



Common Council

Agenda Item

Cover Sheet

MEETING DATE: May 14, 2024

- Previously Discussed Ordinance
- Proposed Development Presentation
- New Ordinance for Discussion
- Miscellaneous
- Transfer

ITEM or ORDINANCE: #1

PRESENTED BY: Attorney Matt Skelton

- Information Attached
- Bring Paperwork from Previous Meeting
- Verbal
- No Paperwork at Time of Packets

71 acres were previously presented and known as Star Brick Village. Now it is 110 acres and includes the property to the east (35 acres) to be known as the Marketplace on 146th.

ORDINANCE NO. ##-##-24

AN ORDINANCE CONCERNING AN AMENDMENT TO THE UNIFIED DEVELOPMENT ORDINANCE NO. 62-12-95 AND ALL AMENDMENTS THERETO, A PART OF THE COMPREHENSIVE PLAN FOR THE CITY OF NOBLESVILLE, HAMILTON COUNTY, INDIANA, AND THE ADOPTION OF A PRELIMINARY DEVELOPMENT PLAN

Document Cross-Reference No: 2003105715, 2023023805 & 2014030922

This Ordinance (“The Marketplace on 146th PD Ordinance”) amends the Unified Development Ordinance of the City of Noblesville, Hamilton County, Indiana No. 62-12-95 (the “UDO”) enacted by the City of Noblesville (the “City”) under authority of Chapter 174 of the Acts of the Indiana General Assembly 1947, as amended.

WHEREAS, the Advisory Plan Commission of the City of Noblesville (the “Plan Commission”) has conducted a public hearing on Application No. LEGP-####-2024 at its March 18, 2024 meeting as required by law in regard to the application (the “Petition”) filed by LOR Corporation concerning a change of zoning of property described in Exhibit A-1 attached hereto (the “Residential Real Estate”), Exhibit A-2 attached hereto (the “Commercial Real Estate”), and Exhibit A-3 (the “Combined Real Estate”), containing 106.63 acres and the adoption of a preliminary development plan depicted in **Exhibit B** attached hereto, to be known, collectively, as “The Marketplace on 146th”, as further described in Section 3 below (the “Plan”); and,

WHEREAS, the Advisory Plan Commission has sent a favorable recommendation for adoption of said amendment with a vote of _____ ## _____ AYES and _____ ## _____ NAYS to the Common Council;

NOW THEREFORE, BE IT ORDAINED by the Common Council of the City of Noblesville, Hamilton County, Indiana, meeting in regular session, that the Unified Development Ordinance, is hereby amended as follows:

Section 1. Applicability of Ordinance

- A. Development in this District shall be governed entirely by (i) the provisions of The Marketplace on 146th PD Ordinance and its exhibits, and (ii) those provisions of the UDO in effect as of the date of adoption of this Ordinance, and applicable to the Mixed Residential Subdistrict and Commercial Subdistrict, except as modified, revised, supplemented or expressly made inapplicable by the Ordinance.
- B. All provisions and representations of the UDO that conflict with the provisions of The Marketplace on 146th PD Ordinance and its exhibits are hereby rescinded as applied to the Real Estate and shall be superseded by the terms of The Marketplace on 146th PD Ordinance.

Section 2. Permitted Uses. In addition to the uses permitted under Appendix D of the UDO as applied to the underlying zoning districts (i) the following uses identified as Special Consideration Uses shall be permitted on the Commercial Real Estate: Automobile Fuel Station, Automobile Service, Automobile Rental, and Car Wash; and (ii) Indoor and Outdoor Recreation shall be a permitted use on the Commercial Real Estate.

Section 3. Preliminary Development Plan.

- A. What is attached hereto as **Exhibit B** shall be referred to as the “Preliminary Development Plan”. Full sized, scale development plans are on file with the City’s Planning and Development Department with the attached **Exhibit B** being a general representation of the complete set.

B. The Preliminary Development Plan is hereby incorporated herein and approved. Pursuant to Article 8 of the UDO, the Preliminary Development Plan is intended to establish the basic goals and policies, bulk standards, variations/waivers from the underlying zoning district(s) and layout of the District.

Section 4. Single-Family Residential Bulk Standards. The bulk requirements of UDO Article 8.E.4.B.2.a. shall apply except as noted below:

Product Type	50 foot lots
Overall Maximum Density	3.5 units/acre
Minimum Lot Width	50'
Maximum Number of Lots	99
Minimum Lot Area	6,500 s.f.
Maximum Building Height	35'
Minimum Front Setback	25'
Minimum Side Setback	5'
Minimum Rear Setback	20'
Minimum Floor Area per unit One-Story	1,500 s.f.
Minimum Floor Area per unit Two-Story	1,600 s.f.
Perimeter Site Buffering - Internal	20 feet

Section 5. Townhome Residential Bulk Standards. The bulk requirements of UDO Article 8.E.4.B.2.a. shall apply except as noted below:

Product Type	Townhomes
Minimum Lot Area	1,000 s.f.
Minimum Lot Width At Building Line	16'
Minimum Lot Width At Right-of-Way	14'
Minimum Front Setback	5'
Minimum Side Setback	5'
Minimum Rear Setback	5'
Maximum Building Height	Greater of 35' or 3 stories
Minimum Floor Area (exclusive of porches, terraces and garages)	1,100 s.f.
Maximum number of dwellings per building	4

Section 6. Commercial Waivers. The bulk requirements of UDO Article 8.E.4. shall apply except as noted below:

- A. Minimum Building Height (Table 8.E.4): None.
- B. Front Setback (Table 8.E.4): A minimum of 0 feet to accommodate walkways, patis drive aisles and parking surfaces.
- C. Side and Rea Setback (Table 8.E.4): None in order to accommodate shared parking fields and drive aisle connectivity among users.
- D. Minimum Building Size (Table 8.E.4): None
- E. Architecture (Article 8.E.5.C.2.d): Pitched roof shall not be required on the Commercial Real Estate.

