



# Common Council

## Agenda Item

### Cover Sheet

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**MEETING DATE:** March 12, 2024

- Previously Discussed Ordinance
- Proposed Development Presentation
- New Ordinance for Discussion
- Miscellaneous
- Transfer

**ITEM or ORDINANCE:** #2

**PRESENTED BY:** Joyceann Yelton, Attorney Jim Shinaver

- Information Attached
- Bring Paperwork from Previous Meeting
- Verbal
- No Paperwork at Time of Packets

# **Village at Trail Crossing**

## **Rezone and PD Ordinance Request**

**CITY OF NOBLESVILLE, INDIANA**

**March 12, 2024**

**Council Introduction - Noblesville City Council**

Applicant: MI Homes of Indiana, L.P.

Attorneys: Nelson & Frankenberger, LLC

Jim Shinaver, Attorney

Jon C. Dobosiewicz, Land Use Professional

(317) 844-0106

## **TABLE OF CONTENTS**

1. Explanation of Request
2. Site Location Map/Aerial Photograph; Zoning Map and Comp Plan Map
3. Color Site Plan
4. Townhome Exhibits
5. Village at Trail Crossing Preliminary Development Plan
6. Rezone Ordinance (R1 to R5 Residential)
7. Village at Trial Crossing PD Ordinance (R5/PD)

# **TAB 1**

## **PROJECT DESCRIPTION**

The applicant, MI Homes of Indiana, L.P., (“MI”), is seeking rezone approval and preliminary development plan approval (collectively the “Request”) for three (3) parcels of real estate that consist of approximately 19 acres which parcels are generally located west of and adjacent to Hazel Dell Road and south of and adjacent to the Midland Trace Trail and are identified by the Hamilton County, Indiana’s Auditor’s Office as Tax Parcel Identification Numbers 10-10-04-00-00-007.001; 10-10-04-00-00-008.000; and, 10-10-04-00-00-007.000 (collectively, “Real Estate”). The Real Estate is shown on the site aerial map included behind Tab 2.

The Real Estate is currently zoned R1 - Residential District and the Request seeks to rezone the Real Estate to the “Village at Trail Crossing Planned Development Ordinance” which will have R5/PD as the underlying zoning classification in order to develop a for-sale townhome community to be known as “Village at Trail Crossing”.

Uses and zoning classifications that surround the Real Estate include: (i) to the west is Hazel Dell Elementary school and the Noblesville youth sports fields, which are zoned R1/GUO – Government Use Overlay; (ii) to the north are undeveloped parcels that are zoned PB – Planned Business; (iii) to northeast, across Hazel Dell Road, is the Midland Point mixed-use project which has as its underlying zoning classifications R5/PD and PB/PD – Planned business and to the east are individual homesites and parcels that are zoned R1- Residential; and, iv) to the south is the Hazel Dell Woods neighborhood that is zoned R1/PD – Planned Development.

Upon review of the Site Plan (see Tab 3), a very large Central Green community area (linear park) is included as a central focal point for the residents of the community that is positioned east to west and is framed by the fronts of townhomes around the Central Green area. The Central Green area will include various amenity offerings within different “pod areas” to provide a sense of community and gathering opportunities for the residents. A separate dog park is also located on the southwestern portion of the site. All townhomes will have an attached 2-car garage and all driveways will be 20’ in length to allow for 2 cars to be parked on every driveway (resulting in 4 parking spaces per townhome), as well as guest parking spaces that will be positioned around the community. All townhomes along the Midland Trace Trail will be front facing to provide an attractive view for those travelling along the Trail. Further, the thoughtfully designed land plan results in the private alleys and garages doors of homes to be less visible from Hazel Dell Road. Regarding Open Space, the PD Ordinance requires approximately a minimum of 3.5 acres as designated as Open Space, which represents approximately twenty percent (20%) of the Real Estate (not inclusive of the pond area).

The Village at Trail Crossing community will consist of approximately one hundred and eighty (180) 3-story, for-sale Townhomes from MI’s Suburban Townhome series product line. Exterior townhome elevations are included behind Tab 4 and provide designs that have been developed for this location. The townhomes will range in square footage from 1,500 square feet to 1,800 square feet and will primarily consist of 2-bedroom units, with the possibility of some 3-bedroom units. The interiors of the homes have high-end, quality finishes, in addition to quality exterior building materials and architectural design. Further, MI anticipates that average sales prices may range from \$325,000 to \$370,000 depending on home size and buyer amenity selections. MI also anticipates that the approximately overall investment in this community may be in the range of seventy (70) million dollars.

MI also plans to work with the City Administration to dedicate real estate that the City can utilize in developing a trailhead on the south side of the Midland Trace Trail, west of and adjacent to Hazel Dell Parkway, as shown on the concept plan included with this request.

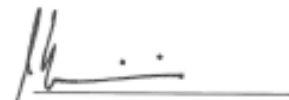
The primary entrance into the community is from Hazel Dell Road, which includes significant landscape treatment and a pond that will frame the community in a visually appealing manner and a secondary emergency access onto Hazel Dell Parkway is also provided for along the south perimeter of the property.

Associated with the Village at Trail Crossing PD Ordinance request, is the Preliminary Development Plan (See Tab 5), including the landscape plan.

Finally, behind Tab 6 and Tab 7, respectively, are the Rezone Ordinance and Village at Trail Crossing PD Ordinance.

We look forward to presenting this request at our Council Introduction meeting on March 18, 2024.

Respectfully submitted,



Jon Dobosiewicz



Jim Shihaver

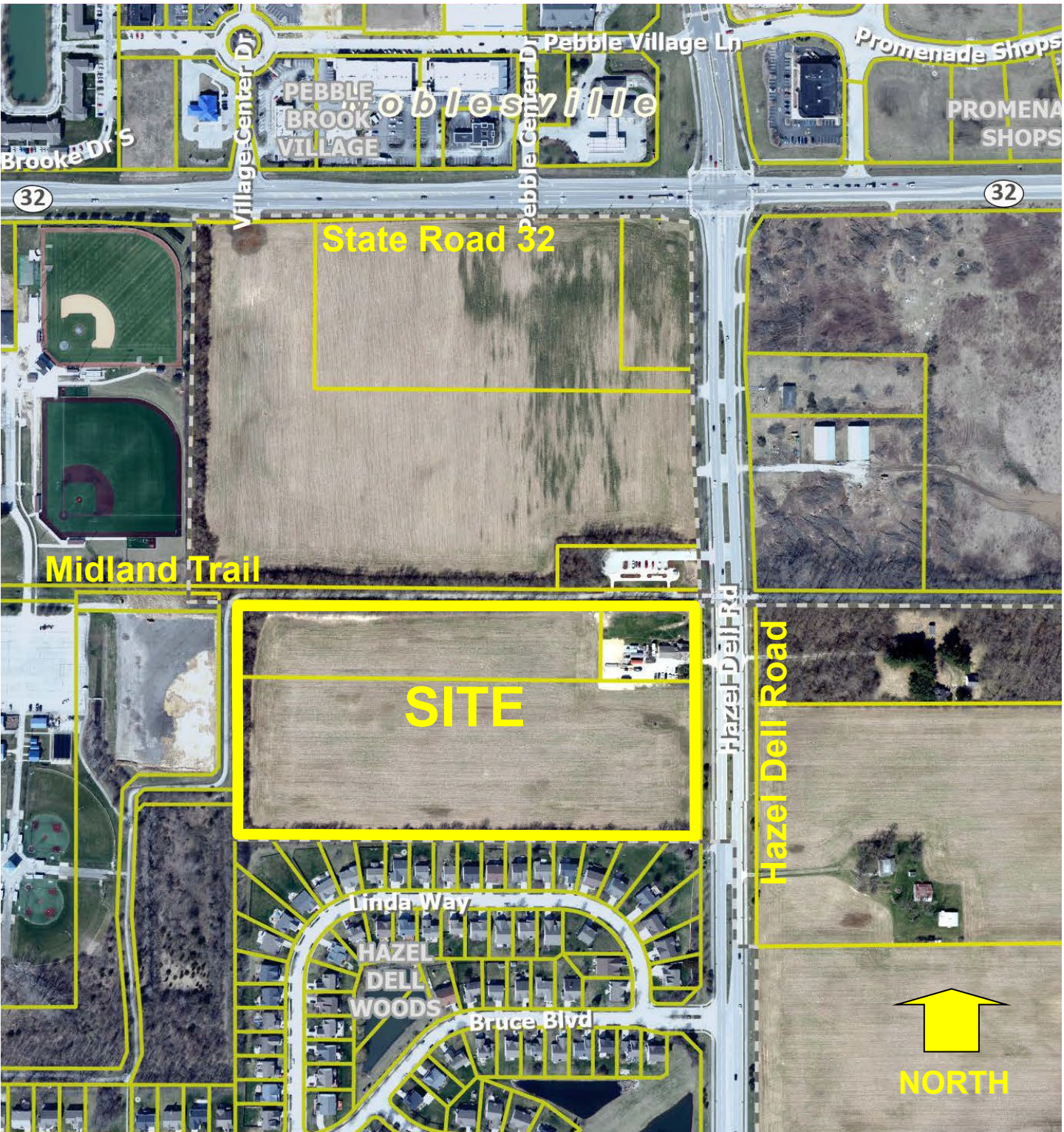
# **TAB 2**

# Village at Trail Crossing Area Map















M/I HOMES

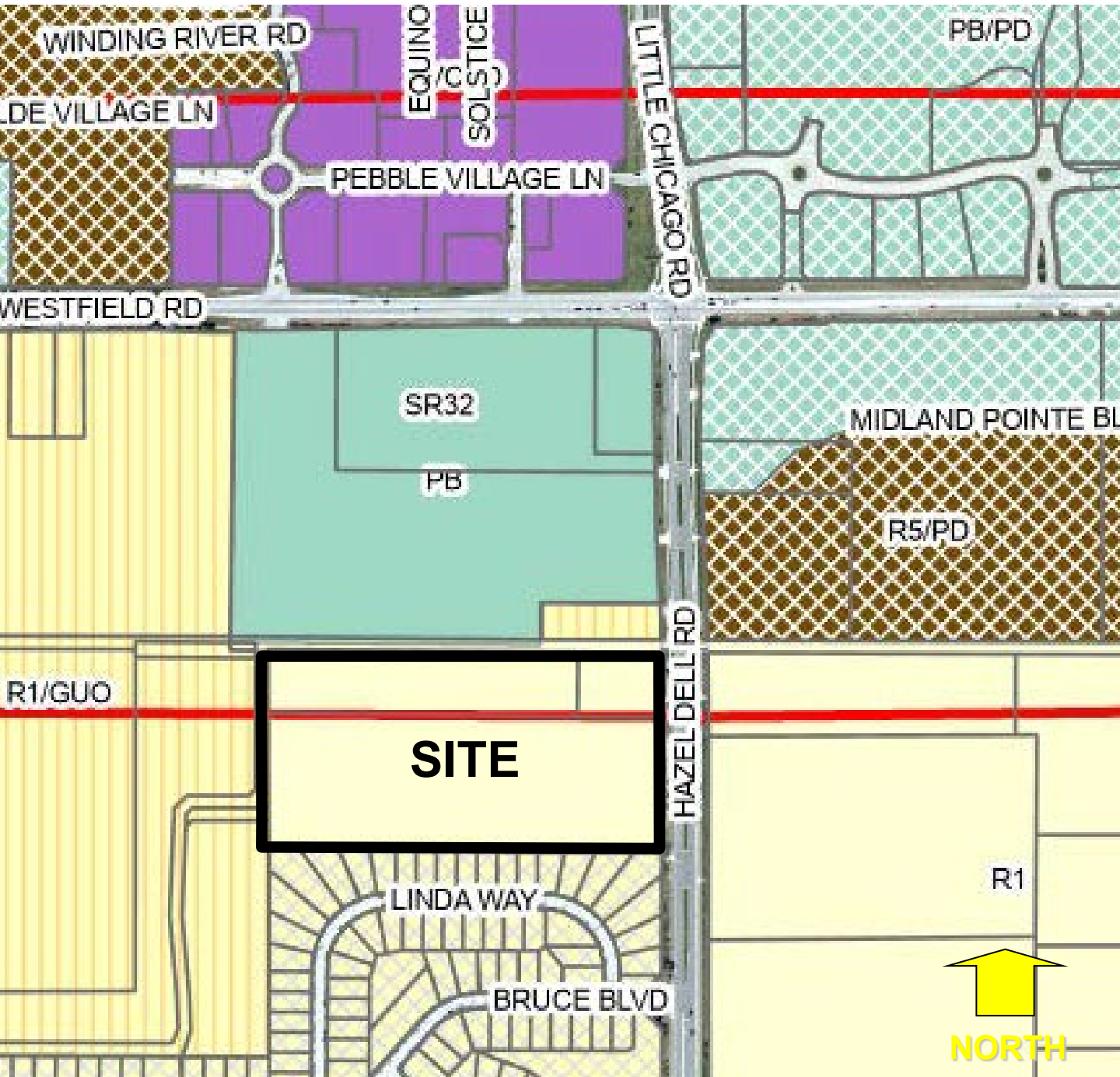




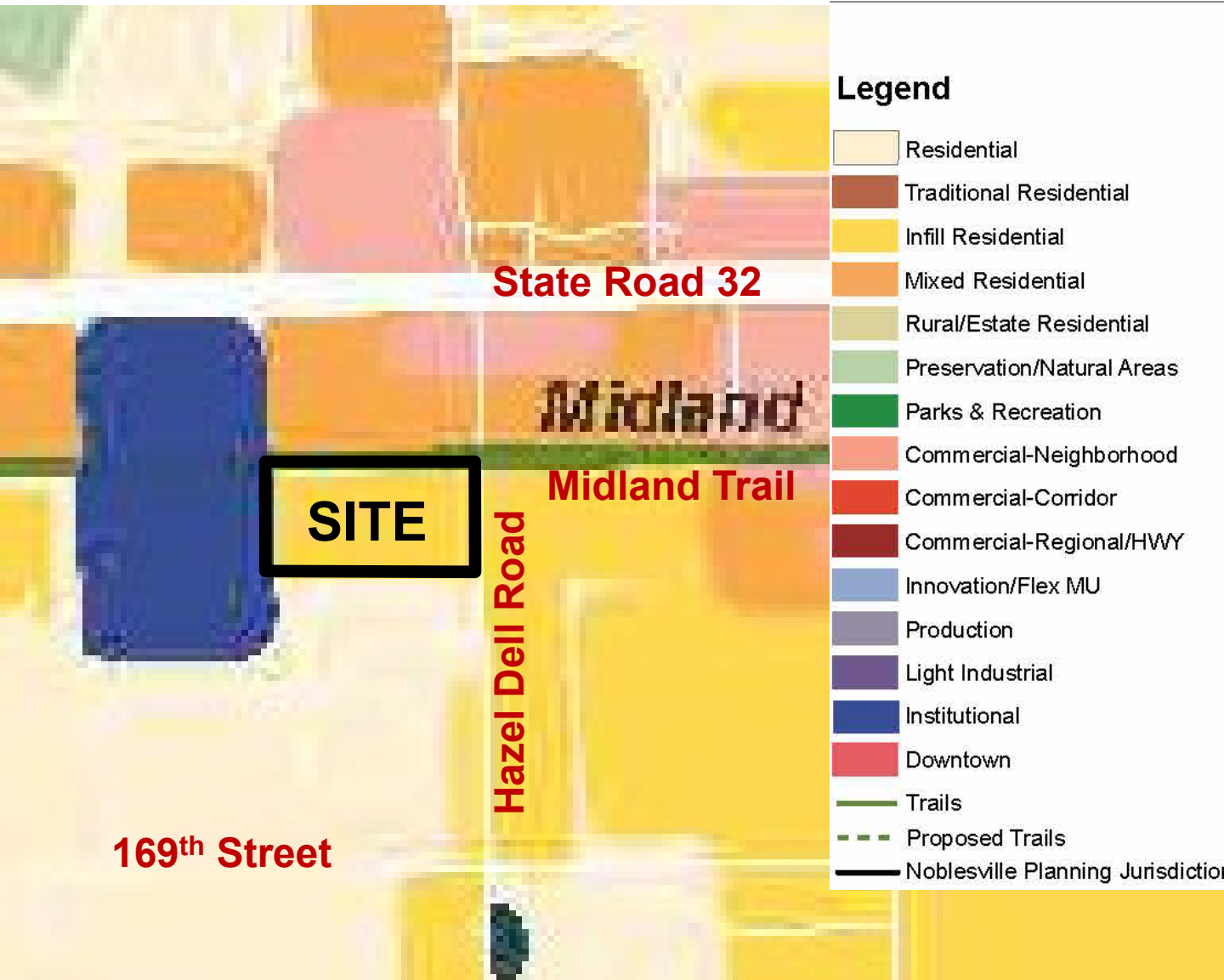
**SITE LOCATION MAP**

**Noblesville Zoning Districts**

- |   |  |   |                        |
|---|--|---|------------------------|
|  | SR - Low Density Single Family Suburban Residential                |   | GB - General Business  |
|  | R1 - Low Density Single Family Residential                         |  | PB - Planned Business  |
|  | R2 - Low to Moderate Density Single Family Residential             |  | DT - Downtown          |
|  | R3 - Moderate to High Density Single Family Residential            |  | B-PD - Business/PD     |
|  | R4 - Moderate to High Density Single Family Residential/Two Family |  | I-1 - Light Industrial |
|  | R5 - Multi-Family Residential                                      |  | I-2 - Heavy Industrial |

