USE-Multi Family



EXHIBIT C – (AREA D)
MIXED-USE – Townhomes



EXHIBIT D
ARCHITECTURAL AND LANDSCAPING STANDARDS – AREA A

All terms used shall have the meaning ascribed to them in the definitions section at the end of this exhibit.

I. ROOF RIDGELINES

All homes required to provide a minimum of two (2) roof ridgelines visible from the front entry of the home.

II. CORNER BREAKS

Single-Level architectural features must project a minimum of four (4) feet from the adjacent architectural plane.

Front Elevations

All homes required to provide a minimum of three (3) corner breaks on each front elevation.

Side Elevations

Any side elevation with street frontage required to provide a minimum of three (3) corner breaks. All other side elevations are required to provide a minimum of two (2) corner breaks.

Rear Elevations

All homes on corner lots are required to provide a minimum of three (3) corner breaks on each Rear Elevation. All other rear elevations are required to provide a minimum of two (2) corner breaks.

III. WINDOWS

All homes required to provide a minimum of one (1) window on all four (4) sides of the home, except the home may have no windows on one (1) side provided the other three (3) elevations have a minimum of nine (9) windows total. For the purposes of this calculation, a twin window shall be counted as two (2) windows.

A service door providing access to a front-load garage may be installed on a side elevation in lieu of a required side-elevation Window once per home.

A grouping of Windows containing individual Windows less than 8 square feet may be

considered a Window for the purposes of calculation when the Windows comprising the grouping:

- Are identical in height or width to one another; AND
- Are individually at least 4 square feet in size; AND
- Are located on the same architectural plane, in the same interior room; OR are located within 24 inches of an adjacent Window within the same grouping; AND
- Have a combined aggregate size of at least 8 square feet

Windows in the garage door (in aggregate) or in the front door shall qualify as one (1) window, provided the total square footage is at least 8 square feet.

Window Treatment is required on all windows on the front facade.

IV. GARAGE DOOR

All homes shall have at least a 2-car attached garage.

Single-Level homes with front-load garages cannot exceed maximum garage door percentage of 35%.

If a third car garage is present, it must be offset a minimum of two (2) feet from an adjacent façade.

Garage elevations shall include a variety of design elements to vary the appearance of garage façades within Area A. The variety of design elements include the garage door, garage door windows, garage door hardware, garage door header, roof gable brackets, multiple building materials, gable accent windows and gable decorative louver. All garage doors shall also be painted a color to match the dominant exterior material or a color to accent the dominant exterior material.

V. FRONT ENTRY & PORCH

All homes must provide a Porch of at least 30 square feet or 6' in depth at the front entry.

VI. ROOF PITCH

All homes are required to provide a minimum roof pitch of 5/12 along the main roof ridgeline. Gable, dormer and porch roof pitches may vary to achieve various architectural

styles, in no event be less than 3/12.

The Director of Planning and Development, including his/her designee(s), may approve homes with a lower roof pitch if compatible with certain architectural or historical styles on a case-by-case basis (e.g., craftsman, prairie, etc.), as identified by *A Field Guide to American Houses*.

VII. ROOF OVERHANG

All homes are required to provide a minimum roof overhang of 11 inches, measured from framing, or 8 inches when measured from exterior surface of brick/stone, on all architectural planes. Lesser overhangs shall be permitted for secondary roof areas such as, but not limited to, porches and bay windows.

VIII. NUMBER OF EXTERIOR CLADDING STYLES PER ARCHITECTURAL PLANE

Front Elevations

Each front elevation is required to utilize a combination of different materials from the City's Approved Exterior Materials list:

1. One (1) construction material if 100% masonry is used on the architectural plane; or
2. Two (2) different construction materials if entire front elevation has brick wainscot up to sill of lowest first floor window; or

IX. HOMOGENEITY

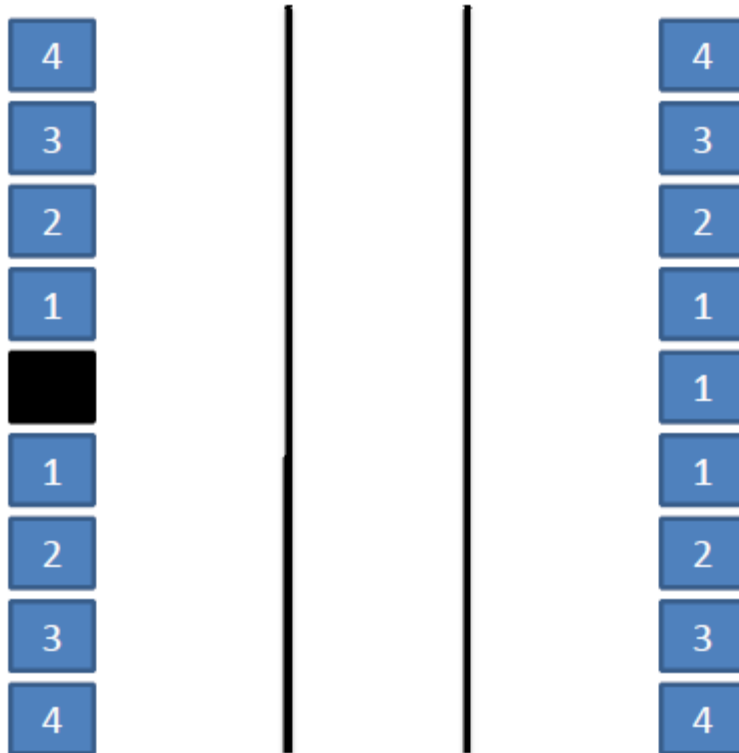
Exterior design details, including but not limited to: exterior cladding styles, material compositions, number and style of windows, window placement, trim detailing, and roof design must logically transition onto adjacent architectural planes to be consistent with the intended architectural style of the structure.