- F. Architecture (Article 8.E.C.2.d): Architectural CMY material (e.g. textured, painted) shall be permitted.
- G. Front Setbacks, Parking (Article 8.E.6.A.1): Not applicable.
- H. Side and Rear Setbacks, Parking (Article 8.E.6.A.3): None in order to accommodate shared parking fields and drive aisle among uses.
- I. Parking Space Distance (Article 8.E.6.A.8): Not Applicable.
- J. Wall Signs (Article 8.E.7.A.6): Shall not be applicable to Commercial Real Estate.
- K. Directional Signs (Article 8.E.7.A.8): Maximum Height of 4’.
- L. Signs – General Requirements (Article 8.E.7.A.9): Designation Sign panels shall be of consistent background color on each Designation Sign. There shall be no limitation on text and logo colors.
- M. Signs (Article 8.E.7.C.1.b.): This Article is amended to permit the following:
 - (i) The number designation signs permitted along 146th Street shall be _____.
 - (ii) Sign panels shall be permitted in lieu of individual letters;
 - (iii) More than four (4) items of information shall be permitted; and
 - (iv) Sign panels shall be permitted to identify individual users.
- N. Designation Signs, Height Requirements (Article 8.E.7.C.1.d):

- O. Designation Signs, Size Requirements (Article 8.E.7.C.1.e):

- P. Wall Signs (Article 8.E.7.C.3.a) The Anchor Building shall be permitted wall signage in substantial compliance with the signs depicted in **Exhibit C**. On all other buildings on the Commercial Real Estate, the following wall signage shall be permitted: one (1) wall sign per business on each building façade: (i)

facing an adjacent right-of-way or access road; or (ii) possessing a primary pedestrian entrance.

- Q. Landscaping (Article 8.E.8.A.2): Not Applicable.
- R. Building Foundation Landscaping (Article 8.E.8.B.3): Not applicable for Anchor Commercial Building and fueling center.
- S. Perimeter Site Buffering – Internal (Article 8.E.8.B.6): A minimum of 20’ between residential uses and commercial uses within the Combined Real Estate. A minimum of 20’ along primary arterials to accommodate walkways, patios, drive aisles and parking surfaces.
- T. Peripheral Yard (Article 8.H.3.F.2): 20’.
- U. Outdoor Display Screening (Article 12.8.B.3): Not applicable to the Anchor Building, outdoor sales display areas identified on **Exhibit B** on the sales kiosks associated with the fueling center.

Section 7. Architectural Standards. Architectural standards for the District are described in **Exhibit C-1** (“Single-Family Architecture”) Add Standards, **Exhibit C-2** (“Commercial Anchor Architecture”), and **Exhibit C-3** (Outlot Architecture”) attached hereto.

Section 8. Detailed Development Plan. Approval of a Detailed Development Plan (“DPP”) shall follow the procedures set out in Article 8 of the UDO, subject to the following clarification: (i) the Director of Planning shall approve Minor Changes; and (ii) if a DPP includes a Major Change from the approved Preliminary Development Plan, then, prior to approval of the DPP, an amended Preliminary Development Plan shall be approved in accordance with Article 8, Part E, Section 4 of the UDO. A Secondary Plat shall be submitted for review and approval as part of any approved DPP, in accordance with Article 5, Part B, Section 3 of the UDO.

Section 9. Effective Date. The Marketplace on 146th PD Ordinance shall be in full force and effect from and upon its adoption and publication in accordance with the law.

Approved on this _____ day of _____, 2024 by the Common Council of the City of Noblesville, Indiana:

AYE		NAY	ABSTAIN
	Mark Boice		
	Michael J. Davis		
	Evan Elliott		
	Dave Johnson		
	Darren Peterson		
	Pete Schwartz		
	Aaron Smith		
	Todd Thurston		
	Megan G. Wiles		

ATTEST: _____
 Evelyn L. Lees, City Clerk

Presented by me to the Mayor of the City of Noblesville, Indiana, this _____ day of _____, 2024 at _____ .M.

 Evelyn L. Lees, City Clerk

MAYOR'S APPROVAL

Chris Jensen, Mayor

Date

MAYOR'S VETO

Chris Jensen, Mayor

Date

ATTEST: _____
Evelyn L. Lees, City Clerk

I affirm, under the penalties of perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law.

Matthew S. Skelton
Printed Name of Declarant

Prepared by Matthew S. Skelton, Church Church Hittle & Antrim, 2 North 9th Street, Noblesville, IN 46060
317.773.2190

EXHIBIT A-1
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Legal Description – Residential Real Estate

THAT PORTION OF THE FOLLOWING DESCRIBED REAL ESTATE IN TRACT 1 AND TRACT 2 THAT FALLS WITHIN SECTION 17 TOWNSHIP 18 NORTH RANGE 5 EAST LOCATED IN NOBLESVILLE TOWNSHIP, HAMILTON COUNTY, INDIANA:

TRACT 1

A PART OF THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 16 TOWNSHIP 18 NORTH RANGE 5 EAST AND A PART OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 17 TOWNSHIP 18 NORTH RANGE 5 EAST LOCATED IN NOBLESVILLE TOWNSHIP, HAMILTON COUNTY, INDIANA, BEING DESCRIBED AS FOLLOWS:

COMMENCING AT THE 5/8" IRON ROD AT THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF SECTION 16 TOWNSHIP 18 NORTH RANGE 5 EAST; THENCE SOUTH 00 DEGREES 19 MINUTES 33 SECONDS EAST 166.57 FEET ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE SOUTH 00 DEGREES 19 MINUTES 33 SECONDS EAST 304.12 FEET TO A 5/8" IRON ROD WITH YELLOW CAP STAMPED MILLER SURVEYING; THENCE NORTH 89 DEGREES 37 MINUTES 32 SECONDS EAST 669.02 FEET TO A 5/8" IRON ROD WITH YELLOW CAP STAMPED MILLER SURVEYING; THENCE NORTH 00 DEGREES 19 MINUTES 33 SECONDS WEST 470.69 FEET TO A 5/8" IRON ROD WITH YELLOW CAP STAMPED MILLER SURVEYING ON THE NORTH LINE OF SAID SOUTHWEST QUARTER; THENCE NORTH 89 DEGREES 37 MINUTES 32 SECONDS EAST 659.22 FEET TO A MAG NAIL AT THE NORTHEAST QUARTER OF THE WEST HALF OF SAID SOUTHWEST QUARTER; THENCE SOUTH 00 DEGREES 15 MINUTES 42 SECONDS EAST 1221.90 FEET ALONG THE EAST LINE OF SAID WEST HALF TO A MAG NAIL; THENCE SOUTH 89 DEGREES 54 MINUTES 55 SECONDS WEST 412.00 FEET TO A 5/8" IRON ROD WITH YELLOW CAP STAMPED MILLER SURVEYING; THENCE SOUTH 00 DEGREES 15 MINUTES 42 SECONDS EAST 188.25 FEET TO A 5/8" IRON ROD WITH YELLOW CAP STAMPED MILLER SURVEYING; THENCE SOUTH 89 DEGREES 54 MINUTES 55 SECONDS WEST 2218.80 FEET TO A MAG NAIL ON THE WEST LINE OF THE EAST HALF OF THE SOUTH EAST QUARTER OF SECTION 17 TOWNSHIP 18 NORTH RANGE 5 EAST; THENCE NORTH 00 DEGREES 31 MINUTES 18 SECONDS WEST 1237.01 FEET MORE OR LESS TO A MAG NAIL THAT BEARS SOUTH 89 DEGREES 55 MINUTES 14 SECONDS WEST FROM THE POINT OF BEGINNING; THENCE NORTH 89 DEGREES 55 MINUTES 14 SECONDS EAST 1308.37 FEET TO THE POINT OF BEGINNING. CONTAINING 70.9530 ACRES, MORE OR LESS.