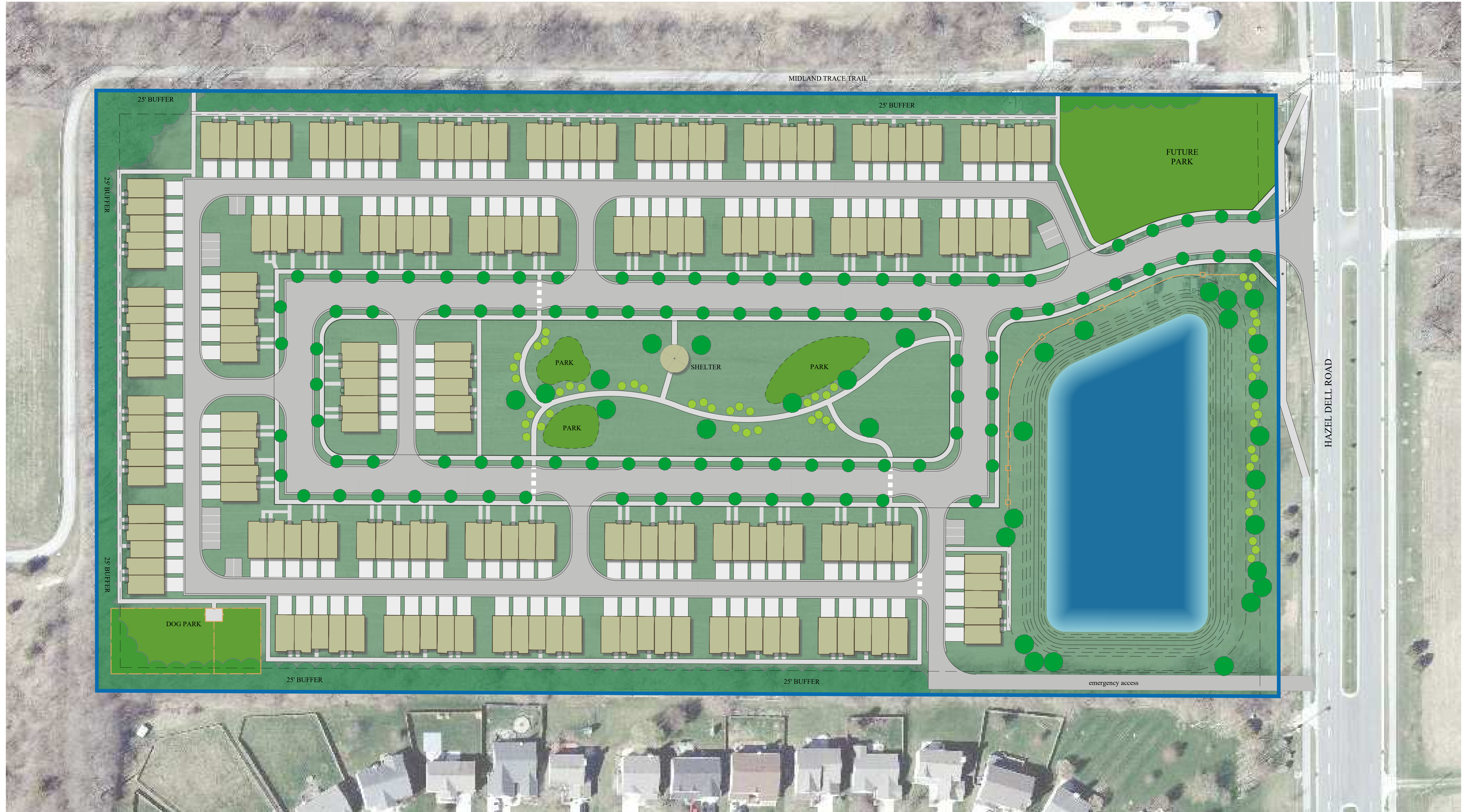


**SITE ZONING**



**Noblesville Comprehensive Plan Map**

# TAB 3



# TAB 4

# Village at Trail Crossing Proposed Architecture



M/I HOMES

# Village at Trail Crossing Proposed Architecture



M/I HOMES



# **TAB 5**

STOEPPELWERTH & ASSOCIATES, INC.  
 THIS INSTRUMENT PREPARED BY:  
 DENNIS D. OLMSTEAD  
 7965 E. 106TH STREET  
 FISHERS, INDIANA 46038  
 PHONE: (317) 849-5935

THIS INSTRUMENT PREPARED FOR:  
 M1 HOMES OF INDIANA, L.P.  
 8425 WOODFIELD CROSSING BLVD. 100W  
 INDIANAPOLIS, IN 46240  
 CONTACT: JONATHAN ISAACS  
 PHONE: (317) 693-0448

CURRENT LANDOWNER:  
 CHARLES L. & LINDA J. HOLLAND  
 350 WESTMINSTER DR.  
 NOBLESVILLE, IN 46060

BONNIE AND TERRY SIZEMORE  
 17865 HAZEL DELL ROAD  
 NOBLESVILLE, IN 46060

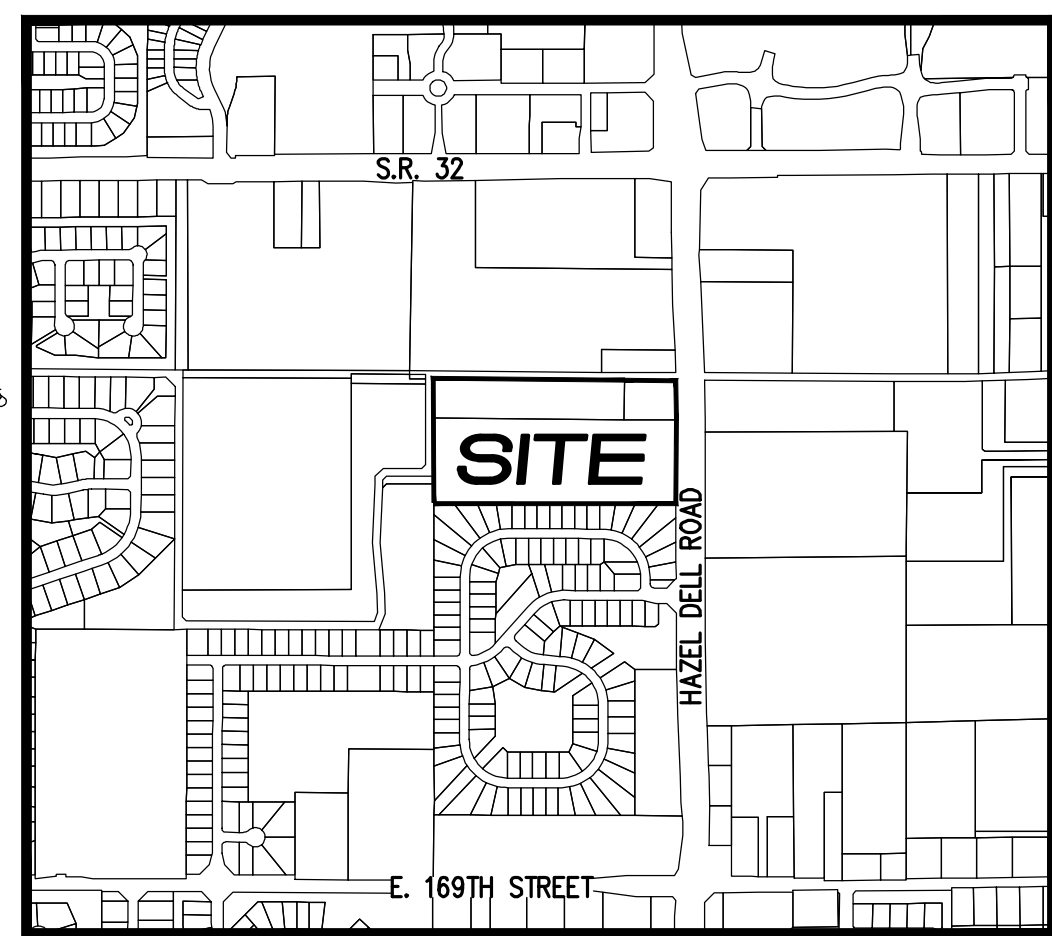
PD Development Standards:  
 Lot Area - 1,235 sq.ft. min.  
 Lot Width - 18.33' min.  
 Front Setback - 5' min.  
 Side Yard - 0' min.  
 Rear Yard - 5' min.

# PRELIMINARY DEVELOPMENT PLAN THE VILLAGE AT TRAIL CROSSING

NOBLESVILLE, INDIANA

## PD ZONING

CURVE	LENGTH	RADIUS	TANGENT	CHORD BEARING	CHORD	DELTA
C1	83.12'	200.00'	42.17'	S78°03'30"W	82.53'	23°48'47"
C2	63.05'	150.00'	32.00'	N78°11'35"E	62.59'	24°04'58"
C3	46.02'	40.00'	25.94'	N56°48'25"W	43.52'	65°55'02"



LOCATION MAP  
SCALE: 1"=1000'

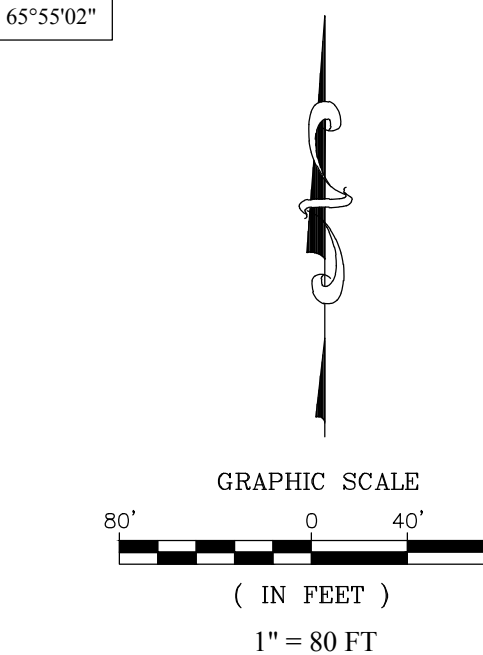
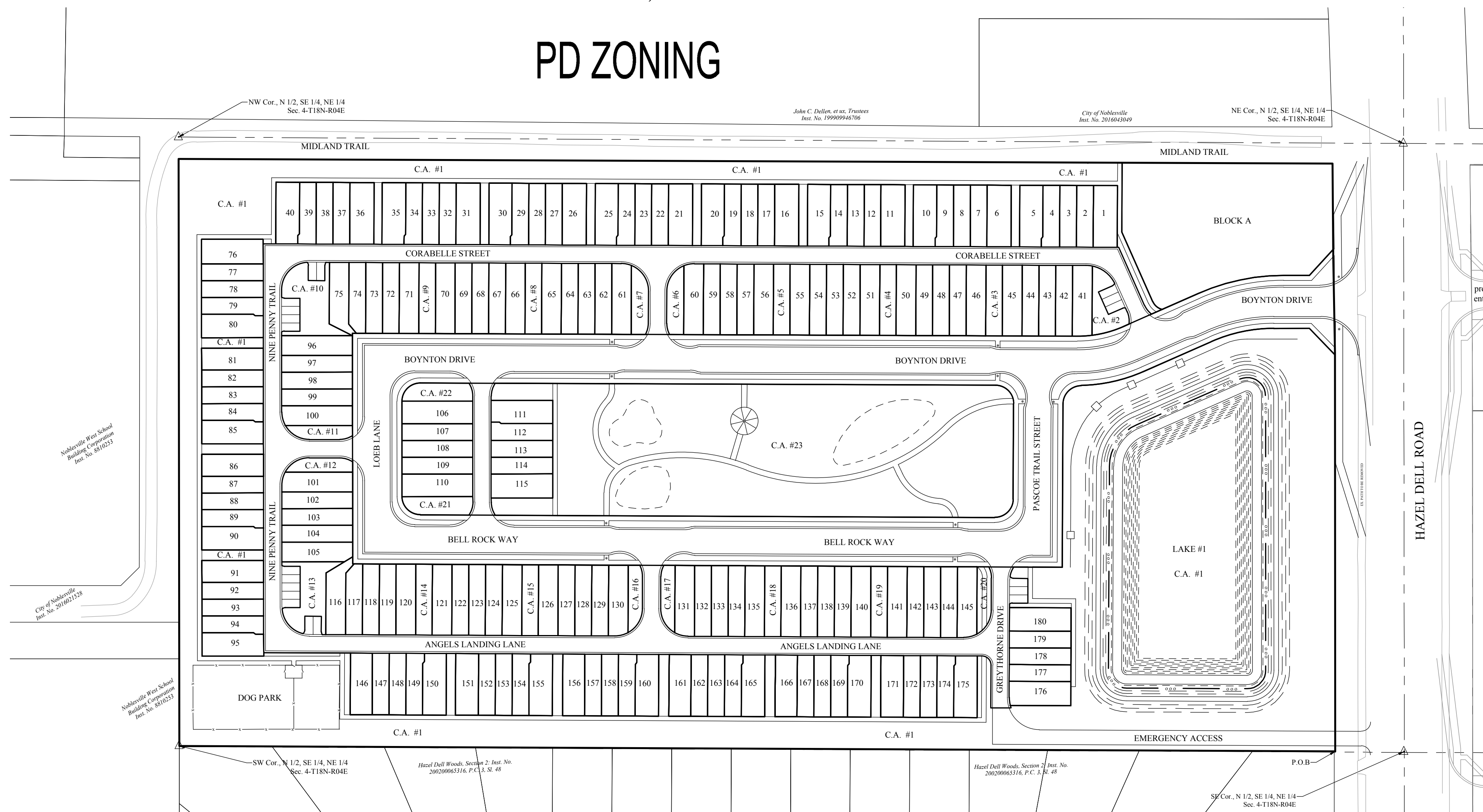


**FLOOD STATEMENT**  
 NO portion of the subject property is located within a Special Flood Hazard Area (Zone AE) as said property plots by scale on Community Panel No. 18057C0137G of the Flood Insurance Rate Maps (published by the Federal Emergency Management Agency - FEMA) dated November 19, 2014. The subject property is located in Zone X - unshaded (Area of minimal flood hazard)