(Continued on next page)

X. ANTI-MONOTONY



FACADE VARIETY CODE



- 1** Home cannot be of the same elevation of the same plan as the Subject home. Must be a different color package. Home cannot be mirrored or flipped elevation.
- 2** Home cannot be of the same elevation of the same plan as the Subject home. Cannot be the identical color package as the Subject home but may have the same brick. Home cannot be mirrored or flipped elevation
- 3** Home may be of the same plan and elevation as the Subject home, but must be a different color package.
- 4** May be identical to Subject home.

XI. LANDSCAPING

Front Yard Landscaping

In addition to Street Trees, each front yard required to contain a minimum of:

- Two (2) shade trees (2.5" minimum trunk diameter) OR one (1) shade tree (2.5" minimum trunk diameter) AND one (1) ornamental tree (2.5" minimum trunk diameter)
- Ten (10) shrubs (24" minimum height)

EXHIBIT D
ARCHITECTURAL AND LANDSCAPING STANDARDS – AREA B

All terms used shall have the meaning ascribed to them in the definitions section at the end of this exhibit.

II. ROOF RIDGELINES

All homes required to provide a minimum of three (3) roof ridgelines visible from the front entry of the home.

III. CORNER BREAKS

All corner break architectural features must project a minimum of four (4) feet from the adjacent architectural plane.

Front Elevations

All homes required to provide a minimum of three (3) corner breaks on each front elevation. Architectural features located above the ground level are counted as corner breaks subject to the minimum corner break projection regulations.

Side Elevations

Any side elevation with street frontage required to provide a minimum of three (3) corner breaks. All other side elevations are required to provide a minimum of two (2) corner breaks.

Rear Elevations

All homes on corner lots and those homes with rear elevations visible from the 156th Street, 166th Street, and Olio Road public right-of-way are required to provide a minimum of three (3) corner breaks on each Rear Elevation. All other rear elevations are required to provide a minimum of two (2) corner breaks.

IV. WINDOWS

Single-Level and One and a Half Story homes required to provide a minimum of two (2) Windows on each front elevation, one (1) window on each side elevations, and three (3) windows on the rear elevation, with an aggregate total of eight (8) windows on the home.

Multiple-Level homes required to provide a minimum of three (3) Windows on each front elevation, one (1) window on each side elevations, and three (3) windows on the rear

elevation, with an aggregate total of twelve (12) windows on the home.

A service door with half window providing access to a front-load garage may be installed on a side elevation in lieu of a required side-elevation Window once per home.

A grouping of Windows containing individual Windows less than 8 square feet may be considered a Window for the purposes of calculation when the Windows comprising the grouping:

- Are identical in height or width to one another; AND
- Are individually at least 4 square feet in size; AND
- Are located on the same architectural plane, AND
- Have a combined aggregate size of at least 8 square feet

Windows in the garage door (in aggregate) and front door shall qualify, provided the total square footage is at least eight (8) square feet.

Window Treatment is required on all windows on the front facade.

V. GARAGE DOOR PERCENTAGE

Single-Level homes with front-load garages cannot exceed maximum garage door percentage of 35%.

Multiple-Level homes with front-load garages cannot exceed maximum garage door percentage of 20%.

Applies only to two-car front-load garages.

If a third car garage is present, it must be offset a minimum of two (2) feet from an adjacent façade.

VI. FRONT ENTRY & PORCH

All homes must provide a Porch of at least 30 square feet or 6' in depth at the front entry.

VII. ROOF PITCH

All single-level homes are required to provide a minimum roof pitch of 5/12 along the main roof ridgeline. All multiple-level homes are required to provide a minimum roof pitch of 6/12 along the main roof ridgeline.

The Director of Planning and Development, including his/her designee(s), may approve homes with a lower roof pitch if compatible with certain architectural or historical styles on a case-by-case basis (e.g., craftsman, prairie, etc.), as identified by *A Field Guide to American Houses*.

VIII. ROOF OVERHANG

All homes are required to provide a minimum roof overhang of 11 inches, measured from framing, or 8 inches when measured from exterior surface of brick/stone, on all architectural planes.

IX. NUMBER OF EXTERIOR CLADDING STYLES PER HOME

Front Elevations

Each front elevation is required to utilize a combination of different materials from the City's Approved Exterior Materials list:

1. One (1) construction material if 100% masonry is used on the architectural plane; or
2. Two (2) different construction materials if entire front elevation has brick wainscot up to sill of lowest first floor window

X. MASONRY PERCENTAGE

Each Primary Architectural Plane required to contain at least one (1) exterior material composed of masonry in accordance with the Exterior Cladding Style calculation requirements - the following exterior materials and/or compositions are considered masonry for the purposes of this calculation:

1. Shake Shingles composed of clay
2. Brick
3. Manufactured Stone
4. Solid/Natural Stone
5. Stucco

Lots within Area B – Lot Type 2: masonry wainscot shall be required on all sides of the dwellings (front, both sides, and rear) and shall be at a minimum height of the lower of (i) 36” above grade, or (ii) up to the sill of the lowest first floor window. As many as twenty-five percent (25%) of the homes may have less than the required masonry except on a corner lot or next to a common area where masonry wainscot shall be required.