TRACT 2

(DESCRIPTION OF "GAP" IN DESCRIPTIONS)

A PART OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 17 TOWNSHIP 18 NORTH RANGE 5 EAST LOCATED IN NOBLESVILLE TOWNSHIP, HAMILTON COUNTY, INDIANA, BEING DESCRIBED AS FOLLOWS:

COMMENCING AT THE 5/8" IRON ROD AT THE NORTHEAST CORNER OF THE SOUTHEAST QUARTER OF SECTION 17 TOWNSHIP 18 NORTH RANGE 5 EAST; THENCE SOUTH 00 DEGREES 19 MINUTES 33 SECONDS EAST (ASSUMED BEARING) 165.00 FEET ALONG THE EAST LINE OF SAID SOUTHEAST QUARTER TO A 5/8" IRON ROD WITH YELLOW CAP STAMPED MILLER SURVEYING AT THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE SOUTH 00 DEGREES 19 MINUTES 33 SECONDS EAST 1.57 FEET ALONG THE EAST LINE OF SAID SOUTHEAST QUARTER; THENCE SOUTH 89 DEGREES 55 MINUTES 14 SECONDS WEST 1308.37 FEET PARALLEL WITH THE NORTH LINE OF SAID SOUTHEAST QUARTER TO THE WEST LINE OF THE EAST OF SAID SOUTHEAST QUARTER; THENCE NORTH 00 DEGREES 31 MINUTES 18 SECONDS WEST 1.57 FEET ALONG THE WEST LINE OF SAID EAST HALF TO A MAG NAIL; THENCE NORTH 89 DEGREES 55

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MINUTES 14 SECONDS EAST 1308.38 FEET TO THE POINT OF BEGINNING, CONTAINING 0.047 OF AN ACRE MORE OR LESS.

TRACT 3

PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 16, TOWNSHIP 18 NORTH, RANGE 5 EAST OF THE 2ND PRINCIPAL MERIDIAN, HAMILTON COUNTY, INDIANA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A 1 INCH IRON PIPE MARKING THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 16, TOWNSHIP 18 NORTH, RANGE 5 EAST; THENCE ON THE WEST LINE OF SAID QUARTER-QUARTER, NORTH 00°19'33" WEST (ASSUMED BEARING), A DISTANCE OF 43.69 FEET TO A POINT ON THE PROPOSED NORTHERLY RIGHT-OF-WAY LINE OF 146TH STREET AS SHOWN ON INDIANA DEPARTMENT OF TRANSPORTATION PROJECT STP-0020(040), SHEET #29; THENCE CONTINUING ON THE WEST LINE OF SAID QUARTER-QUARTER, NORTH 00°19'33" WEST 1198.92 FEET TO A POINT IN THE SOUTH LINE OF LAND DESCRIBED IN A DEED TO NOBLESVILLE SCHOOLS, RECORDED AS INSTRUMENT NUMBER 2003-105715 IN THE OFFICE OF THE RECORDER OF HAMILTON COUNTY, INDIANA, SAID POINT BEING THE POINT OF BEGINNING OF THE HEREIN DESCRIBED REAL ESTATE; THENCE ON SAID SOUTH LINE, NORTH 89°54'55" EAST 914.70 FEET TO A POINT IN THE WEST LINE OF LAND DESCRIBED IN A DEED TO MEREDITH JOE REYNOLDS, TRUSTEE OF THE MEREDITH JOE REYNOLDS REVOCABLE TRUST, RECORDED AS INSTRUMENT NUMBER 9551749 IN SAID RECORDER'S OFFICE; THENCE ON SAID WEST LINE, SOUTH 00°15'46" EAST APPROXIMATELY 200.00 FEET; THENCE WEST TO THE WEST LINE OF SAID QUARTER-QUARTER; THENCE NORTH TO THE POINT OF BEGINNING; CONTAINING 11.5 ACRES, MORE OR LESS.

EXHIBIT A-2
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Legal Description – Commercial Real Estate

A PART OF THE SOUTHEAST QUARTER OF SECTION 17, TOWNSHIP 18 NORTH, RANGE 5 EAST LOCATED IN NOBLESVILLE TOWNSHIP, HAMILTON COUNTY, INDIANA DESCRIBED AS FOLLOWS:

COMMENCING AT A MAG NAIL AT THE SOUTHEAST CORNER OF THE SOUTHEAST QUARTER OF SECTION 17, TOWNSHIP 18 NORTH, RANGE 5 EAST; THENCE NORTH 00 DEGREES 19 MINUTES 33 SECONDS WEST 43.77 FEET ALONG THE EAST LINE OF SAID SOUTHEAST QUARTER TO A 5/8" IRON ROD WITH YELLOW CAP STAMPED MILLER SURVEYING AT THE POINT OF INTERSECTION OF SAID EAST LINE AND THE NORTHERLY RIGHT OF WAY LINE OF 146TH STREET AS ESTABLISHED BY INSTRUMENT #200600019573, SAID 5/8" IRON ROD WITH YELLOW CAP STAMPED MILLER SURVEYING ALSO BEING THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE NORTH 00 DEGREES 19 MINUTES 33 SECONDS WEST 1198.88 FEET, MORE OR LESS. ALONG THE EAST LINE OF SAID SOUTHEAST QUARTER TO A 5/8" IRON ROD WITH CAP AT THE POINT OF INTERSECTION OF SAID EAST LINE AND THE SOUTH LINE OF A 70.9530 ACRE TRACT OF REAL ESTATE DESCRIBED IN INSTRUMENT #200300105715; THENCE SOUTH 89 DEGREES 54 MINUTES 55 SECONDS WEST 1244.14 FEET TO A 5/8" STEEL REBAR WITH A YELLOW CAP STAMPED "MILLER SURVEYING" ON THE EAST RIGHT OF WAY LINE OF HOWE ROAD PER INSTRUMENT No. 20100013614; THENCE ON SAID EAST RIGHT OF WAY LINE SOUTH 00 DEGREES 31 MINUTES 18 SECONDS EAST 539.42 FEET; THENCE SOUTH 89 DEGREES 23 MINUTES 25 SECONDS EAST 2.08 FEET TO A CONCRETE RIGHT OF WAY MARKER ON THE EAST RIGHT OF WAY LINE OF HOWE ROAD AS ESTABLISHED BY INSTRUMENT #200600019573 (SAID CONCRETE RIGHT OF WAY MARKER BEING NORTH 89 DEGREES 29 MINUTES 34 SECONDS EAST 60.00 FEET FROM STATION 26+00.00 ON LINE S- 2-B (THE RECONSTRUCTED CENTERLINE OF HOWE ROAD) AS REFERRED TO IN THE RIGHT OF WAY PARCEL PLAT RECORDED IN SAID INSTRUMENT #200600019573. THENCE SOUTH 00 DEGREES 30 MINUTES 26 SECONDS EAST 152.00 FEET ALONG SAID EAST RIGHT OF WAY LINE AND PARALLEL WITH SAID LINE S-2-B TO THE BEGINNING OF THE LIMITED ACCESS RIGHT OF WAY FOR HOWE ROAD; THENCE SOUTH 00 DEGREES 30 MINUTES 26 SECOND EAST 300.00 FEET ALONG SAID LIMITED ACCESS RIGHT OF WAY LINE TO A 5/8" IRON ROD WITH YELLOW CAP STAMPED MILLER SURVEYING; THENCE SOUTH 47 DEGREES 30 MINUTES 22 SECONDS EAST 80.85 FEET ALONG SAID LIMITED ACCESS RIGHT OF WAY TO A CONCRETE RIGHT OF WAY MARKER ON THE NORTHERLY LIMITED ACCESS RIGHT OF WAY LINE FOR 146TH STREET, SAID CONCRETE RIGHT OF WAY MARKER BEING NORTH 03 DEGREES 28 MINUTES 44 SECONDS EAST 6105.00 FEET FROM THE RADIUS POINT OF A CURVE TO THE RIGHT; THENCE SOUTHEASTERLY 717.62 FEET ALONG SAID NORTHERLY LIMITED ACCESS RIGHT OF WAY FOR 146TH STREET AND ALONG SAID CONCRETE RIGHT OF WAY MARKER BEING SOUTH 10 DEGREES 12 MINUTES 50 SECONDS WEST 5895.00 FEET FROM THE RADIUS POINT OF A CURVE TO THE LEFT; THENCE SOUTHEASTERLY 450.69 FEET ALONG SAID NORTHERLY LIMITED ACCESS RIGHT OF WAY AND ALONG SAID CURVE TO THE LEFT TO A CONCRETE RIGHT OF WAY MARKER AT THE TERMINUS OF SAID LIMITED ACCESS RIGHT OF WAY; THENCE SOUTHEASTERLY 26.38 FEET ALONG SAID NORTHERLY RIGHT OF WAY LINE OF SAID 146TH STREET AND ALONG SAID CURVE TO THE LEFT OF THE POINT OF BEGINNING, CONTAINING 31.75 ACRES, MORE OR LESS.

ALSO:

PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 16, TOWNSHIP 18 NORTH, RANGE 5 EAST OF THE 2ND PRINCIPAL MERIDIAN, HAMILTON COUNTY, INDIANA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

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COMMENCING AT A 1 INCH IRON PIPE MARKING THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 16, TOWNSHIP 18 NORTH, RANGE 5 EAST; THENCE ON THE WEST LINE OF SAID QUARTER-QUARTER, NORTH 00°19'33" WEST (ASSUMED BEARING), A DISTANCE OF 43.69 FEET TO A POINT ON THE PROPOSED NORTHERLY RIGHT-OF-WAY LINE OF 146TH STREET AS SHOWN ON INDIANA DEPARTMENT OF TRANSPORTATION PROJECT STP-0020(040), SHEET #29, SAID POINT BEING THE POINT OF BEGINNING OF THE HEREIN DESCRIBED REAL ESTATE; THENCE CONTINUING ON THE WEST LINE OF SAID QUARTER-QUARTER, NORTH 00°19'33" WEST 1198.92 FEET TO A POINT IN THE SOUTH LINE OF LAND DESCRIBED IN A DEED TO NOBLESVILLE SCHOOLS, RECORDED AS INSTRUMENT NUMBER 2003-105715 IN THE OFFICE OF THE RECORDER OF HAMILTON COUNTY, INDIANA; THENCE ON SAID SOUTH LINE, NORTH 89°54'55" EAST 914.70 FEET TO A POINT IN THE WEST LINE OF LAND DESCRIBED IN A DEED TO MEREDITH JOE REYNOLDS, TRUSTEE OF THE MEREDITH JOE REYNOLDS REVOCABLE TRUST, RECORDED AS INSTRUMENT NUMBER 9551749 IN SAID RECORDER'S OFFICE; THENCE ON SAID WEST LINE, SOUTH 00°15'46" EAST 177.30 FEET TO A 5/8 INCH MILLER CAPPED REBAR; THENCE NORTH 89°54'55" EAST 412.00 FEET TO A POINT IN THE EAST LINE OF SAID QUARTER-QUARTER; THENCE ON SAID EAST LINE, SOUTH 00°15'46" EAST 555.40 FEET TO A POINT ON THE EASTERLY PROLONGATION OF THE PROPOSED RIGHT-OF-WAY LINE FOR PROMISE ROAD (PREVIOUSLY IDENTIFIED AS DUNBAR ROAD) AS SHOWN ON INDIANA DEPARTMENT OF TRANSPORTATION PROJECT STP-0020(040), SHEET #40; THENCE ON SAID LINE AND PROLONGATION THEREOF, SOUTH 89°47'44" WEST 62.00 FEET TO STATION 26+00, 62' LEFT — LN S-3B PER SAID PLANS; THENCE ON SAID RIGHT-OF-WAY LINE, SOUTH 00°15'46" EAST 458.00 FEET TO STATION 21+41, 62' LEFT- LN S-3-B PER SAID PLANS; THENCE ON SAID RIGHT-OF-WAY LINE, SOUTH 35°57'07" WEST 64.14 FEET TO STATION 1114+71.5, 90 FEET LEFT-LN B PER SHEET 30 OF SAID PLANS, ALSO BEING ON THE SOUTH LINE OF SAID QUARTER-QUARTER; THENCE ON THE PROPOSED RIGHT-OF-WAY LINE FOR 146TH STREET AND SAID SOUTH LINE, SOUTH 89°54'55" WEST 643.72 FEET TO STATION 1108+13.95, 90 FEET LEFT - LN PR-B2 PER SHEET 29 OF SAID PLANS; THENCE ON SAID RIGHT-OF-WAY LINE, NORTH 00°05'05" WEST A 15.00 FEET TO STATION 1108+13.95, 105 FEET LEFT- LN PR-B2 PER SAID PLANS; THENCE ON A NON-TANGENT CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 5°39'54" AND A RADIUS OF 5895.00 FEET, AN ARC DISTANCE OF 582.84 FEET (SAID ARC BEING SUBTENDED BY A LONG CHORD WHICH BEARS NORTH 87°15'08" WEST 582.61 FEET) TO THE POINT OF BEGINNING; CONTAINING 35.079 ACRES, MORE OR LESS.