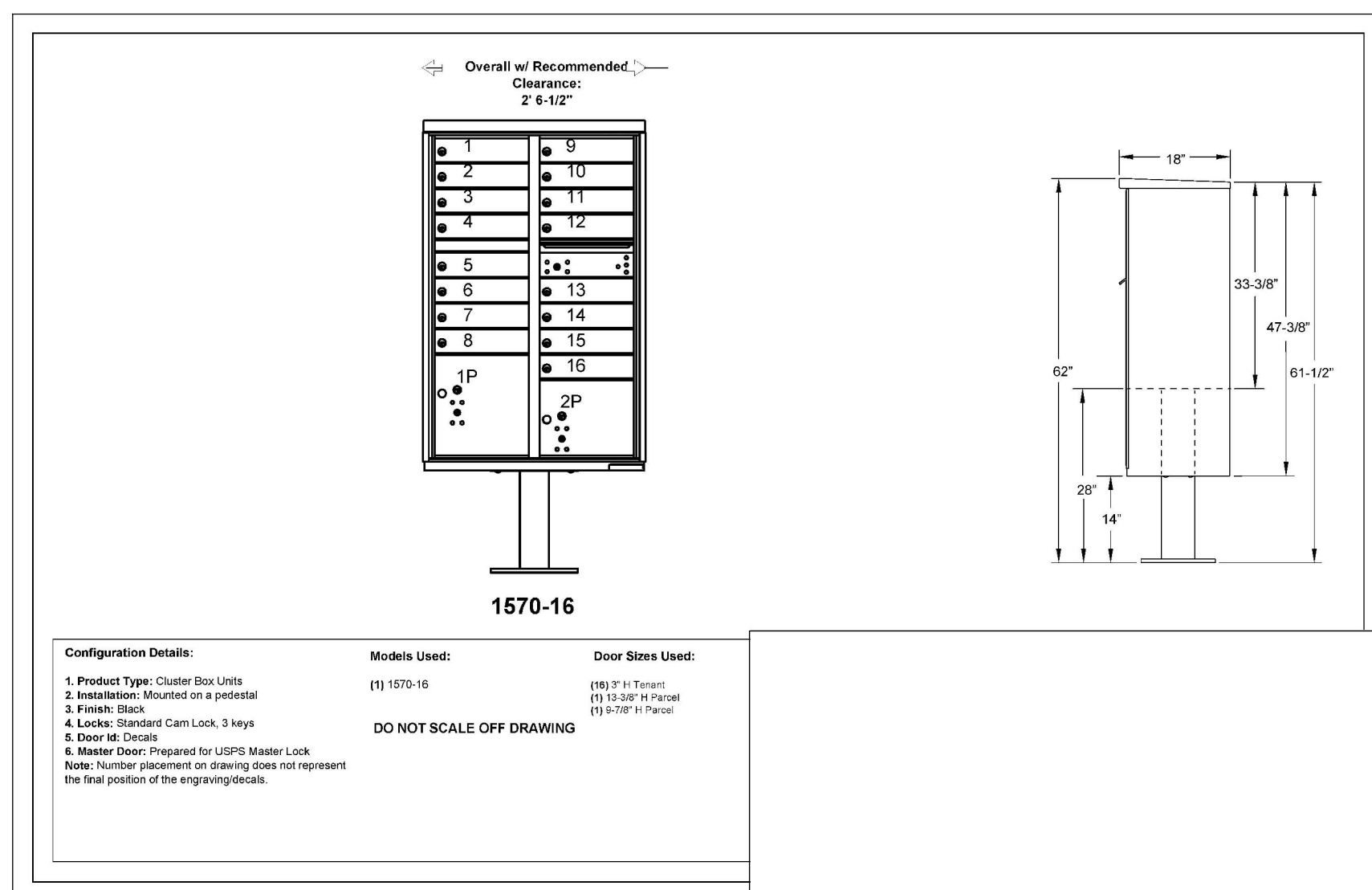
SOILS MAP  
SCALE: 1"=500'

Map Unit Symbol	Map Unit Name
Br	Brookston silty clay loam, 0 to 2 percent slopes
CraA	Crosby silt loam, fine-loamy subsoil, 0 to 2 percent slopes
MmbB2	Miami silt loam, 2 to 8 percent slopes, eroded
MmcC2	Miami silt loam, 6 to 12 percent slopes, eroded
Ybva	Brookston silty clay loam, Urban land complex, 0 to 2 percent slopes
YdA	Crosby silt loam, fine-loamy subsoil-Urban land complex, 0 to 2 percent slopes
YmaB2	Miami silt loam-Urban land complex, 2 to 8 percent slopes, eroded
YmcC2	Miami silt loam-Urban land complex, 6 to 12 percent slopes, eroded



PROJECT SUMMARY	
Total Site Area	18.60 Ac.±
Total Units	180
Density	9.68 Units/Ac.
Total Common Area/Open Space	7.770
Common Areas	C.A.#1 5.361 Ac.±
	C.A.#2 0.036 Ac.±
	C.A.#3 0.032 Ac.±
	C.A.#4 0.032 Ac.±
	C.A.#5 0.032 Ac.±
	C.A.#6 0.028 Ac.±
	C.A.#7 0.028 Ac.±
	C.A.#8 0.032 Ac.±
	C.A.#9 0.032 Ac.±
	C.A.#10 0.070 Ac.±
	C.A.#11 0.023 Ac.±
	C.A.#12 0.023 Ac.±
	C.A.#13 0.057 Ac.±
	C.A.#14 0.032 Ac.±
	C.A.#15 0.032 Ac.±
	C.A.#16 0.023 Ac.±
	C.A.#17 0.023 Ac.±
	C.A.#18 0.032 Ac.±
	C.A.#19 0.032 Ac.±
	C.A.#20 0.023 Ac.±
	C.A.#21 0.033 Ac.±
	C.A.#22 0.033 Ac.±
	C.A.#23 1.720 Ac.±
Open Space Percentage	41.78 %
<b>BLOCK A</b>	<b>0.682 Ac.±</b>

SHT.	DESCRIPTION
C001	COVER SHEET
C100-C101	PRELIMINARY PLANNED DEVELOPMENT PLANS
C102-C103	UTILITY LAYOUT
C104	AUTOTURN EXHIBIT
	PRELIMINARY LANDSCAPE



A part of the North Half of the Southeast Quarter of the Northeast Quarter of Section 4, Township 18 North, Range 04 East, Noblesville Township, Hamilton County, Indiana. This description prepared by: Bruce E. Strack, Indiana LS 20200057, working for Stoepfelwerth and Associates, Inc. as part of Project 97780MI, being more particularly described as follows:

Commencing at the Southeast corner of said Half Quarter-Quarter Section; thence North 89 degrees 43 minutes 55 seconds West, along the South line thereof, a distance of 74.96 feet to the West Right-of-Way line of Hazel Dell Road as described in Instrument Number No. 2007061494 in the Office of the Hamilton County Recorder and the POINT OF BEGINNING of this description; thence continuing along said line North 89 degrees 43 minutes 55 seconds West, a distance of 1262.62 feet to the Southwest corner of said Half Quarter-Quarter Section; thence North 90 degrees 04 minutes 10 seconds West, along the West line of said Half Quarter-Quarter Section, a distance of 641.33 feet to the South line of the land described in Instrument Number 2016090904 in said Recorder's Office; thence South 89 degrees 45 minutes 57 seconds East, along said line and the North line of the land described in Instrument Number 20000029961 in said Recorder's Office, a distance of 1260.38 feet to a point on a non-tangent curve concave easterly, the radius point of which bears North 89 degrees 50 minutes 13 seconds East, a distance of 9925.00 feet from said point, said point being on the West Right-of-Way line of Hazel Dell Road as described in Instrument Number No. 2007061494 in said Recorder's Office; thence southerly along said curve and the West Right-of-Way line of Hazel Dell Road as described in the aforementioned Instrument Number No. 2007061494, an arc length of 206.77 feet to a point on said curve, said curve being South 88 degrees 38 minutes 36 seconds West, a distance of 9925.00 feet from the radius point of said curve; thence South 00 degrees 02 minutes 07 seconds East, along said line, a distance of 435.34 feet to the Point of Beginning, Containing 18.595 acres, more or less.

**UTILITY CONTACTS**

**Cable:**  
 Comcast Cable  
 5330 East 65th Street  
 Indianapolis, Indiana 46220  
 Ph: (317) 275-6493

**Electric:**  
 Duke Energy Indiana  
 100 South Mill Creek Road  
 Noblesville, Indiana 46062  
 Ph: (317) 776-5327

**Fiber Optic:**  
 McLeod USA  
 6400 C Street SW  
 P.O. Box 3177  
 Cedar Rapids, IA 52406  
 Ph: (317) 697-2863

**Gas:**  
 Vectren Energy Delivery  
 16000 Allisonville Road  
 Noblesville, Indiana 46060  
 Ph: (317) 776-5537

**Sanitary:**  
 City of Noblesville  
 Department of Engineering  
 16 South 10th Street, Suite 155  
 Noblesville, Indiana 46060  
 Ph: (317) 776-6330

**Storm Sewer:**  
 City of Noblesville  
 Department of Engineering  
 16 South 10th Street, Suite 155  
 Noblesville, Indiana 46060  
 Ph: (317) 776-6330

**Streets:**  
 City of Noblesville  
 Department of Engineering  
 16 South 10th Street, Suite 155  
 Noblesville, Indiana 46060  
 Ph: (317) 776-6330

**Telephone:**  
 AT&T  
 5858 North College  
 Indianapolis, Indiana 46220  
 Ph: (317) 252-4267

**Water:**  
 Citizens Energy Group  
 2020 North Meridian Street  
 Indianapolis, Indiana 46202  
 Ph: (317) 927-4315

**PLANS PREPARED BY:**

**STOEPPELWERTH & ASSOCIATES, INC.**  
 CONSULTING ENGINEERS & LAND SURVEYORS  
 7965 E. 106TH STREET, FISHERS, INDIANA 46038  
 PHONE: (317)-849-5935  
 CONTACT PERSON: GORDAN KRITZ  
 EMAIL: GKRTZ@STOEPPELWERTH.COM

*D.D.O.*  
 DENNIS D. OLMSTEAD DATE 02/21/24  
 REGISTERED LAND SURVEYOR  
 NO. 900012

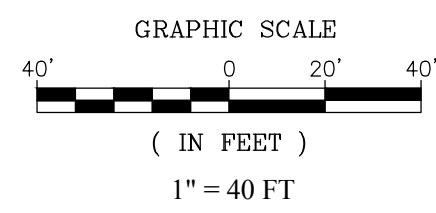


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# PRELIMINARY DEVELOPMENT PLAN

## THE VILLAGE AT TRAIL CROSSING

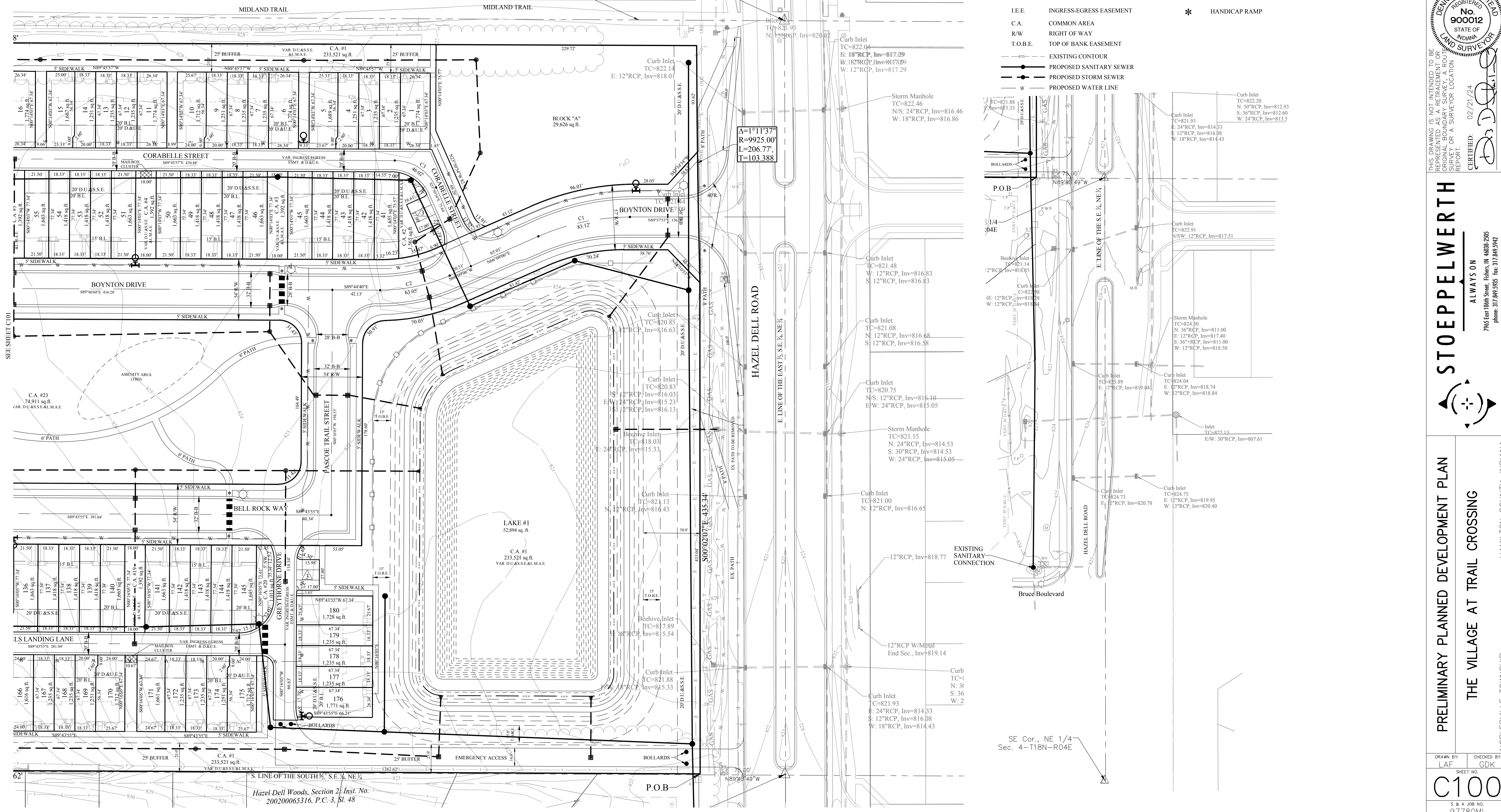
NOBLESVILLE, INDIANA

### PD ZONING

John C. Dellen, et ux, Trustees  
 Inst. No. 199909946706

City of Noblesville  
 Inst. No. 2016043049

NE Cor., N 1/2, SE 1/4, NE 1/4  
 Sec. 4-T18N-R04E

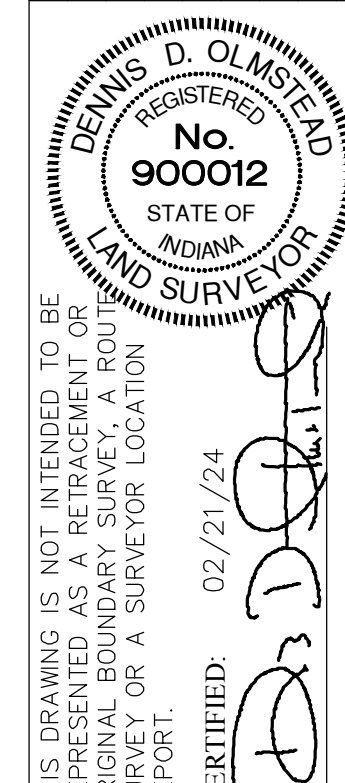


#### EXISTING LEGEND

- |       |                              |   |                        |
|-------|------------------------------|---|------------------------|
| —     | FLOW LINE                    | — | POWER POLE             |
| —E—   | BURIED ELECTRIC LINE         | — | LIGHT POLE             |
| —E—   | OVERHEAD ELECTRIC LINES      | — | ELECT. TRANSFORMER     |
| —T—   | BURIED TELEPHONE LINE        | — | ELECT. PEDESTAL        |
| —T—   | OVERHEAD TELEPHONE LINE      | — | ELECT. METER           |
| —CTV— | BURIED CABLE T.V. LINE       | — | GLY WRE                |
| —OTV— | OVERHEAD CABLE T.V. LINE     | — | TELEPHONE POLE         |
| —GAS— | GAS LINE                     | — | TELEPHONE PEDESTAL     |
| —W—   | WATER LINE                   | — | TELEPHONE MANHOLE      |
| —S—   | SANITARY SEWER LINE, MANHOLE | — | TELEPHONE ACCESS COVER |
| ---   | APPROXIMATE BOUNDARY LINE    |   |                        |