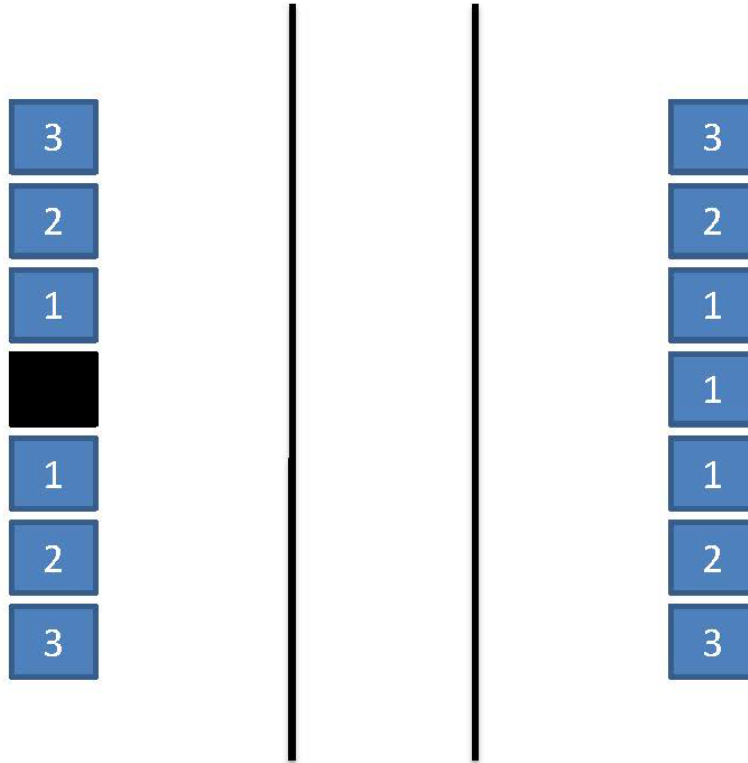
XI. HOMOGENEITY

Exterior design details, including but not limited to: exterior cladding styles, material compositions, number and style of windows, window placement, trim detailing, and roof design must logically transition onto adjacent architectural planes to be consistent with the intended architectural style of the structure.

(Continued on next page)

XII. ANTI-MONOTONY

FACADE VARIETY CODE



- 1** Home cannot be of the same elevation of the same plan as the Subject home. Must be a different color package. Home cannot be mirrored or flipped elevation.
- 2** Home may be of the same plan and elevation as the Subject home, but must be a different color package.
- 3** May be identical to Subject home.

XIII. LANDSCAPING

Front Yard Landscaping

In addition to Street Trees, each front yard required to contain a minimum of:

- Two (2) shade trees (2.5" minimum trunk diameter) OR one (1) shade tree (2.5" minimum trunk diameter) AND one (1) ornamental tree (2.5" minimum trunk diameter)
- Ten (10) shrubs (24" minimum height)

EXHIBIT D
ARCHITECTURAL AND LANDSCAPING STANDARDS – AREA C

All terms used shall have the meaning ascribed to them in the definitions section at the end of this exhibit.

I. ROOF RIDGELINES

All homes required to provide a minimum of two (2) roof ridgelines visible from the front entry of the home.

- a. Homes with a historical architectural style¹ that lends itself to the use of less ridgelines may be excluded from this requirement.

II. CORNER BREAKS

All corner break architectural features must project a minimum of four (4) feet from the adjacent architectural plane.

Front Elevations

All homes required to provide a minimum of three (3) corner breaks on each front elevation. Architectural features located above the ground level are counted as corner breaks subject to the minimum corner break projection regulations.

Side Elevations

Any side elevations are required to provide a minimum of two (2) corner breaks.

Rear Elevations

All homes on corner lots are required to provide a minimum of three (3) corner breaks on each Rear Elevation. All other rear elevations are required to provide a minimum of two (2) corner breaks.

III. WINDOWS*

Single-Level and One and a Half Story homes required to provide a minimum of two (2) Windows on each front elevation, one (1) window on each side elevations, and three (3) windows on the rear elevation, with an aggregate total of eight (8) windows on the home.

Multiple-Level homes required to provide a minimum of three (3) Windows on each front elevation, one (1) window on each side elevations, and three (3) windows on the rear

elevation, with an aggregate total of twelve (12) windows on the home.

A service door with half window providing access to a front-load garage may be installed on a side elevation in lieu of a required side-elevation Window once per home.

A grouping of Windows containing individual Windows less than 8 square feet may be considered a Window for the purposes of calculation when the Windows comprising the grouping:

- Are identical in height or width to one another; AND
- Are individually at least 4 square feet in size; AND
- Are located on the same architectural plane, AND
- Have a combined aggregate size of at least 8 square feet

Windows in the garage door (in aggregate) and front door shall qualify, provided the total square footage is at least eight (8) square feet.

Window Treatment is required on all windows on the front facade.

IV. GARAGE DOOR PERCENTAGE

All homes with front-load garages cannot exceed maximum garage door percentage of 40%.

Applies only to two-car front-load garages.

V. FRONT ENTRY & PORCH

All homes must provide a Porch of at least 24 square feet at the front entry.

VI. ROOF PITCH

All single-level homes are required to provide a minimum roof pitch of 5/12 along the main roof ridgeline. All multiple-level homes are required to provide a minimum roof pitch of 6/12 along the main roof ridgeline.

The Director of Planning and Development, including his/her designee(s), may approve homes with a lower roof pitch if compatible with certain architectural or historical styles on a case-by-case basis (e.g., craftsman, prairie, etc.), as identified by *A Field Guide to American Houses*.

VII. ROOF OVERHANG

All homes are required to provide a minimum roof overhang of 11 inches, measured from framing, or 8 inches when measured from exterior surface of brick/stone, on all architectural planes.