EXCEPT:

PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 16, TOWNSHIP 18 NORTH, RANGE 5 EAST OF THE 2ND PRINCIPAL MERIDIAN, HAMILTON COUNTY, INDIANA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A 1 INCH IRON PIPE MARKING THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 16, TOWNSHIP 18 NORTH, RANGE 5 EAST; THENCE ON THE WEST LINE OF SAID QUARTER-QUARTER, NORTH 00°19'33" WEST (ASSUMED BEARING), A DISTANCE OF 43.69 FEET TO A POINT ON THE PROPOSED NORTHERLY RIGHT-OF-WAY LINE OF 146TH STREET AS SHOWN ON INDIANA DEPARTMENT OF TRANSPORTATION PROJECT STP-0020(040), SHEET #29; THENCE CONTINUING ON THE WEST LINE OF SAID QUARTER-QUARTER, NORTH 00°19'33" WEST 1198.92 FEET TO A POINT IN THE SOUTH LINE OF LAND DESCRIBED IN A DEED TO

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NOBLESVILLE SCHOOLS, RECORDED AS INSTRUMENT NUMBER 2003-105715 IN THE OFFICE OF THE RECORDER OF HAMILTON COUNTY, INDIANA, SAID POINT BEING THE POINT OF BEGINNING OF THE HEREIN DESCRIBED REAL ESTATE; THENCE ON SAID SOUTH LINE, NORTH 89°54'55" EAST 914.70 FEET TO A POINT IN THE WEST LINE OF LAND DESCRIBED IN A DEED TO MEREDITH JOE REYNOLDS, TRUSTEE OF THE MEREDITH JOE REYNOLDS REVOCABLE TRUST, RECORDED AS INSTRUMENT NUMBER 9551749 IN SAID RECORDER'S OFFICE; THENCE ON SAID WEST LINE, SOUTH 00°15'46" EAST APPROXIMATELY 200.00 FEET; THENCE WEST TO THE WEST LINE OF SAID QUARTER-QUARTER; THENCE NORTH TO THE POINT OF BEGINNING; CONTAINING 11.5 ACRES, MORE OR LESS.

PRELIMINARY DEVELOPMENT PLANS

FOR

THE MARKETPLACE ON 146TH

146TH STREET & HOWE ROAD

NOBLESVILLE, INDIANA



THE MARKETPLACE ON 146TH

146th Street & Howe Road
Noblesville, Indiana

APPROVAL PENDING
NOT FOR CONSTRUCTION
IN SUBMITTING BIDS IN RELIANCE ON
THESE PLANS THE CONTRACTOR
ASSUMES ALL RISKS OF ADDITIONAL
COSTS OF REVISIONS DUE TO
REQUIREMENTS OF THE OWNER OR
GOVERNMENTAL AUTHORITIES AND
MATERIAL REVISIONS IN THE COURSE OF
COMPLETING THE FINAL DESIGN.

CERTIFIED BY

ISSUANCE INDEX	
DATE:	5/7/2024
PROJECT PHASE:	PRELIMINARY DOCUMENTS

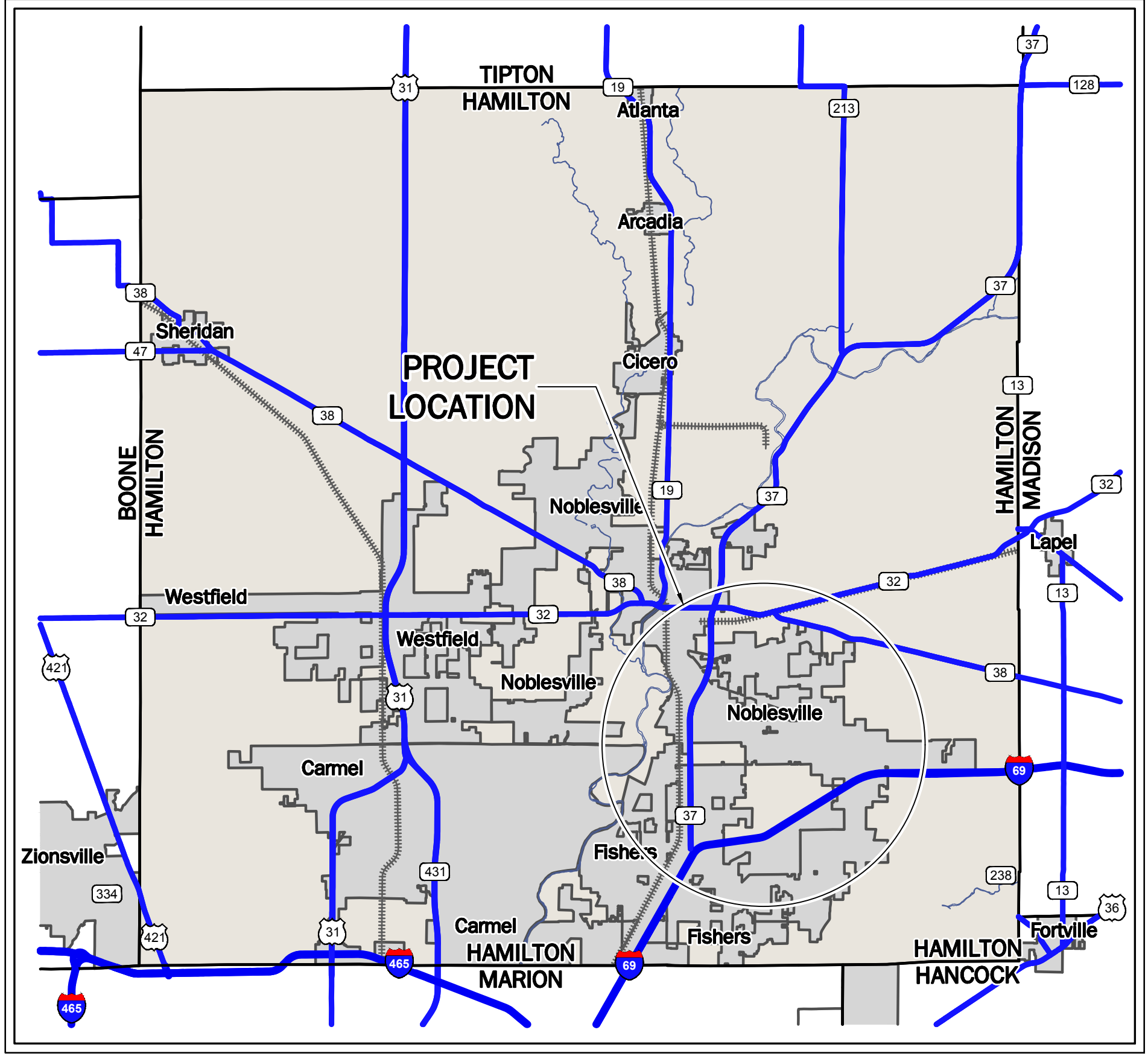
REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