#### LEGEND

- |   |  |    |   |
|---|--|----|---|
| 40  | LOT NUMBER                                 | ☀  | PROPOSED STREET LIGHT   |
| B.L.  | BUILDING LINE                              | ⚠  | NOTE: EXACT STREET LIGHT STYLE HAS NOT BEEN DETERMINED, HOWEVER, THE STYLE SELECTED SHALL COMPLY WITH THE CITY OF NOBLESVILLE STANDARDS |
| D.&U.E.   | DRAINAGE & UTILITY EASEMENT                | 19 | NUMBER OF PARKING SPACES  |
| D.U.&S.E.   | DRAINAGE UTILITY & SANITARY SEWER EASEMENT | *  | HANDICAP RAMP   |
| T.P.E.  | TREE PRESERVATION EASEMENT                 |    |   |
| I.E.E.  | INGRESS-EGRESS EASEMENT                    |    |   |
| C.A.  | COMMON AREA                                |    |   |
| R/W   | RIGHT OF WAY                               |    |   |
| T.O.B.E.  | TOP OF BANK EASEMENT                       |    |   |
| ---   | EXISTING CONTOUR                           |    |   |
| --- </td <td>PROPOSED SANITARY SEWER</td> <td></td> <td></td> | PROPOSED SANITARY SEWER                    |    |   |
| --- </td <td>PROPOSED STORM SEWER</td> <td></td> <td></td>    | PROPOSED STORM SEWER                       |    |   |
| --- </td <td>PROPOSED WATER LINE</td> <td></td> <td></td>     | PROPOSED WATER LINE                        |    |   |



**STOEPPELWERTH**  
 ALWAYS ON  
 7965 East 106th Street, Fishers, IN 46038-2905  
 phone: 317.849.5935 fax: 317.849.5942

PRELIMINARY PLANNED DEVELOPMENT PLAN  
 THE VILLAGE AT TRAIL CROSSING  
 NOBLESVILLE TOWNSHIP  
 HAMILTON COUNTY, INDIANA

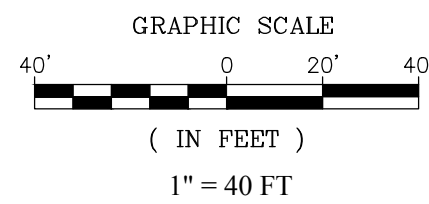
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 CHECKED BY: GDK  
 SHEET NO. C100  
 S & A JOB NO. 97780MI

STOEPPELWERTH & ASSOCIATES, INC.  
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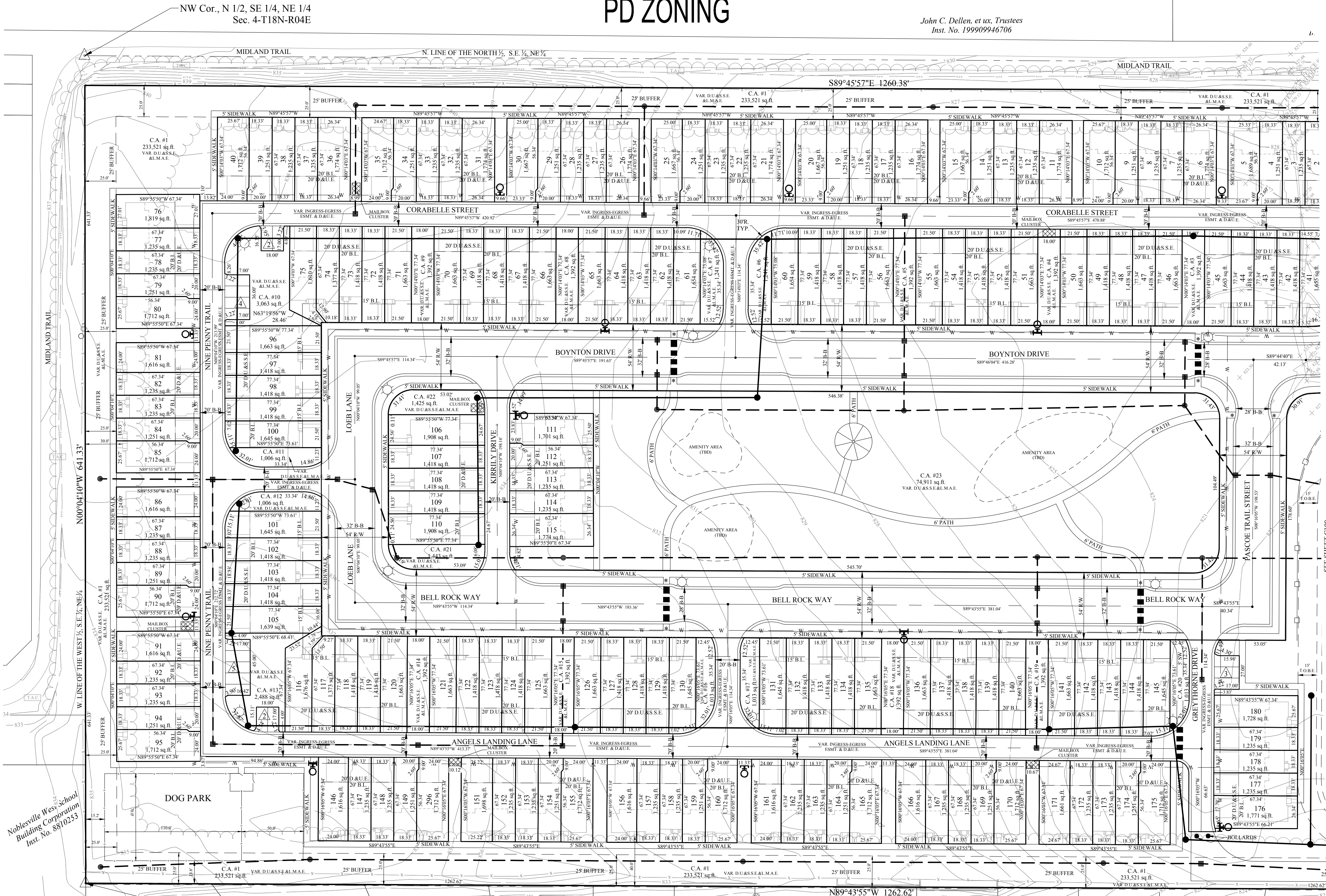
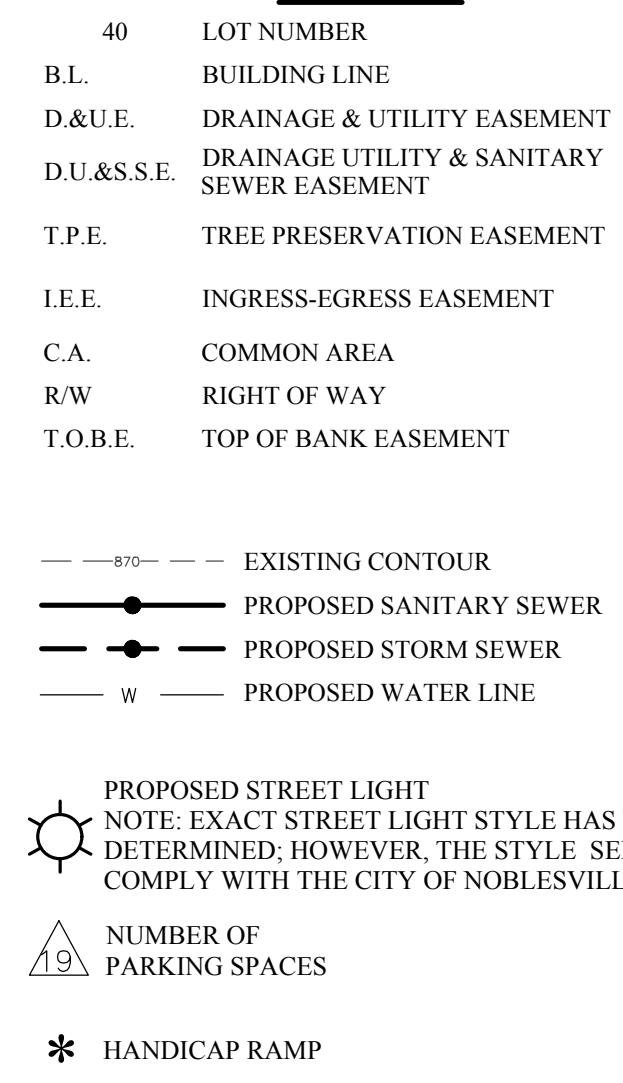
PD ZONING

John C. Dellen, et ux, Trustees  
 Inst. No. 19990946706

## EXISTING LEGEND



## LEGEND



REGISTERED  
 No. 900012  
 STATE OF INDIANA  
 LAND SURVEYOR  
 DENNIS D. OLMSTEAD  
 CERTIFIED: 02/21/24

STOEPPELWERTH  
 ALWAYS ON  
 7965 East 104th Street, Fishers, IN 46038-2905  
 phone: 317.849.5935 fax: 317.849.5942

PRELIMINARY PLANNED DEVELOPMENT PLAN  
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 NOBLESVILLE TOWNSHIP  
 HAMILTON COUNTY, INDIANA

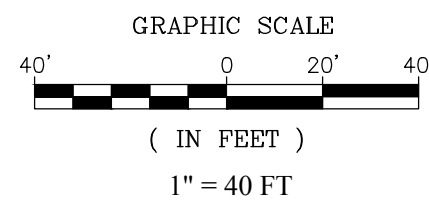
DRAWN BY: LAF CHECKED BY: GDK  
 SHEET NO. C101  
 S & A JOB NO. 92780MI

STOEPPELWERTH & ASSOCIATES, INC.  
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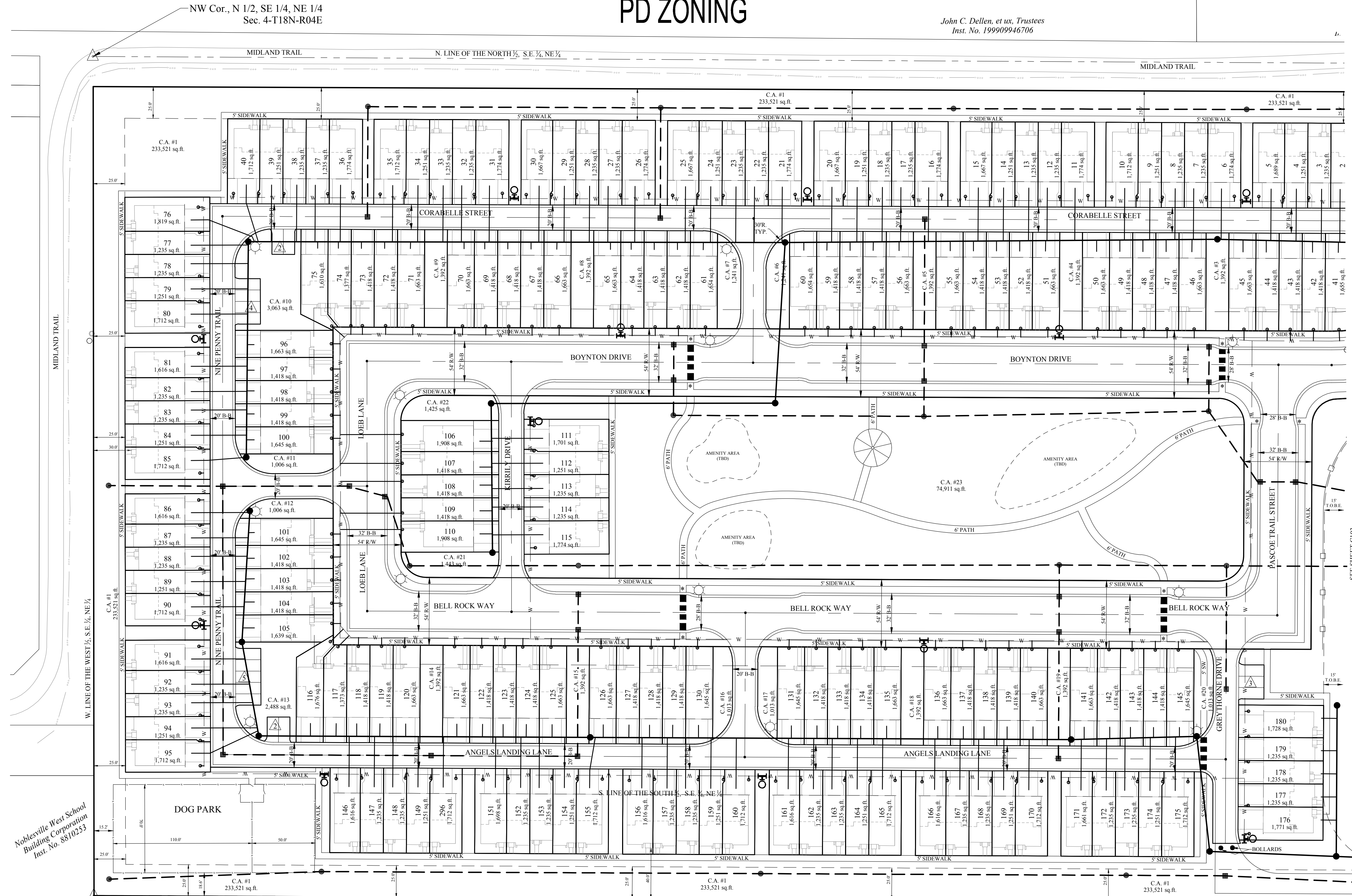
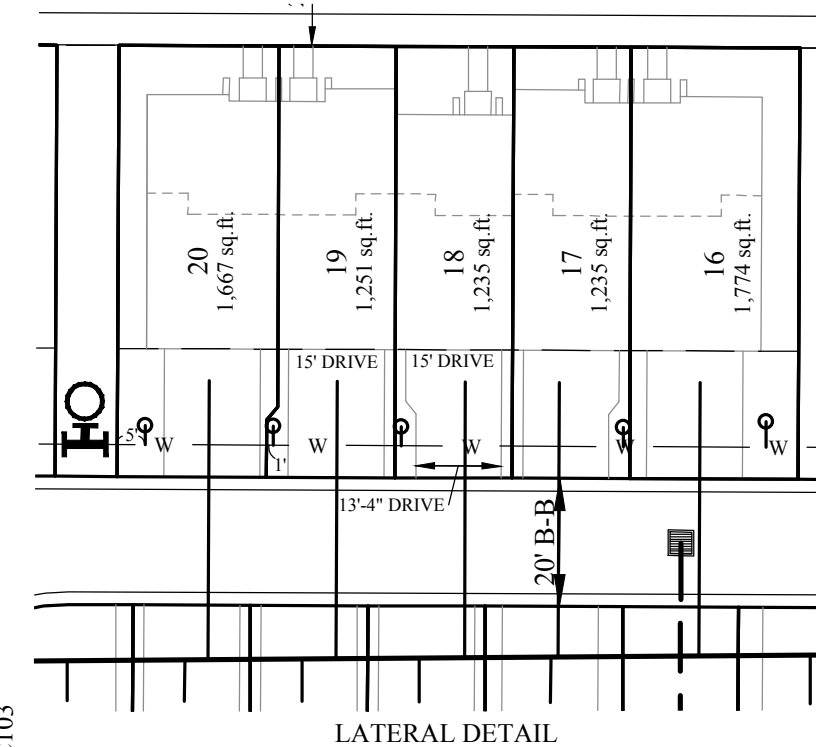
### EXISTING LEGEND

- |   |                              |   |                          |
|---|------------------------------|---|--------------------------|
| — | FLOW LINE                    | — | POWER POLE               |
| — | BURIED ELECTRIC LINE         | — | LIGHT POLE               |
| — | OVERHEAD ELECTRIC LINES      | — | ELECT. TRANSFORMER       |
| — | BURIED TELEPHONE LINE        | — | ELECT. METER             |
| — | OVERHEAD TELEPHONE LINE      | — | QUIP WIRE                |
| — | OTV                          | — | TELEPHONE POLE           |
| — | OVERHEAD CABLE T.V. LINE     | — | TELEPHONE PEDESTAL       |
| — | GAS LINE                     | — | TELEPHONE MANHOLE        |
| — | WATER LINE                   | — | TELEPHONE ACCESS COVER   |
| — | SANITARY SEWER LINE, MANHOLE | — | H.C.S.                   |
|   |                              | — | HAMILTON COUNTY SURVEYOR |
|   |                              | — | MEASURED                 |
|   |                              | — | RECORDED                 |
|   |                              | — | SURVEYED                 |
|   |                              | — | N.A.E.                   |
|   |                              |   | NO ACCESS EASEMENT       |