VIII. NUMBER OF EXTERIOR CLADDING STYLES PER HOME

Front Elevations

Each front elevation is required to utilize a combination of different materials from the City's Approved Exterior Materials list:

1. One (1) construction material if 100% masonry is used on the architectural plane; or
2. Two (2) different construction materials if entire front elevation has brick wainscot a minimum of 16" in height

IX. MASONRY PERCENTAGE

Each Primary Architectural Plane required to contain at least one (1) exterior material composed of masonry in accordance with the Exterior Cladding Style calculation requirements - the following exterior materials and/or compositions are considered masonry for the purposes of this calculation:

1. Shake Shingles composed of clay
2. Brick
3. Manufactured Stone
4. Solid/Natural Stone
5. Stucco

X. HOMOGENEITY

Exterior design details, including but not limited to: exterior cladding styles, material compositions, number and style of windows, window placement, trim detailing, and roof design must logically transition onto adjacent architectural planes to be consistent with the intended architectural style of the structure.

XI. ANTI-MONOTONY

No two structures including color, style, composition, etc. are permitted to be located adjacent to or directly across the street from the subject property.

XII. LANDSCAPING

Front Yard Landscaping

In addition to Street Trees, each front yard required to contain a minimum of:

- One (1) ornamental tree (2.5" minimum trunk diameter)
- Ten (10) shrubs (24" minimum height)

RESIDENTIAL ARCHITECTURAL STANDARDS DEFINITIONS – APPLICABLE TO AREAS A, B, & C

Architectural Plane, Primary: Any architectural plane with frontage on a street or roadway. Corner lots are considered to have multiple primary architectural planes.

Architectural Plane, Secondary: Any architectural plane that is not considered to be a primary architectural plane.

Architectural Plane: A two-dimensional surface defined by width and length

Building, Multi-Level: Any building containing more than one (1) story located above adjacent grade

Building, Single-Level: Any building containing exactly one (1) story located above adjacent grade

Corner Break: The position at which two architectural planes meet and form relief creating a third dimension, excluding all interior points. The exterior corners of a covered porch, and the outermost corners of the home, shall count toward this requirement.

Elevation: A two-dimensional scaled drawing of any side of a building or structure.

Exterior Cladding Percentage: The ratio of the area of an exterior cladding style divided by the sum of all other exterior cladding on an architectural plane, excluding the roof, windows, and doors.

Garage Door Percentage: The ratio of the area of a garage door divided by the total area of the architectural plane on which the garage door is located, including the roof, windows, and doors.

Masonry: Any exterior cladding style composed of brick, stone, stucco, terra cotta, or similar material.

Perimeter Lot: Any lot adjacent to a street, roadway, or publicly owned land for which no buildable lots are located between the lot and the roadway or publicly owned property.

Porch: A structure attached to a building that has a roof and that may or may not have walls.

Roof Overhang: The horizontal distance, excluding gutters, which the roof projects beyond the framing of the architectural plane immediately below.

Roof Pitch: The ratio of the slope of the main roof ridges, measured as rise divided by run.

Roof Ridgeline: The line of intersection formed between opposite slopes or sides of a roof. Roof ridgelines do not include minor architectural features such as bay windows, turrets, garage eyebrows, or other similar features; however, the following items do qualify as a roof ridgeline: dormer (both pitched and flat/shed roof, single or multiple dormers), gable above the garage (even if it doesn't meet the main roof), and a gable within a larger gable (provided that the smaller gable offsets from the larger gable).

Story, Half: The portion of a building located above a story and under a sloping, gable, hip, or gambrel roof, the wall plates on at least two (2) opposite exterior walls of which are not more than three (3) feet above the floor level of such half-story.

Story: The portion of a building, above adjacent grade, between the surface of any floor and the surface of any floor next above it; or, if there is no floor above it, then the space between such floor and the ceiling next above it.

Window Treatment: The application of shutters, masonry, or trim composed of wood (a minimum of 1"x4"), engineered wood (a minimum of 1"x4"), or fiber cement installed around and immediately adjacent to a window frame.

Window: A framed opening a minimum of eight (8) square feet or grouping of windows on an architectural plane containing glass product a minimum of eight (8) square feet.

¹Historical architectural styles are styles such as Colonial, Craftsman, Farmhouse, Cottage, Italianate, Arts & Crafts, or homes with various architectural elements taken from the foregoing to create a more recent and modern version.

²Homes with a historical architectural style that lends itself to the use of less material changes may be excluded from the requirements set forth above.

EXHIBIT D
ARCHITECTURAL AND LANDSCAPING STANDARDS – AREA D

All descriptions are intended to provide a basic description and outline for the development. Final development plans and elevations will be submitted as part of the Procedures in Section 13.

Development Intent

The development(s) in Area D are intended to focus on multi-family and senior living housing. The goal for the development(s) is to create a high-quality village setting that has a sense of place with regards to building layout and design.

All buildings will seek to create strong “streetwalls”, permeable building frontages, and screen parking lots along every building right-of-way.

The architectural style will focus on a “lodge” theme with the use of materials including but not limited to raw/stained wood and stone. The style could take on a traditional style with gabled roofs or a flat roof with potential awnings.

The landscaping will be minimal with the small setbacks and village layout but will be strategically utilized to screen parking lot areas.

Architectural Standards

I. Façade treatment

- a. All facades shall feature a building undulation (i.e., setback/bump-out) every 100 feet.

II. Exterior materials

- a. Cladding / siding materials shall be of high-quality materials that include the following:
 - i. Brick veneer
 - ii. Fiber cement siding
 - iii. Metal panel
 - iv. Stone veneer
 - v. Or other high-quality materials.

III. NUMBER OF EXTERIOR CLADDING STYLES PER BUILDING

Street facing Elevations.