Project Number 2023.00311

TITLE SHEET

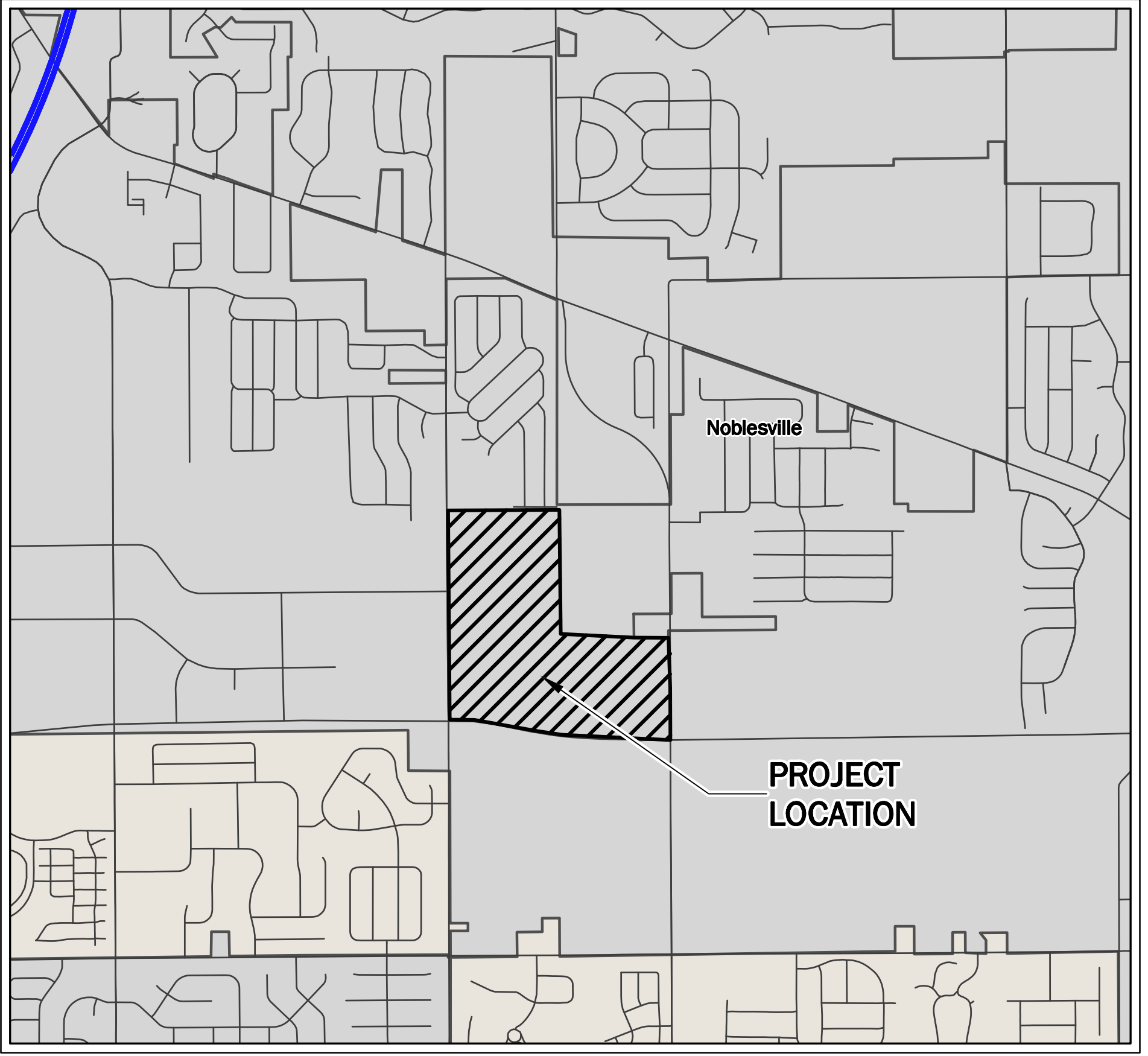
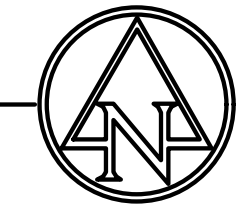
C001

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UTILITY PLAN	C401-C403
EROSION CONTROL PLAN	C501-C503
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LANDSCAPE PLAN	L101-L103