### LEGEND

- 40 LOT NUMBER
- B.L. BUILDING LINE
- D.&U.E. DRAINAGE & UTILITY EASEMENT
- D.U.&S.E. DRAINAGE UTILITY & SANITARY SEWER EASEMENT
- T.P.E. TREE PRESERVATION EASEMENT
- I.E.E. INGRESS-EGRESS EASEMENT
- C.A. COMMON AREA
- R/W RIGHT OF WAY
- T.O.B.E. TOP OF BANK EASEMENT

- EXISTING CONTOUR
  - PROPOSED SANITARY SEWER
  - PROPOSED STORM SEWER
  - PROPOSED WATER LINE
- PROPOSED STREET LIGHT  
 NOTE: EXACT STREET LIGHT STYLE HAS NOT BEEN DETERMINED, HOWEVER, THE STYLE SELECTED SHALL COMPLY WITH THE CITY OF NOBLESVILLE STANDARDS
- NUMBER OF PARKING SPACES
- \* HANDICAP RAMP

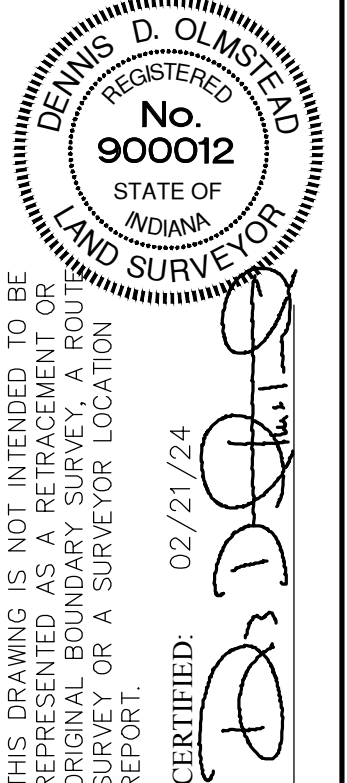


Noblesville West School Building Corporation  
 Inst. No. 8810253

SW Cor., N 1/2, SE 1/4, NE 1/4  
 Sec. 4-T18N-R04E

Hazel Dell Woods, Section 2, Inst. No. 200200065316, P.C. 3, Sl. 48

Hazel Dell Woods, Section 2, Inst. No. 200200065316, P.C. 3, Sl. 48



**STOEPPELWERTH**  
 ALWAYS ON  
 7965 East 106th Street, Fishers, IN 46038-2905  
 phone: 317.849.5935 fax: 317.849.5942

UTILITY LAYOUT  
 THE VILLAGE AT TRAIL CROSSING  
 NOBLESVILLE TOWNSHIP  
 HAMILTON COUNTY, INDIANA

DRAWN BY: LAF  
 CHECKED BY: GDK  
 SHEET NO. C102  
 S & A JOB NO. 92780MI

DATE MARK

REVISIONS

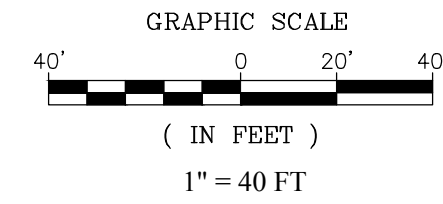
BY

STOEPPELWERTH & ASSOCIATES, INC.  
 THIS INSTRUMENT PREPARED BY:  
 DENNIS D. OLMSTEAD  
 7965 E. 106TH STREET  
 FISHERS, INDIANA 46038  
 PHONE: (317) 849-5935

THIS INSTRUMENT PREPARED FOR:  
 M4 HOMES OF INDIANA, L.P.  
 8425 WOODFIELD CROSSING BLVD. 100W  
 INDIANAPOLIS, IN 46240  
 CONTACT: JONATHAN ISAACS  
 PHONE: (317) 693-0448

CURRENT LANDOWNER:  
 CHARLES L. & LINDA J. HOLLAND  
 350 WESTMINSTER DR.  
 NOBLESVILLE, IN 46060

BONNIE AND TERRY SZEMORE  
 17365 HAZEL BELL ROAD  
 NOBLESVILLE, IN 46060



# PRELIMINARY DEVELOPMENT PLAN THE VILLAGE AT TRAIL CROSSING

NOBLESVILLE, INDIANA

## PD ZONING

City of Noblesville  
 Inst. No. 2016043049

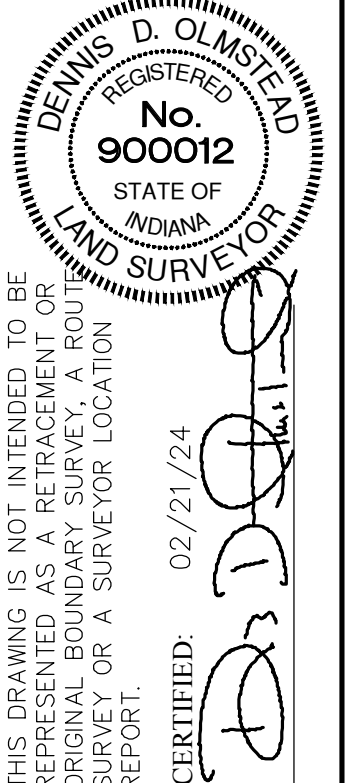
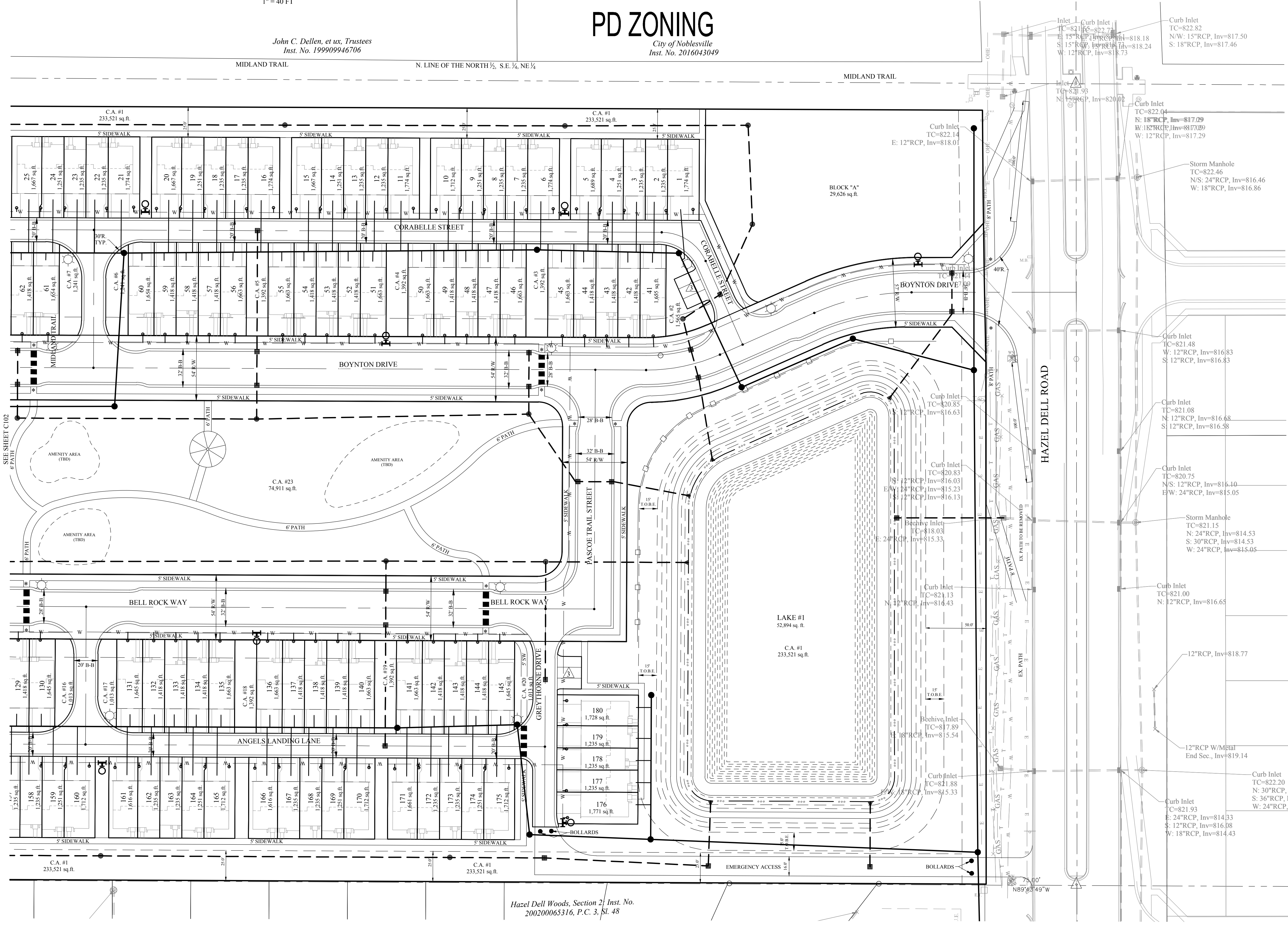
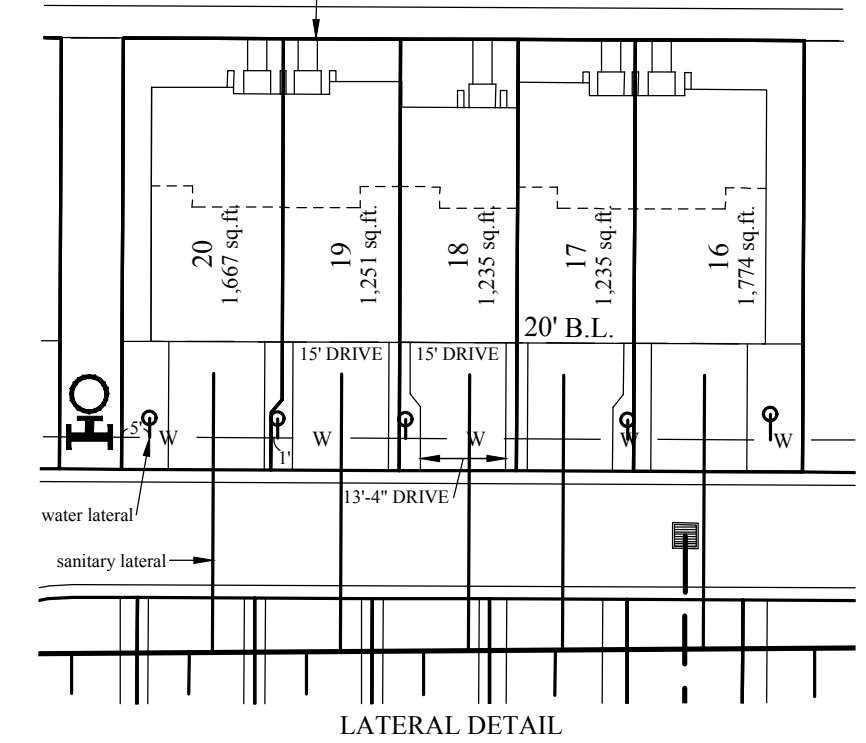
John C. Dellen, et ux, Trustees  
 Inst. No. 199909947606

### EXISTING LEGEND

—	FLOW LINE	—	POWER POLE	—	SANITARY CLEANOUT
—	BURIED ELECTRIC LINE	—	LIGHT POLE	—	STORM SEWER LINE; MANHOLE & END SECTION
—	OVERHEAD ELECTRIC LINES	—	ELECT. TRANSFORMER	—	CURB INLET
—	BURIED TELEPHONE LINE	—	ELECT. PEDESTAL	—	BEEHIVE OR ROUND INLET
—	OVERHEAD TELEPHONE LINE	—	ELECT. METER	—	SQUARE FLAT INLET
—	BURIED CABLE T.V. LINE	—	QUIP WIRE	—	FENCE LINE
—	OVERHEAD CABLE T.V. LINE	—	TELEPHONE POLE	—	H.C.S.
—	GAS LINE	—	TELEPHONE PEDESTAL	—	(M)
—	WATER LINE	—	TELEPHONE MANHOLE	—	(R)
—	SANITARY SEWER LINE; MANHOLE	—	TELEPHONE ACCESS COVER	—	(S)
				—	N.A.E.
					NO ACCESS EASEMENT
					CABLE T.V. PEDESTAL
					FIBER OPTIC MANHOLE
					TRAFFIC MANHOLE
					TRAFFIC CONTROL BOX
					GAS VALVE
					GAS METER
					GAS MARKER
					WATER VALVE
					FIRE HYDRANT
					MAILBOX

### LEGEND

40	LOT NUMBER
B.L.	BUILDING LINE
D.&U.E.	DRAINAGE & UTILITY EASEMENT
D.U.&S.E.	DRAINAGE UTILITY & SANITARY SEWER EASEMENT
T.P.E.	TREE PRESERVATION EASEMENT
I.E.E.	INGRESS-EGRESS EASEMENT
C.A.	COMMON AREA
R/W	RIGHT OF WAY
T.O.B.E.	TOP OF BANK EASEMENT
---	EXISTING CONTOUR
—●—	PROPOSED SANITARY SEWER
—●—	PROPOSED STORM SEWER
—w—	PROPOSED WATER LINE
☼	PROPOSED STREET LIGHT
NOTE: EXACT STREET LIGHT STYLE HAS NOT BEEN DETERMINED, HOWEVER, THE STYLE SELECTED SHALL COMPLY WITH THE CITY OF NOBLESVILLE STANDARDS	
19	NUMBER OF PARKING SPACES
*	HANDICAP RAMP



STOEPPELWERTH  
 ALWAYS ON  
 7965 East 106th Street, Fishers, IN 46038-2905  
 phone: 317.849.5935 fax: 317.849.5942



UTILITY LAYOUT  
 THE VILLAGE AT TRAIL CROSSING  
 HAMILTON COUNTY, INDIANA  
 NOBLESVILLE TOWNSHIP

DRAWN BY: LAF CHECKED BY: GDK  
 SHEET NO. C103  
 S & A JOB NO. 92780MI

Hazel Dell Woods, Section 2, Inst. No. 200200065316, P.C. 3, Sl. 48

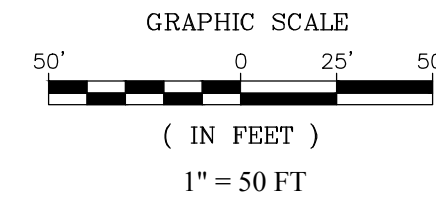
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STOEPPELWERTH & ASSOCIATES, INC.  
 THIS INSTRUMENT PREPARED BY:  
 DENNIS D. OLMSFELD  
 7965 E. 106TH STREET  
 FISHERS, INDIANA 46038  
 PHONE: (317) 849-5935

THIS INSTRUMENT PREPARED FOR:  
 M/I HOMES OF INDIANA, L.P.  
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 NOBLESVILLE, IN 46060