Each street elevation is required to utilize a combination of different materials from the Approved Exterior Materials list:

- 1. One (1) construction material if 100% masonry is used on the architectural plane: or
- 2. Two (2) different construction materials entire front elevation has brick wainscot up to sill of lowest first floor window; or

(Continued on next page)

IV. MASONRY PERCENTAGE

Each Primary street facing Architectural Plane required to contain at least one (1) exterior material composed of masonry in accordance with the Exterior Cladding Style calculation requirements - the following exterior materials and/or compositions are considered masonry for the purposes of this calculation:

1. Shake Shingles composed of clay
2. Brick
3. Manufactured Stone
4. Solid/Natural Stone
5. Stucco

V. Design elements

a. Building Corners

- i. At corners facing a public street there shall be a change in parapet height with a design element incorporated that creates a visual variation in the parapet height. This can be achieved using elements like roof overhangs, canopies, or other similar elements and

b. Roof Parapets

- i. All street elevation parapets shall feature a change in elevation or Building element (i.e., canopy, or design feature) every 150 feet that disrupts the parapet line.
- ii. At Building main entries that are not used for a residential unit entry, or building stair egress a canopy or building overhang shall be provided to protect main building entries.

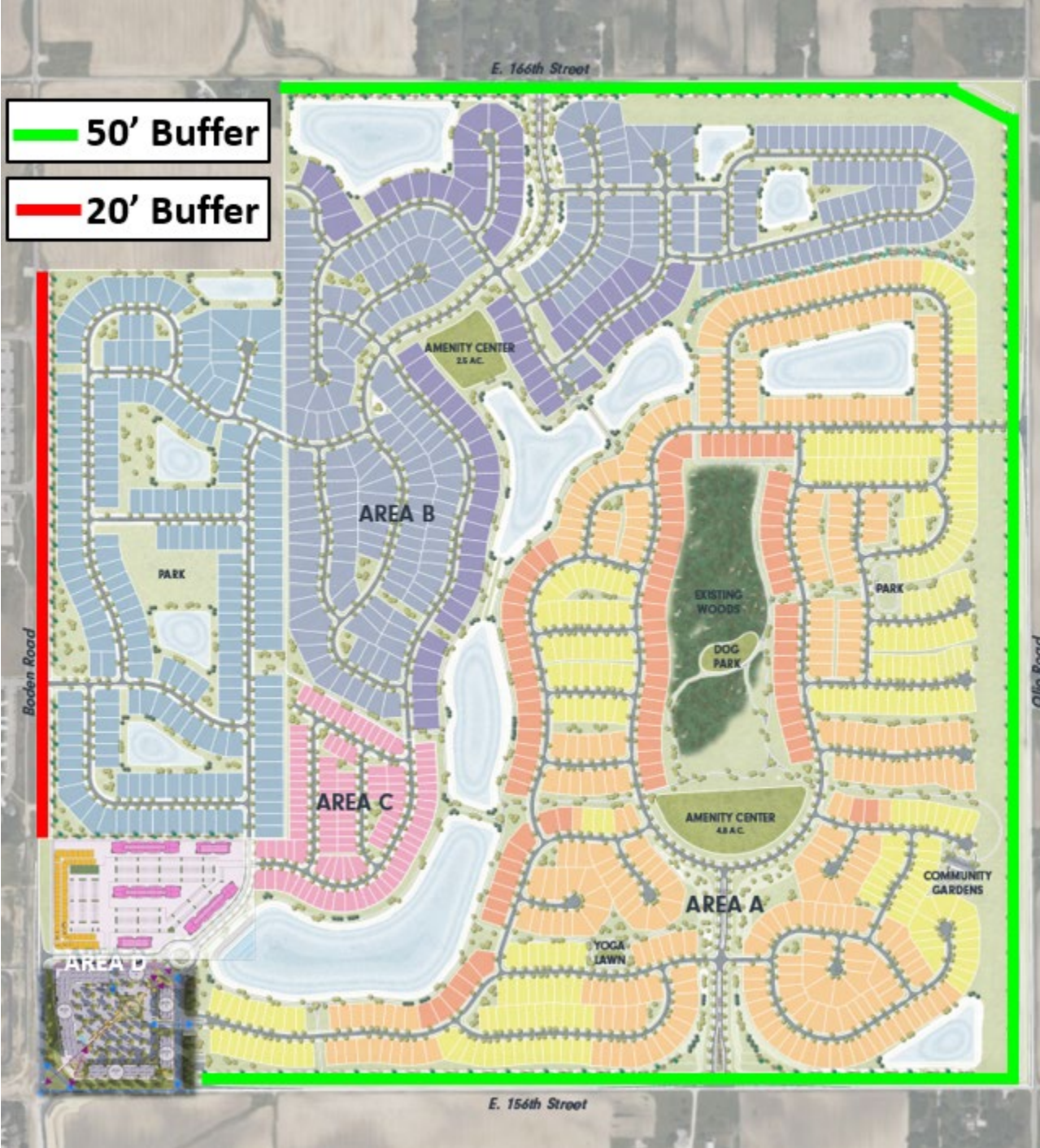
VI. HOMOGENEITY

Exterior design details, including but not limited to: exterior cladding styles, material compositions, number and style of windows, window placement, trim detailing, and roof design must logically transition onto adjacent architectural planes to be consistent with the intended architectural style of the structure.