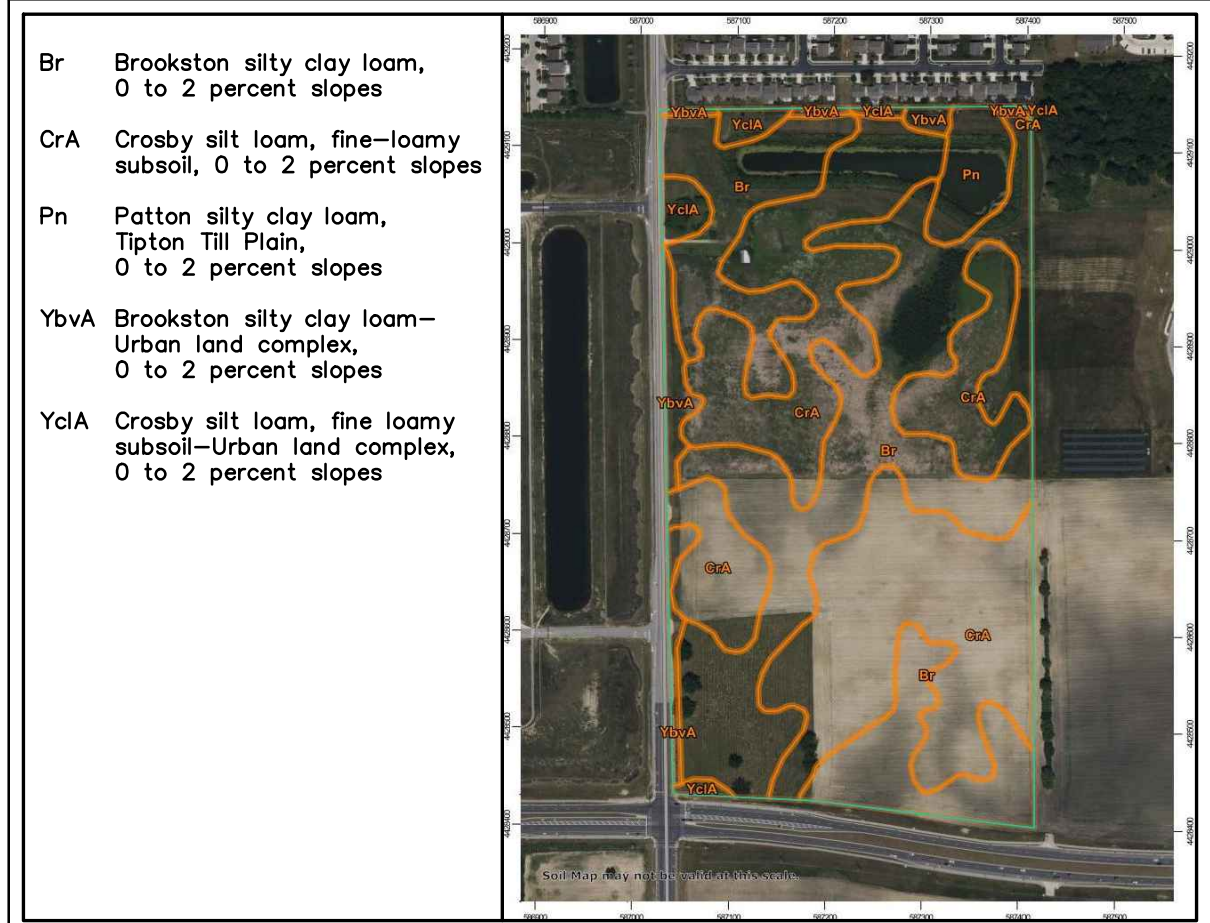
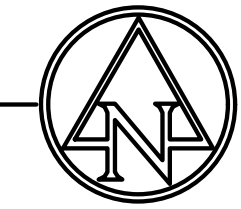
LOCATION MAP