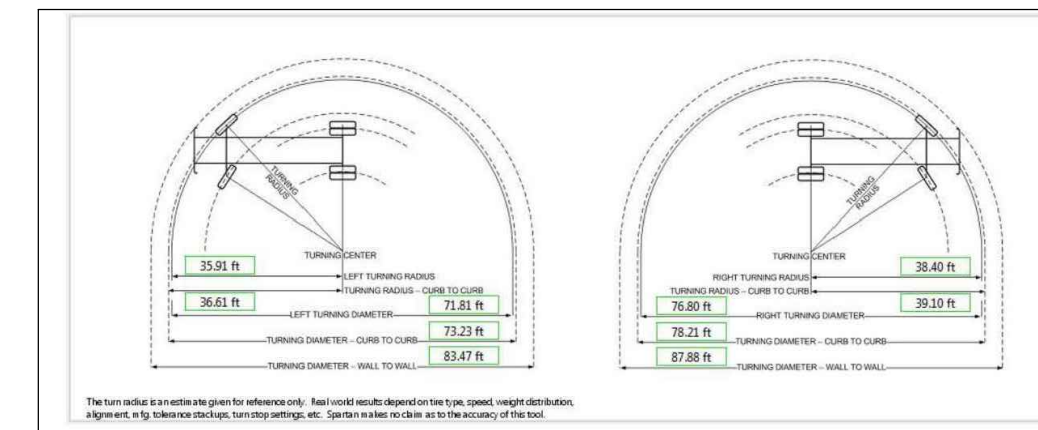
BONNIE AND TERRY SIZEMORE  
 17365 HAZEL DELL ROAD  
 NOBLESVILLE, IN 46060



# PRELIMINARY DEVELOPMENT PLAN THE VILLAGE AT TRAIL CROSSING

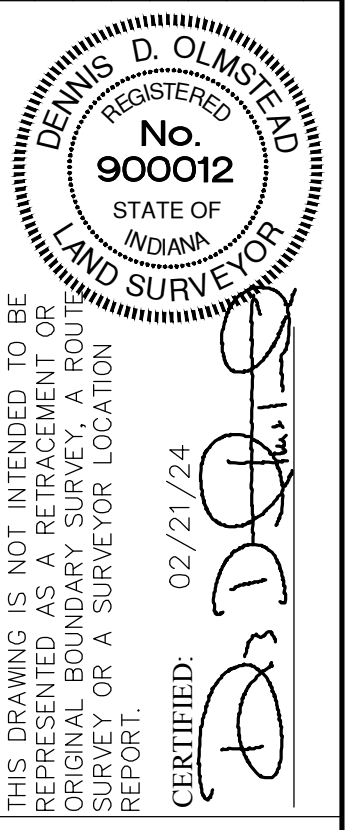
NOBLESVILLE, INDIANA

PD ZONING

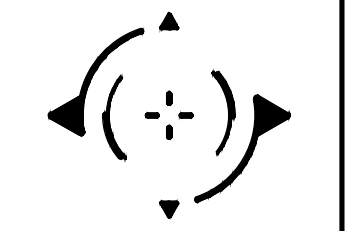


### Apparatus Specifications for Auto Turn Exhibit

- Gross Vehicle Weight (GVW): 84,422 Pounds
- Overall Width of Tires (center of tire to center of tire): 86 inches (86")
- Overall Track (Vehicle Width): 110 inches (110")
- Overall Height (Vehicle Height): 12 feet, 3 inches (12' 3")
- Full Bumper to Bumper Length: 49 feet, 10 inches (49' 10")
- Front of platform to Center of Front Wheel: 12 feet, 5 inches (12' 5")
- Front of platform to Center of Tandem Axles: 34 feet (34')
- Curb to curb turning radius: 40 feet
- Wall to wall turning radius: 44 feet
- Angle of approach: 8 degrees (8°)
- Angle of departure: 9 degrees (9°)

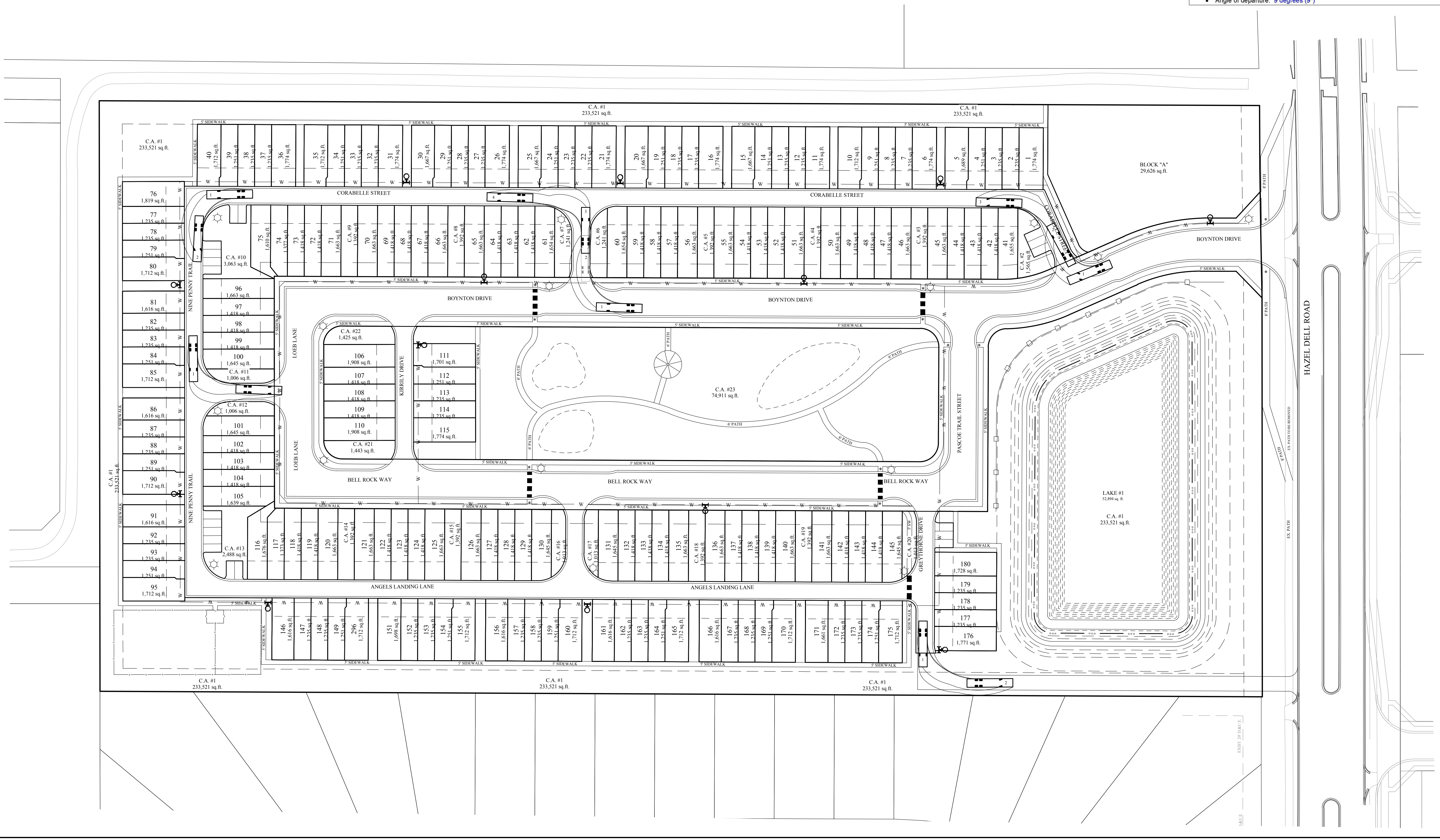


**STOEPPELWERTH**  
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 phone: 317.849.5935 fax: 317.849.5942



AUTOTURN EXHIBIT  
 THE VILLAGE AT TRAIL CROSSING  
 NOBLESVILLE TOWNSHIP  
 HAMILTON COUNTY, INDIANA

DRAWN BY: LAF  
 CHECKED BY: GDK  
 SHEET NO: C104  
 S & A JOB NO: 97780MI



# TAB 6



**ORDINANCE NO.      -   -24**

**AN ORDINANCE TO AMEND THE UNIFIED DEVELOPMENT ORDINANCE AND OFFICIAL ZONING MAP, ALL PART OF THE COMPREHENSIVE PLAN OF THE CITY OF NOBLESVILLE, HAMILTON COUNTY, INDIANA**

*Document Cross Reference Nos. Deed Book 312, Page 92, Instrument # 8313223, Book 339, Page 552, and Instrument # 2007-61496*

This Ordinance amends the Unified Development Ordinance for the City of Noblesville, Hamilton County, Indiana, enacted by the City of Noblesville under authority of Chapter 174 of the Acts of the Indiana General Assembly 1947, as amended.

**WHEREAS**, the Plan Commission of the City of Noblesville (the “Plan Commission”) conducted a public hearing on docket number LEGP-\_\_\_\_-2024 at its \_\_\_\_\_, 2024 meeting as required by law concerning a change of zoning of certain property described in **Exhibit A** attached hereto (the “Real Estate”) containing approximately 19.92 acres, and depicted in **Exhibit B** attached hereto; and,

**WHEREAS**, the Plan Commission has sent a \_\_\_\_\_ Recommendation for adoption of said amendment with a vote of \_\_\_\_ ( ) AYES and \_\_\_\_ ( ) NAYS to the Common Council;

**NOW, THEREFORE, BE IT ORDAINED** by the Common Council of the City of Noblesville, Hamilton County, Indiana, meeting in regular session, that the Unified Development Ordinance and Official Zoning Map, are hereby amended as follows:

**Section 1.** The Official Zone Map is hereby amended to change the zoning of the parcel legally described in **Exhibit A** and depicted in **Exhibit B** from the R1 Residential District with a portion within the State Road 32 Overlay to the R5 Residential District;

**Section 2.** That the Zoning map shall be updated concurrently to reflect the changes referred to in Section 1.

**Section 3.** This Ordinance shall be in full force and effect from and upon its adoption and publication in accordance with the law.

Approved on this \_\_\_\_\_ day of \_\_\_\_\_, 2024 by the Common Council of the City of Noblesville, Indiana:

AYE		NAY	ABSTAIN
	Darren Peterson		
	Meghan Wiles		
	Pete Schwartz		
	Evan Elliott		
	Michael J. Davis		
	Todd Thurston		
	Aaron Smith		
	Mark Boice		
	David Johnson		

ATTEST: \_\_\_\_\_  
 Evelyn L. Lees, City Clerk

Presented by me to the Mayor of the City of Noblesville, Indiana, this \_\_\_\_ day of \_\_\_\_\_, 2024 at \_\_\_\_\_.M.

\_\_\_\_\_  
Evelyn L. Lees, City Clerk

MAYOR’S APPROVAL

\_\_\_\_\_  
Chris Jensen, Mayor

\_\_\_\_\_  
Date

MAYOR’S VETO

\_\_\_\_\_  
Chris Jensen, Mayor

\_\_\_\_\_  
Date

ATTEST: \_\_\_\_\_  
Evelyn L. Lees, City Clerk

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security Number in this document, unless required by law:

Jon C. Dobosiewicz  
Printed Name of Declarant

Prepared by: James E. Shinaver, attorney at law, NELSON & FRANKENBERGER and Jon C. Dobosiewicz, land use professional, NELSON & FRANKENBERGER. 550 Congressional Blvd, Suite 210, Carmel, IN 46032 (317) 844-0106.

Village at Trailside Crossing - 2024 Rezone Ordinance 1 022024

**EXHIBIT A**

Legal Description  
(Page 1 of 2)

Parcel 1:

A part of the North Half of the Southeast Quarter of the Northeast Quarter of Section 4, Township 18 North, Range 4 East, in Hamilton County, Indiana, described as follows: Begin at the Southeast corner of the North Half of the Southeast Quarter of the Northeast Quarter of Section 4, Township 18 North, Range 4 East, run thence west on and along a fence line, said line being the south line of the said North Half, 1339.5 feet to an iron stake and corner post; thence north parallel with the East line of said Northeast Quarter, 436.3 feet to an iron stake; thence east parallel with the south line of said North Half, 1339.5 feet to intersection with the east line of said North Half; thence south on and along the said East line, 436.3 feet to the place of beginning.

EXCEPTING THEREFROM That part deeded to the City of Noblesville, Hamilton County, Indiana by deed recorded October 30, 2007 as Document No. 2007061494 described as follows:

A part of the North Half of the Southeast Quarter of the Northeast Quarter of Section 4, Township 18 North, Range 4 East, in Hamilton County, Indiana, described as follows: Beginning of the southeast corner of said half-quarter-quarter section; thence North 89 degrees 44 minutes 05 seconds west 74.97 feet along the south line of said half-quarter-quarter section; thence North 0 degrees 02 minutes 18 seconds west 435.38 feet; thence Northerly 0.92 feet along an arc to the left having a radius of 9925.00 feet and subtended by a long chord having a bearing of North 0 degrees 02 minutes 26 seconds West and a length of 0.92 feet to the north line of the grantor's land; thence South 89 degrees 44 minutes 05 seconds East 74.96 feet along said north line to the east line of said Northeast Quarter; thence South 0 degrees 02 minutes 24 seconds East 436.30 feet along said east line to the point of beginning.

Parcel 2:

A part of the Northeast Quarter of Section 4, Township 18 North, Range 4 East, located in Noblesville Township, Hamilton County, Indiana, being bounded as follows: Commencing at the northeast corner of the Southeast Quarter of the Northeast Quarter of Section 4, Township 18 North, Range 4 East; thence South 00 degrees 00 minutes 00 seconds (assumed bearing) 228.11 feet on and along the East line of said Northeast Quarter to the Northeast corner of the 13.42 acre exception described in Instrument Number 160 and recorded in Deed Record 180, Page 65 in the records of Hamilton County, Indiana; thence North 89 degrees 31 minutes 24 seconds West 334.93 feet on and along the North line of said 13.42 acre tract of land to the POINT OF BEGINNING of this description; thence North 00 degrees 00 minutes 00 seconds 227.85 feet parallel with the East line of said Northeast Quarter to the North line of the Southeast Quarter of said Northeast Quarter; thence North 89 degrees 33 minutes 55 seconds West 995.97 feet on and along the North line of the Southeast Quarter of said Northeast Quarter to the Northwest corner of the Southeast Quarter of said Northeast Quarter; thence South 00 degrees 06 minutes 36 seconds west 227.11 feet on and along the West line of the Southeast Quarter of said Northeast Quarter to its point of intersection with the Westerly extension of the North line of said 13.42 acre tract of land; thence South 89 degrees 31 minutes 24 seconds East 1,006.41 feet on and along the north line of said 13.42 acre tract of land to the POINT OF BEGINNING.