EXHIBIT E
USE CHART

Planned Business Permitted Uses (“P”)
Dwelling, Multi-Family of 3 or more dwelling units
Downtown Mixed-Use Residential
Nursing/Retirement/Convalescent Facility
Care Centers, Child & Adult Care Services
Preschool/Nursery School
Fire and/or Police Station
Government Office
Library
Post Office
Public Service Facility
Club or Lodge (Private)
Gallery and/or Museum
Health/Fitness Facility
Public Parks and Playgrounds
Animal Hospitals & Veterinarian Offices (without Commercial Kennel)
Automated Teller Machine ATM (Stand Alone Structure)
Automobile Fuel Station
Bar, Tavern, Lounge, or Brewpub
Drinking Place
Financial, Insurance & Real Estate Services
Laundry/Dry Cleaners without On-Site Plant
Offices
Offices & Clinics of Physicians, Dentists, or other Health Care Practitioners
Personal Care Establishment
Professional and Technical Services
Restaurant (With Drive-Thru)
Restaurant (Without Drive-Thru)
Retail Sales
Planned Business Conditional Uses (“C”)
Church, Temple, Place of Worship
Wireless Telecommunication Service Facility

EXHIBIT F
BUFFER EXHIBIT



**EXHIBIT G
SIGN EXHIBIT**

For illustrative purposes only. Drawing not to scale



Maximum Height: 20'

Maximum Height: 25'

EXHIBIT G-1 POLE BANNER SIGN – Example

22100 - Kimblewick Banners (Towne Rd)



Indianapolis, IN 462
317-788-0202 (Office)
317-788-1579 (Fax)

SLI

Date: 1/20/21

- PMS 540c
- PMS 298c
- White

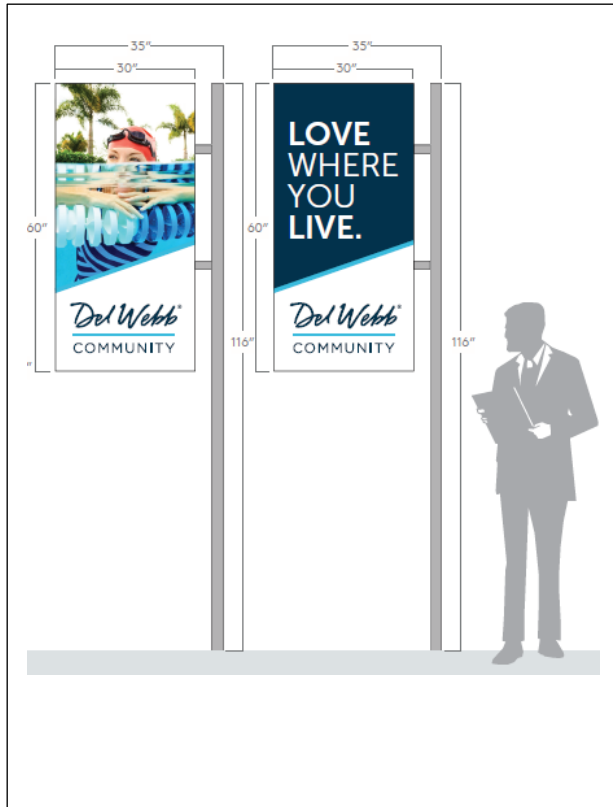
Pulte Team will scout locations for these



Quantity: 10 set-ups
Finished Size: 24" w x 48" h
Image Process: CET Print | No Bleed
Laminate: None
Sides: Double
Substrate: 18oz Opaque Banner
Mount: 16' Banner Pole

Approved *X*: _____ | Date: _____

Artwork File Name: N:/Builders/Del Webb/Kimblewick/Pole Banners-Towne Rd.fs



Pulte Banner Poles

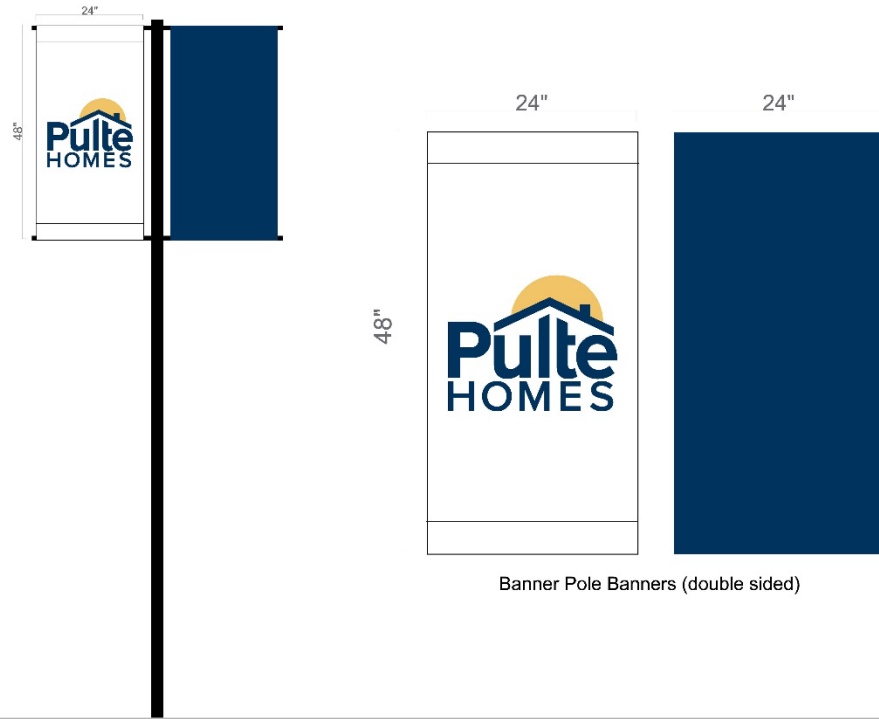


2802 E. Troy Ave.
Indianapolis, IN 46203
317-788-0202 (Office)
317-788-1579 (Fax)

cm

Date: 2/23/21

- 541c (CET)
- 134c (CET)



Banner Pole Banners (double sided)

Quantity: 4 Setups | 8 Banners
Finished Size: 24" w x 48" h
Image Process: CET Print | No Bleed
Laminate: None
Sides: Double
Substrate: 18oz Opaque Banner
Mount: 16' Banner Pole

Artwork File Name: N:/Builders/Pulte/New Style 2021 Pole Banners Pulte
Digital File Name: N:/DP/Builders/
Digital File Name:

All designs & proofs are property of Wagner Signs & are not to be posted, recreated, or duplicated without a written release. Client is responsible for approval of final design & specifications including accuracy of spelling, numerals & grammar, prior to production. Please note, the colors shown are only a close representation of the final product.