## **EXHIBIT A**

### Legal Description (Page 2 of 2)

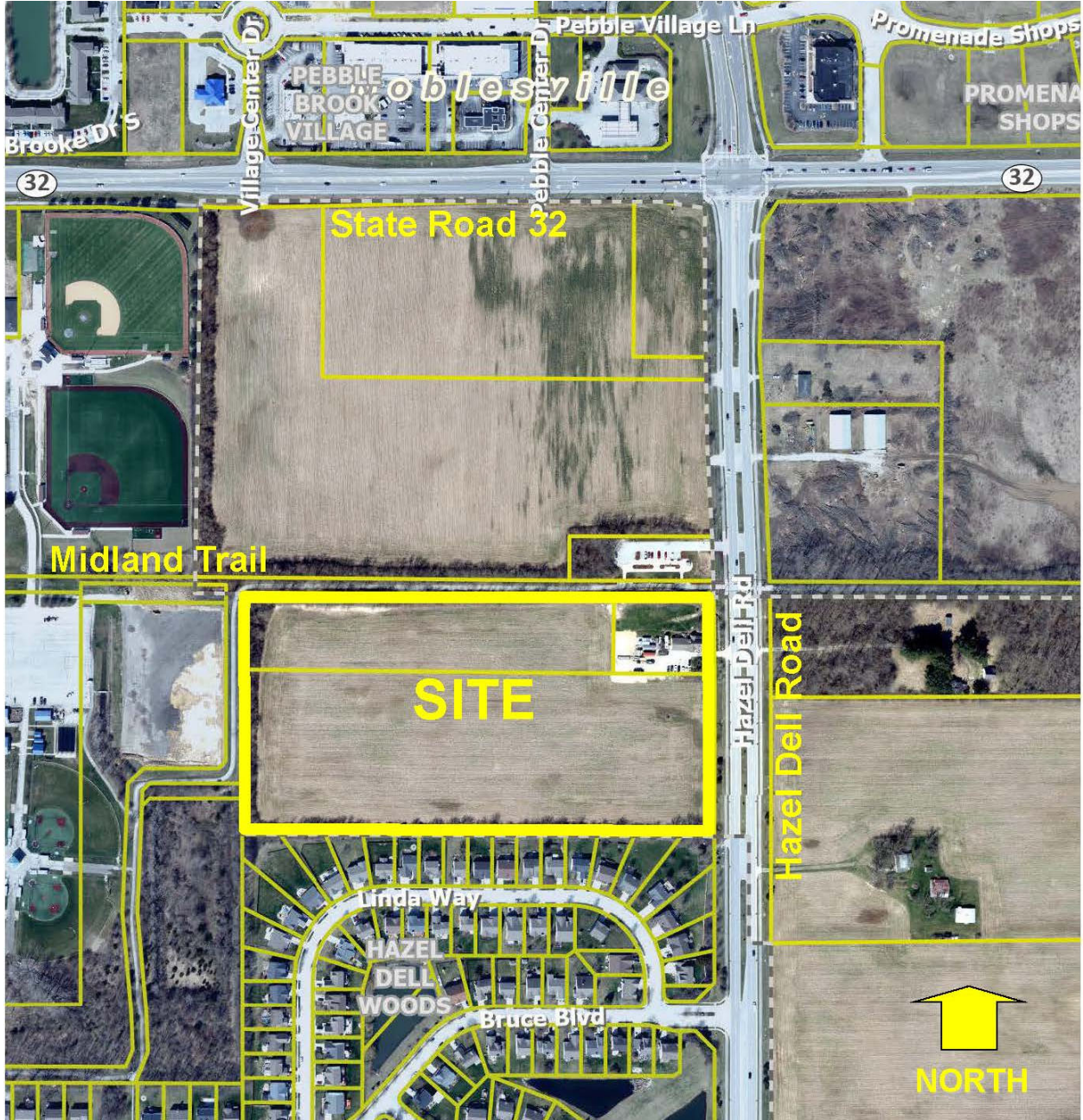
#### Parcel 3:

A part of the Southeast Quarter of the Northeast Quarter of Section 4, Township 18 North, Range 04 East, Noblesville Township, Hamilton County, Indiana. This description prepared by: Bruce E. Strack, Indiana LS 20200057, working for Stoeppelwerth and Associates, Inc. as part of Project 97780OLF, being more particularly described as follows:

Commencing at the Northeast corner of said Quarter-Quarter Section; thence South 00 degrees 02 minutes 07 seconds East, along the East line of said Quarter-Quarter Section, a distance of 22.29 feet to a point 20.00 feet South of the centerline of the Midland Trace Trail; thence North 89 degrees 45 minutes 57 seconds West, along a line parallel with and 20.00 feet South of said centerline, a distance of 77.57 feet to the West Right-of-Way line of Hazel Dell Road, as described in Instrument Number 2007064496 in the Office of the Recorder of Hamilton County, Indiana, and the POINT OF BEGINNING of this description; said point also being a point on a non-tangent curve concave easterly, the radius point of which bears North 89 degrees 49 minutes 55 seconds East a distance of 9925.00 feet; thence southerly, along said curve, an arc length of 205.85 feet to the North line of the land described in Deed Book 312, Page 92 in said Recorder's Office; thence North 89 degrees 43 minutes 49 seconds West, along said line, a distance of 269.97 feet to the West line of the land described in Instrument Number 200000029961 in said Recorder's Office; thence North 00 degrees 02 minutes 07 seconds West, along said line, a distance of 205.65 feet to the South line of the land described in Instrument Number 2017042701 in said recorder's Office; thence South 89 degrees 45 minutes 57 seconds East, along said line, a distance of 267.35 feet to the Point of Beginning, Containing 1.267 acres, more or less.

**EXHIBIT B**

Depiction of Legal Description  
(Page 1 of 1)



# **TAB 7**

**ORDINANCE NO.      - 23**

**AN ORDINANCE TO AMEND THE UNIFIED DEVELOPMENT ORDINANCE,  
A PART OF THE COMPREHENSIVE PLAN OF THE CITY OF NOBLESVILLE,  
HAMILTON COUNTY, INDIANA**

*Document Cross Reference Nos. Deed Book 312, Page 92, Instrument # 8313223, Book 339, Page 552, and  
Instrument # 2007-61496*

This Ordinance (the “Village at Trailside Crossing PD Ordinance”) amends the Unified Development Ordinance for the City of Noblesville, Hamilton County, Indiana, (the “UDO”) enacted by the City of Noblesville, Indiana (the “City”) under authority of Chapter 174 of the Acts of the Indiana General Assembly 1947, as amended.

**WHEREAS**, the Plan Commission of the City of Noblesville (the “Plan Commission”) conducted a public hearing on docket number LEGP 0\_\_-2024 at its \_\_\_\_\_, 2024 meeting, as required by law, in regard to the application (the “Petition”) filed by MI Homes of Indiana, an Indiana limited partnership (the “Developer”) concerning a change of zoning of certain property described in Exhibit A attached hereto (the “Real Estate”) and the adoption of a preliminary development plan to be known, collectively with attached Exhibits, as the “Village at Trailside Crossing Preliminary Development Plan”, as further described in Section 3 below (the “Plan”); and,

**WHEREAS**, the Plan Commission has sent a \_\_\_\_\_ Recommendation for adoption of said amendment with a vote of \_\_\_ ( ) AYES and \_\_\_ ( ) NAYS to the Common Council;

**NOW, THEREFORE, BE IT ORDAINED** by the Common Council of the City of Noblesville, Hamilton County, Indiana, meeting in regular session, that it adopts this Village at Trailside Crossing PD Ordinance as an amendment to the UDO and the Official City of Noblesville Zoning Map (the “Zoning Map”), as follows:

**Section 1.**     Applicability of Ordinance.

- A.     The Zoning Map is hereby amended to change the zoning of the Real Estate from “R5” Residential to “R5/PD” Residential Planned Development, which is to be known as the Village at Trailside Crossing Planned Development (the "District").
  
- B.     The District's underlying zoning district shall be R5 Residential (the "Underlying District"). Development in this District shall be governed entirely by (i) the provisions of this Village at Trailside Crossing PD Ordinance and its exhibits, and (ii) those provisions of the UDO in effect as of the date of adoption of this



Ordinance, and applicable to the Underlying District, except as modified, revised, supplemented or expressly made inapplicable by this Ordinance (collectively, the “Governing Standards”).

- C. All provisions and representations of the UDO that conflict with the provisions of this Village at Trailside Crossing PD Ordinance and its exhibits are hereby rescinded as applied to the Real Estate and shall be superseded by the terms of this Village at Trailside Crossing PD Ordinance.

**Section 2.** Permitted Uses.

- A. All uses permitted in the Underlying District shall be permitted within the District; however, the maximum number of Dwelling Units shall not exceed One Hundred Eighty (180).
- B. Accessory Uses and Accessory Structures customarily incidental to any permitted use shall be permitted.

**Section 3.** Preliminary Development Plan.

- A. Full sized, scaled development plans are on file with the City’s Planning and Development Department with a revision date of \_\_\_\_\_, 2024. What is attached hereto as Exhibit B is a general representation of the full sized plans and Exhibit B, together with the full sized plans, shall be collectively referred to as the “Preliminary Development Plan”.
- B. The Preliminary Development Plan is hereby incorporated herein and approved. Pursuant to Article 8 of the UDO, the Preliminary Development Plan is intended to establish the basic goals and policies, bulk standards, variations/waivers from the Underlying District and layout of the District.

**Section 4.** Bulk Standards. The bulk requirements applicable to the Underlying District shall be modified and superseded by the below:

<b>Requirements</b>	<b>Village at Trailside Crossing PD Standards</b>
Minimum Lot Area per Dwelling Unit	Not Applicable
Minimum Lot Width	Not Applicable
Maximum Building Height	35 ft. or 3-stories measured to midpoint of a pitched/hip roof
Minimum Front Yard Setback	5 ft. Minimum of 40’ building face setback from Midland Trail and south property line (front porch may encroach setback)
Minimum Side Yard Setback	20 ft. building separation

Minimum Rear Yard Setback	10 ft.
Floor Area Ratio shall not exceed:	Not applicable
Minimum Floor Area (per dwelling unit)	1,300 sq. ft.
Maximum Lot Coverage	Not applicable

\*Each Townhouse Dwelling shall provide a driveway with a minimum length of (twenty (20) feet measured from the garage door to the edge of pavement or curb of the alley/private drive.

**Section 5.** Architectural Standards. The following standards shall apply:

- A. The approved elevations shall be the set of home elevations on file with the City’s Planning and Development Department as submitted on February 21, 2024 (the “Approved Elevations”). Color Illustrations of the Approved Elevations are included under Exhibit D of this Village at Trailside Crossing PD Ordinance.
- B. The Approved Elevations are hereby incorporated and approved. All townhome dwellings shall be substantially consistent with the Approved Elevations. The Director of Planning and Development, including his or her designees, shall review and approve home elevations at the time of filing of the Detailed Development Plan and/or Building Permit for compliance and consistency with the Approved Elevations.
- C. The elevations of any townhome dwelling that substantially varies from the Approved Elevation shall be submitted for review and approval by the Director of Planning and Development if in Compliance with the Architectural Standards hereby incorporated under Exhibit C. The Director’s review of said elevation(s) shall be performed in order to determine its compatibility and consistency with the intended quality and character of the District and the Approved Elevations.

**Section 6.** Landscaping and Open Space Standards. The standards of Article 12, Landscaping and Screening, of the UDO shall apply, except as modified below:

- A. Lot Landscaping. The Front and Side Yard (area along the front and side building elevations) landscaping shall be substantially compliant to the landscaping as depicted in Exhibit E.
- B. Landscape Buffer Yards. Landscape Buffer Yards shall be provided as shown on the Preliminary Development Plan. The Establishment of a Peripheral Yard, as set forth in Article 8, Part H, Section 3.F.2 of the UDO, shall apply as shown on the Preliminary Development Plan subject to the following:
  - 1. North and West perimeter of the Real Estate (Adjacent to the Midland Trail: A minimum twenty-five (25) foot buffer yard shall be required as shown on the Preliminary Development Plan. Four (4) shade trees, fifteen (15) large deciduous shrubs, and six (6) large evergreen shrubs shall be provided per two-

hundred (200) linear feet of building frontage within the buffer yard in addition to preservation of existing trees as shown on the Preliminary Development Plan.

2. East perimeter of the Real Estate: A minimum twenty-five (25) foot buffer yard shall be provided along the east perimeter of the Real Estate adjacent to Hazel Dell Rd. Tree and shrub plantings shall be required as shown on the Preliminary Development Plan. Grass pavers, sidewalks and the top of bank of the pond shall be permitted in the buffer yard as shown on the Preliminary Development Plan.
  3. South perimeter of the Real Estate: A minimum twenty-five (25) foot buffer yard shall be required as shown on the Preliminary Development Plan. The preservation of existing trees shall satisfy all minimum tree planting requirements and no shrub plantings shall be required due to additional natural area preservation. Emergency access grass paver shall be permitted in the buffer yard as shown on the Preliminary Development Plan.
- C. Open Space. A minimum of eight (8) acres Open Space shall be provided substantially in the size, configuration and locations depicted on the Preliminary Development Plan.
- D. Tree Preservation. The requirements of Article 12, Section 13.B (Tree Preservation) of the UDO shall be applicable to the Real Estate in areas specified as Tree Preservation Easements on the Preliminary Development Plan and notice of the regulation of such standards shall be included in the Declaration of Covenants and Restriction that will be applicable to the Real Estate.

**Section 7.** Parking and Loading Standards. The standards of Article 10, Off-Street Parking and Loading, of the UDO shall apply.

**Section 8.** Lighting Standards. The standards of Article 13, Environmental Performance Standards, of the UDO, shall apply, except as modified below:

- A. Photocell controlled light fixtures shall be required between garage doors.

**Section 9.** Sign Standards. The District's signs shall comply with Article 11 of the UDO, except as modified below:

- A. Two (2) signs shall be permitted at the entrance to the subdivision which flank the entrance as depicted in Exhibit H.

**Section 10.** Infrastructure Standards. Unless otherwise stated within this Village at Trailside Crossing PD Ordinance, all public infrastructure within the District shall adhere to the City's standards and design criteria, subject to the following specific waivers that are hereby approved:

- A. The maximum block length shall be as shown on the Preliminary Development Plan.
- B. The subdivision (platting) of lots on a private easement (without street frontage) shall be permitted.
- C. Road Geometric Standards shall be shown on the Preliminary Development Plan.
- D. Five (5) foot sidewalks shall be required on both sides of the street except where there are no buildings on one side of the street.

**Section 11.** Additional Standards. The following additional standards shall be applicable to the Real Estate and the regulation of such standards shall be included in the Declaration of Covenants and Restriction that will be applicable to the Real Estate.

- A. Common Area Enhancements –
  - 1. The common areas shall include mounding, landscaping, seating areas, and walking paths as generally depicted on the Preliminary Development Plan and in Exhibit F which includes illustrative examples of common area enhancements.
  - 2. A fountain shall be required in the Detention Pond along Hazel Dell Road as illustrated on the Preliminary Development Plan.
- B. Dog Park – A dog park shall be provided within the area labeled “Dog Park” on the Preliminary Development Plan. A general depiction of the dog park is shown in Exhibit G.

**Section 12.** Detailed Development Plan. Approval of a Detailed Development Plan (“DDP”) shall follow the procedures set out in Article 8 of the UDO, subject to the following clarification: (i) the Director of Planning and Zoning shall approve Minor Changes; and (ii) if a DDP includes a Major Change from the approved Preliminary Development Plan, then, prior to approval of the DDP, an amended Preliminary Development Plan shall be approved in accordance with Article 8, of the UDO. A Secondary Plat shall be submitted for review and approval as part of any approved DDP.

**Section 13.** Effective Date. This Village at Trailside Crossing PD Ordinance shall be in full force and effect from and upon its adoption and publication in accordance with the law.

[The remainder of this page intentionally left blank; signature page follows.]

Approved on this \_\_\_\_\_ day of \_\_\_\_\_, 2022 by the Common Council of the City of Noblesville, Indiana:

AYE		NAY	ABSTAIN
	Darren Petersen		
	Meghan Wiles		
	Pete Schwartz		
	Evan Elliott		
	Michael J. Davis		
	Todd Thurston		
	Aaron Smith		
	Mark Boice		
	David Johnson		

ATTEST: \_\_\_\_\_  
 Evelyn L. Lees, City Clerk

Presented by me to the Mayor of the City of Noblesville, Indiana, this \_\_\_\_ day of \_\_\_\_\_, 2024 at \_\_\_\_\_.M.

\_\_\_\_\_  
Evelyn L. Lees, City Clerk

MAYOR’S APPROVAL

\_\_\_\_\_  
Chris Jensen, Mayor

\_\_\_\_\_  
Date

MAYOR’S VETO

\_\_\_\_\_  
Chris Jensen, Mayor

\_\_\_\_\_  
Date

ATTEST: \_\_\_\_\_  
Evelyn L. Lees, City Clerk

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security Number in this document, unless required by law:

Jon C. Dobosiewicz  
Printed Name of Declarant

Prepared by: James E. Shinaver, attorney at law, NELSON & FRANKENBERGER and Jon C. Dobosiewicz, land use professional, NELSON & FRANKENBERGER. 550 Congressional Blvd, Suite 210, Carmel, IN 46032 (317) 844-0106.

Village at Trailside Crossing - 2024 PD Ordinance 2 022024

## EXHIBIT A

### Legal Description (Page 1 of 2)

#### Parcel 1:

A part of the North Half of the Southeast Quarter of the Northeast Quarter of Section 4, Township 18 North, Range 4 East, in Hamilton County, Indiana, described as follows: Begin at the Southeast corner of the North Half of the Southeast Quarter of the Northeast Quarter of Section 4, Township 18 North, Range 4 East, run thence west on and along a fence line, said line being the south line of the said North Half, 1339.5 feet to an iron stake and corner post; thence north parallel with the East line of said Northeast Quarter, 436.3 feet to an iron stake; thence east parallel with the south line of said North Half, 1339.5 feet to intersection with the east line of said North Half; thence south on and along the said East line, 436.3 feet to the place of beginning.