EXHIBIT G-2 POLE BANNER SIGN – Banner Examples



Quantity: 4 (1 each of 4)
 Finished Size: 24" w x 58.5" h
 Image Process: CET Print | No Bleed
 Laminate: None
 Sides: Double
 Substrate: 18oz Opaque Banner
 Mount: 3" Sewn Pockets for 1" Arms

Approved *X*: _____ | Date: _____

Artwork File Name: N:/Builders/Del Webb/Kimblewick/Light Pole Banners.fs



EXHIBIT G-3

WAY FINDING/DIRECTIONAL SIGN – Example

21735 - Kimblewick Directional (6)

Date: 10/29/20

- PMS 540c
- PMS 298c
- White



Quantity: 1
 Finished Size: 17.75"w x 23.75"h
 Image Process: CET Print | 1/16" bleed
 Laminate: Gloss
 Sides: Single
 Substrate: Alumium
 Mount: 2" Aluminum Posts

Approved *X*: ___

Artwork File Name: N:/Buil



**EXHIBIT G-4
MODEL HOME (SALES CENTER) SIGN – Example**

21735 - Kimblewick Sales Center (1)



Indianapolis, IN 46203
317-788-0202 (Office)
317-788-1579 (Fax)

Date: 1/8/21

SLK

- PMS 540c
- PMS 298c
- White



- Quantity: 1
- Finished Size: 59"w x 41.75"h
- Image Process: CET Print
- Laminate: Gloss
- Sides: Double Panel
- Substrate: Alumium
- Mount: 4" Aluminum Posts | 3" Cross Support

Approved **X**: _____ | Date: _____


Artwork File Name: N:/Builders/Del Webb/Kimblewick/Sales Center 59x42.fs

EXHIBIT G-5 MODEL HOME (MODEL IDENTIFICATION) SIGN – Examples

21735 - Kimblewick Model ID (2)

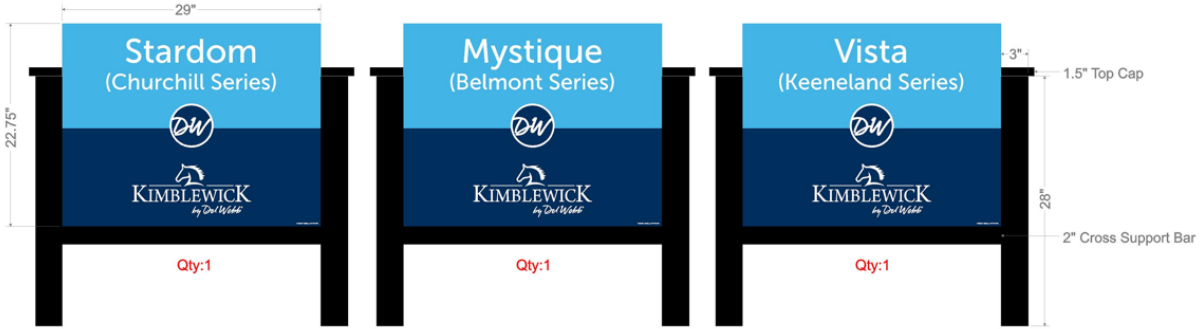
Date: 10/29/20

- PMS 540c
- PMS 298c
- White



Indianapolis, IN 46203
317-788-0202 (Office)
317-788-1579 (Fax)

SLK

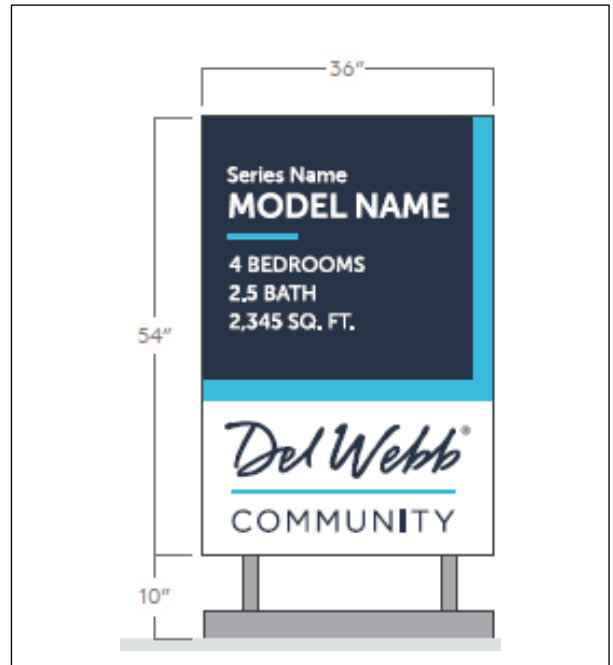
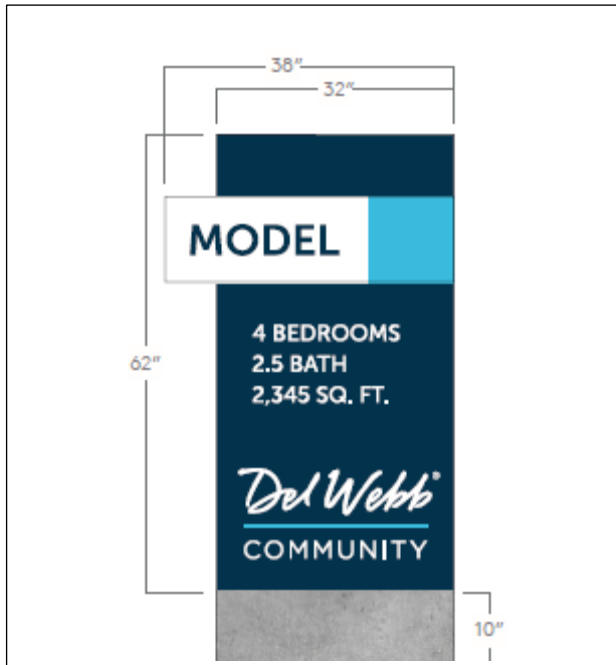


Qty:1 Qty:1 Qty:1

Quantity: 3 (1 each of 3)
 Finished Size: 29" w x 22.75"
 Image Process: CET Print
 Laminate: Gloss
 Sides: Double Panel
 Substrate: Aluminum
 Mount: 3" Aluminum Posts | 2" Cross Support

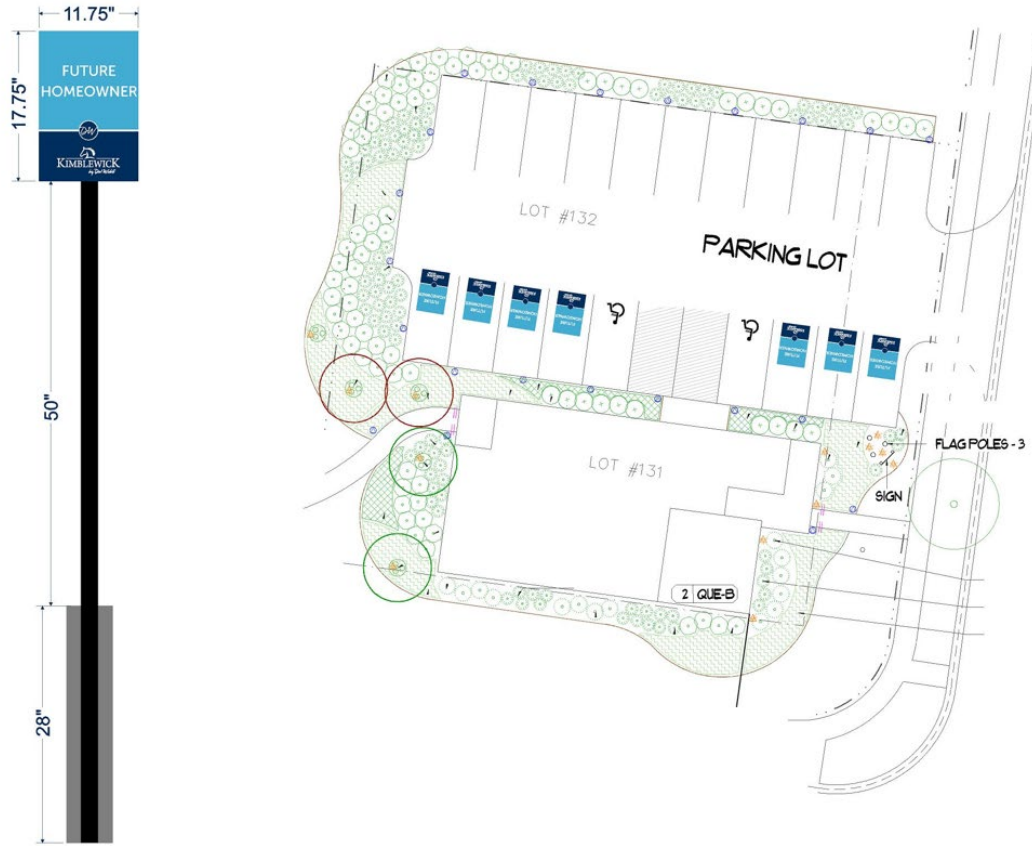
Approved : _____ | Date: _____

Artwork File Name: N:/Builders/Del Webb/Kimblewick/Model ID 29x23.fs



**EXHIBIT G-6
MODEL HOME (MODEL PARKING) SIGN – Example**

12"x18" Future Homeowner Post & Panel Signs



**EXHIBIT G-7
AMENITY GROUND SIGN – Example**

21735 - Kimblewick Amenity Sign (5)



Indianapolis, IN 46203
317-788-0202 (Office)
317-788-1579 (Fax)
SLK

Date: 1/27/21

- PMS 540c
- PMS 298c
- White

RESORT-STYLE AMENITIES & CLUBHOUSE COMING 2023





- Ⓜ Indoor/Outdoor Pool
- Ⓜ Multi-Purpose Rooms
- Ⓜ Movement Studio
- Ⓜ Fitness Center
- Ⓜ Athletic Courts
- Ⓜ Much More!






Quantity: 1
 Finished Size: 192"w x 96"h
 Image Process: CET Print | 1/16" bleed
 Laminate: Gloss
 Sides: Double Panel
 Substrate: Aluminum
 Mount: 4"x6"x13ft Cedar Posts Stained Black

Approved *X*: _____ | Date: _____

Artwork File Name: N:/Builders/Del Webb/Kimblewick/Amenity Sign.fs

**EXHIBIT G-8
AMENITY BOULEVARD SIGN – Examples**

21735 - Kimblewick Blvd Signs (3) 
Date: 1/8/21

- PMS 540c
- PMS 298c
- White



Quantity: 8 (1 each of 8)
 Finished Size: 23.75" w x 31.75" h
 Image Process: CET Print
 Laminate: Gloss
 Sides: Double Panel
 Substrate: Alumium
 Mount: 3" Aluminum Posts

Approved : _____

Artwork File Name: N:/Builders/Del Webb/Kimblewick

EXHIBIT G-9
MARKETING ENTRANCE IDENTIFICATION SIGN – Examples