EXCEPTING THEREFROM That part deeded to the City of Noblesville, Hamilton County, Indiana by deed recorded October 30, 2007 as Document No. 2007061494 described as follows:

A part of the North Half of the Southeast Quarter of the Northeast Quarter of Section 4, Township 18 North, Range 4 East, in Hamilton County, Indiana, described as follows: Beginning of the southeast corner of said half-quarter-quarter section; thence North 89 degrees 44 minutes 05 seconds west 74.97 feet along the south line of said half-quarter-quarter section; thence North 0 degrees 02 minutes 18 seconds west 435.38 feet; thence Northerly 0.92 feet along an arc to the left having a radius of 9925.00 feet and subtended by a long chord having a bearing of North 0 degrees 02 minutes 26 seconds West and a length of 0.92 feet to the north line of the grantor's land; thence South 89 degrees 44 minutes 05 seconds East 74.96 feet along said north line to the east line of said Northeast Quarter; thence South 0 degrees 02 minutes 24 seconds East 436.30 feet along said east line to the point of beginning.

#### Parcel 2:

A part of the Northeast Quarter of Section 4, Township 18 North, Range 4 East, located in Noblesville Township, Hamilton County, Indiana, being bounded as follows: Commencing at the northeast corner of the Southeast Quarter of the Northeast Quarter of Section 4, Township 18 North, Range 4 East; thence South 00 degrees 00 minutes 00 seconds (assumed bearing) 228.11 feet on and along the East line of said Northeast Quarter to the Northeast corner of the 13.42 acre exception described in Instrument Number 160 and recorded in Deed Record 180, Page 65 in the records of Hamilton County, Indiana; thence North 89 degrees 31 minutes 24 seconds West 334.93 feet on and along the North line of said 13.42 acre tract of land to the POINT OF BEGINNING of this description; thence North 00 degrees 00 minutes 00 seconds 227.85 feet parallel with the East line of said Northeast Quarter to the North line of the Southeast Quarter of said Northeast Quarter; thence North 89 degrees 33 minutes 55 seconds West 995.97 feet on and along the North line of the Southeast Quarter of said Northeast Quarter to the Northwest corner of the Southeast Quarter of said Northeast Quarter; thence South 00 degrees 06 minutes 36 seconds west 227.11 feet on and along the West line of the Southeast Quarter of said Northeast Quarter to its point of intersection with the Westerly extension of the North line of said 13.42 acre tract of land; thence South 89 degrees 31 minutes 24 seconds East 1,006.41 feet on and along the north line of said 13.42 acre tract of land to the POINT OF BEGINNING.

## **EXHIBIT A**

### Legal Description (Page 2 of 2)

#### Parcel 3:

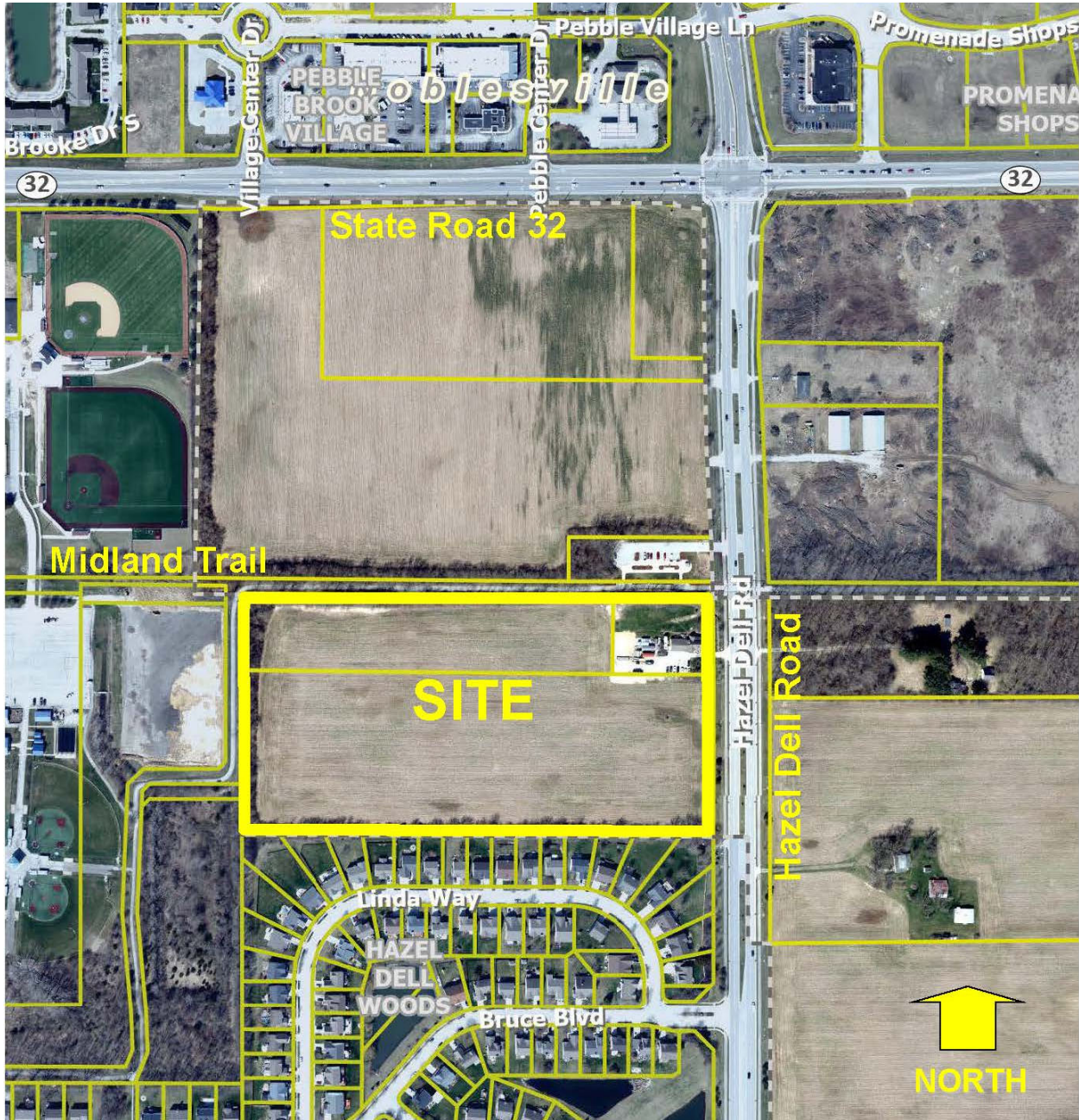
A part of the Southeast Quarter of the Northeast Quarter of Section 4, Township 18 North, Range 04 East, Noblesville Township, Hamilton County, Indiana. This description prepared by: Bruce E. Strack, Indiana LS 20200057, working for Stoeppelwerth and Associates, Inc. as part of Project 97780OLF, being more particularly described as follows:

Commencing at the Northeast corner of said Quarter-Quarter Section; thence South 00 degrees 02 minutes 07 seconds East, along the East line of said Quarter-Quarter Section, a distance of 22.29 feet to a point 20.00 feet South of the centerline of the Midland Trace Trail; thence North 89 degrees 45 minutes 57 seconds West, along a line parallel with and 20.00 feet South of said centerline, a distance of 77.57 feet to the West Right-of-Way line of Hazel Dell Road, as described in Instrument Number 2007064496 in the Office of the Recorder of Hamilton County, Indiana, and the POINT OF BEGINNING of this description; said point also being a point on a non-tangent curve concave easterly, the radius point of which bears North 89 degrees 49 minutes 55 seconds East a distance of 9925.00 feet; thence southerly, along said curve, an arc length of 205.85 feet to the North line of the land described in Deed Book 312, Page 92 in said Recorder's Office; thence North 89 degrees 43 minutes 49 seconds West, along said line, a distance of 269.97 feet to the West line of the land described in Instrument Number 200000029961 in said Recorder's Office; thence North 00 degrees 02 minutes 07 seconds West, along said line, a distance of 205.65 feet to the South line of the land described in Instrument Number 2017042701 in said recorder's Office; thence South 89 degrees 45 minutes 57 seconds East, along said line, a distance of 267.35 feet to the Point of Beginning, Containing 1.267 acres, more or less.



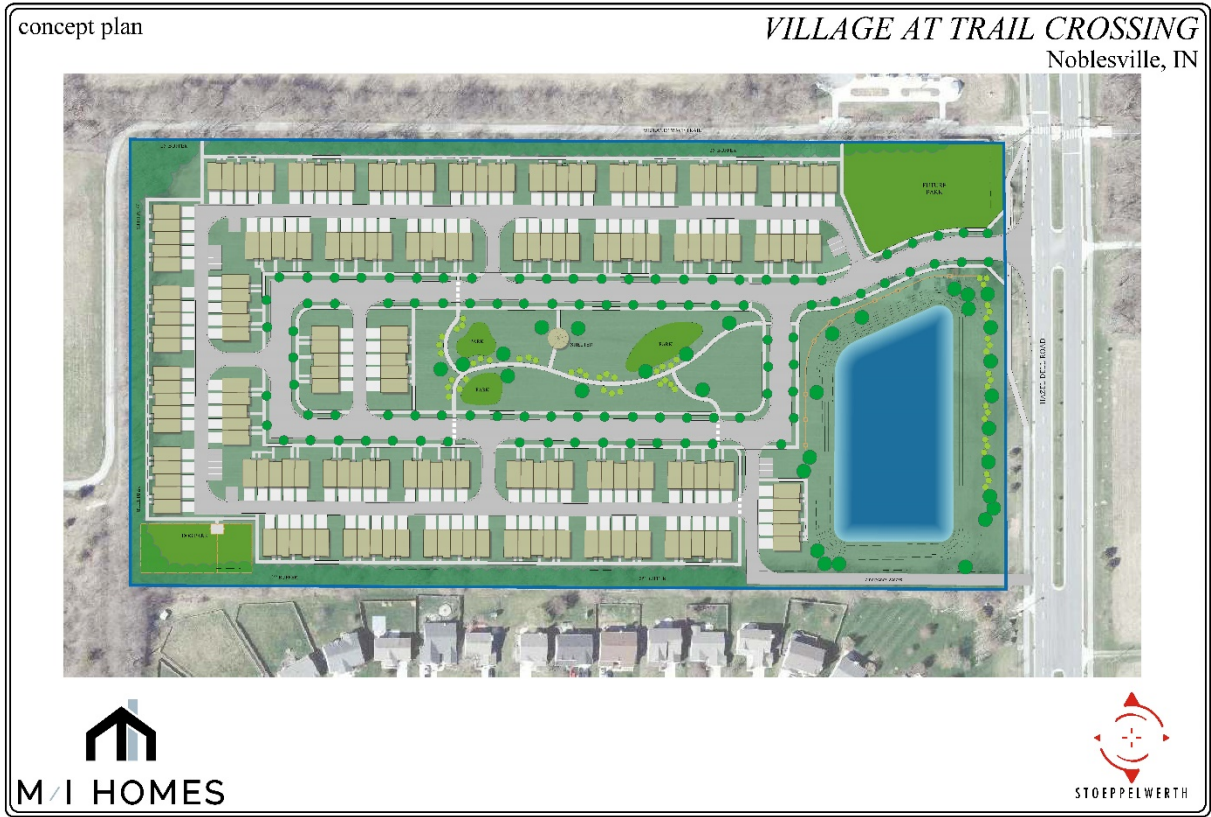
**EXHIBIT A**

Depiction of Legal Description  
(Page 3 of 3)



**EXHIBIT B**

**PRELIMINARY DEVELOPMENT PLAN**



(See following \_\_ pages including PDP and Landscape Plan)

## EXHIBIT C

### ARCHITECTURAL STANDARDS

(Page 1 of 1)

Architectural Feature	Standard
Minimum Square Footage	1,300 sq. ft.
Corner Breaks (minimum)	5 per building
Front Façade Masonry (minimum)	24" wainscot – See Exhibit D
Secondary Façade Masonry (minimum)	n/a
Prohibited Siding Materials	Vinyl and Aluminum
Roof Pitch (minimum)	6:12 Secondary roof elements shall be 4.5:12 minimum
Roof Overhang (minimum inches measured from framing)	12"
Number of Windows – Primary Façade (minimum)	No less than 3 windows per dwelling unit. Amount of Windows are shown on the Dwelling Character Exhibits. Note there can be 3 to 6 units per building
Number of Windows – Secondary Façade (minimum)	No less than 2 windows per side of each building.
NO Monotony Code	All buildings may have similar architecture and can be same exterior colors

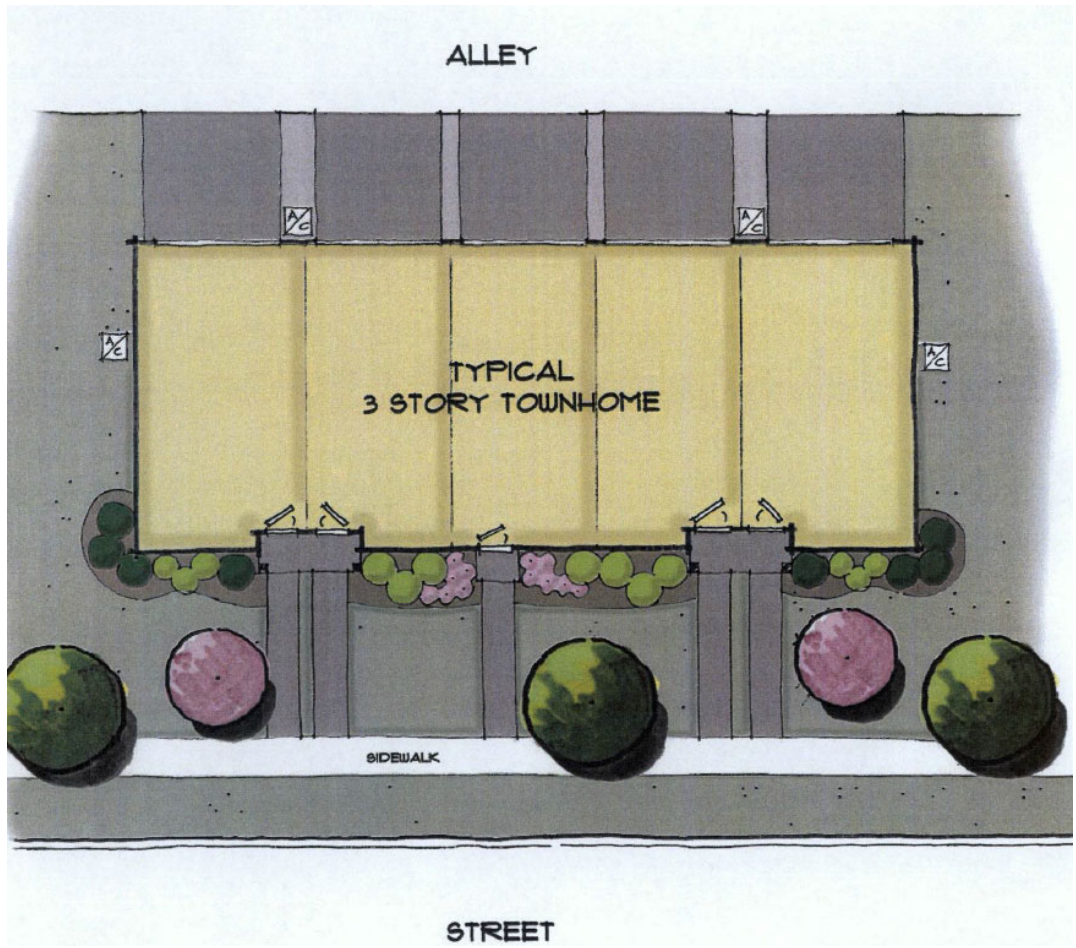
**EXHIBIT D**

**DWELLING CHARACTER EXHIBITS**



**EXHIBIT E**

**LOT LANDSCAPING**



**EXHIBIT F**

**COMMON AREA ENHANCEMENTS**

(See following \_\_ pages)

**EXHIBIT G**

**DOG PARK**

(See following page)

**EXHIBIT H**

**Entrance Signage Exhibit**

(See following page)