NOT TO SCALE



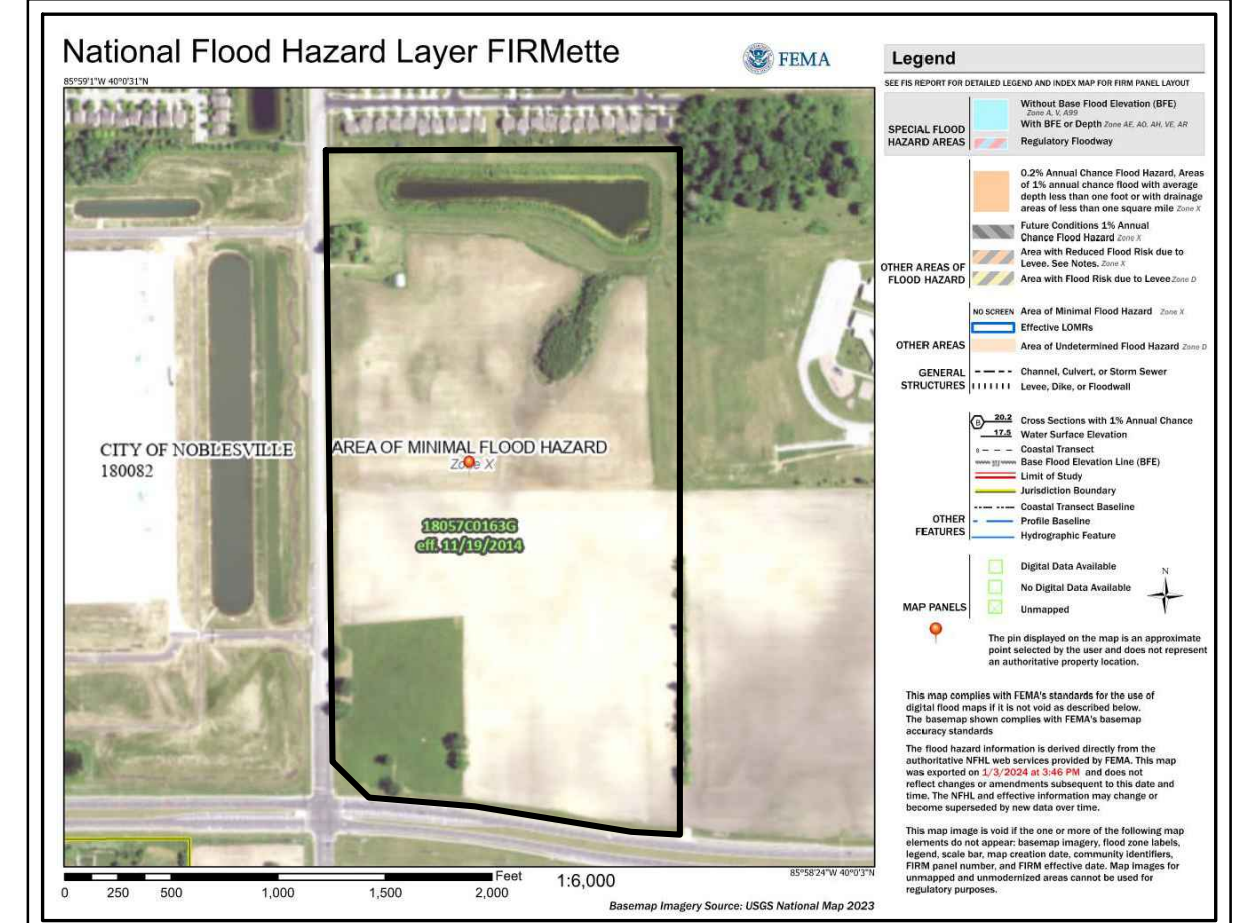
VICINITY MAP

NOT TO SCALE



SOILS MAP

NOT TO SCALE



FEMA MAP

NOT TO SCALE

UTILITY CONTACTS			
UTILITY	COMPANY	CONTACT	PHONE NO.
CITY ENGINEERING	CITY OF NOBLESVILLE	ODISE ADAMS	(317) 776-6330
ELECTRIC	DUKE ENERGY	MATT WALPE	1-800-774-0246
FIBER OPTIC	AT&T	BRIAN PETERS	(317) 252-4267
GAS	CENTERPOINT ENERGY	RANDY CRUTCHFIELD	(317) 776-5560
SANITARY SEWER	CITY OF FISHERS	JEREMY SCHMITT	(317) 595-3111
STORM SEWER	CITY OF NOBLESVILLE	ODISE ADAMS	(317) 776-6330
TELEPHONE	AT&T	BRIAN PETERS	(317) 252-4267
WATER	INDIANA AMERICAN WATER CO.	JOSH COX	(317) 900-4975

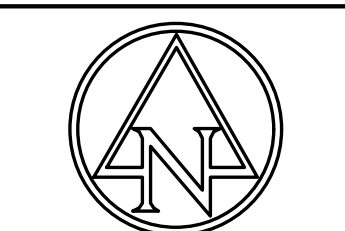
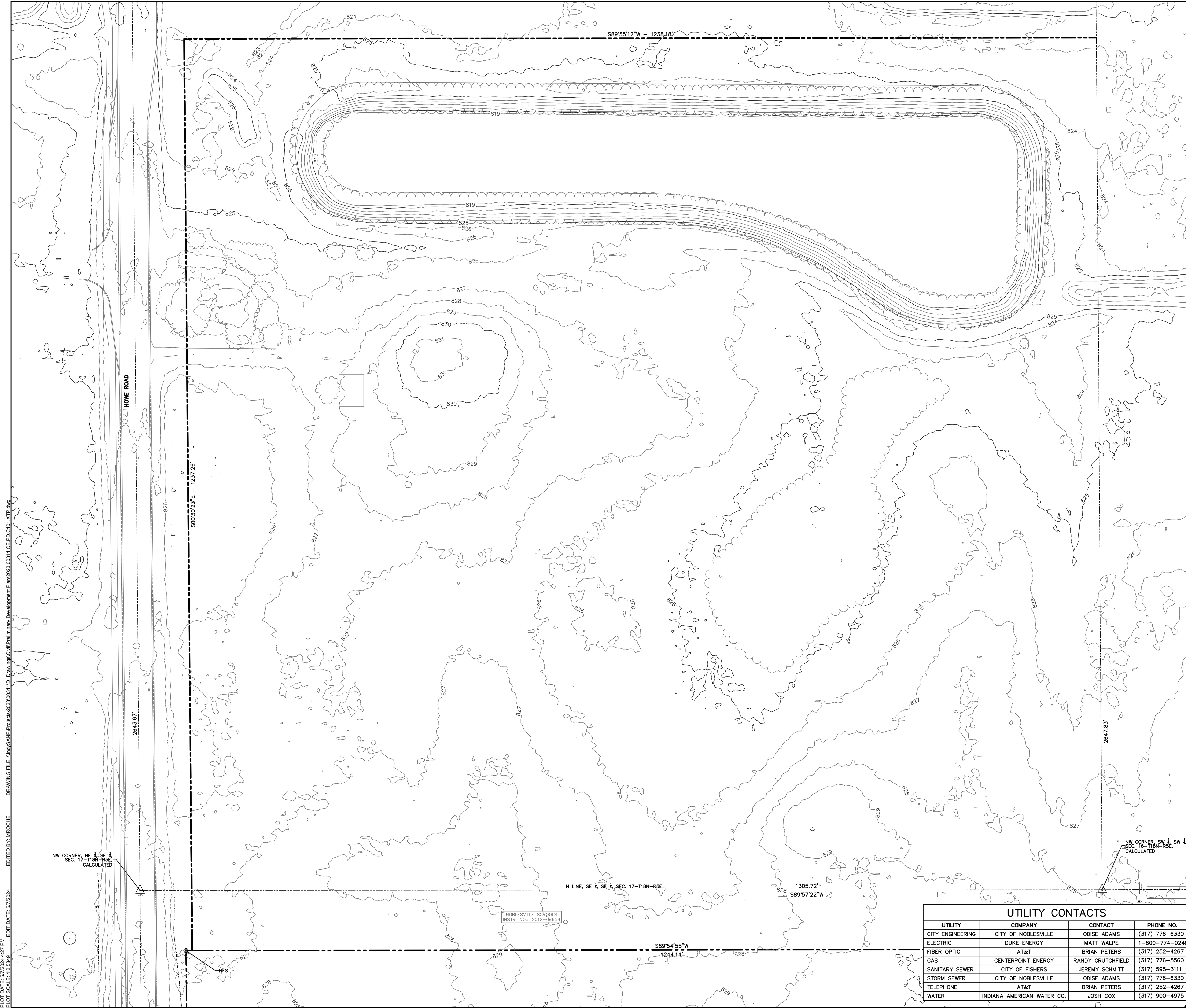
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CALL TOLL FREE
811 OR 1-800-382-5544
- INDIANA UNDERGROUND -

PLOT DATE: 5/7/2024 4:26 PM
 PLOT SCALE: 1"=50'
 EDIT DATE: 5/7/2024
 EDITED BY: MROCHE
 DRAWING FILE: W:\DAS\A\Projects\2023\00311.DWG
 Drawing\Civil\Development\Plan\2023\00311_C001.LCS.DWG



0' 60' 120'
SCALE: 1"=60'

EXISTING LEGEND

- 831 CONTOUR (MAJOR)
- 831 CONTOUR (MINOR)
- CONCRETE BUMPER
- RIGHT OF WAY MARKER
- GUY ANCHOR
- CAT TAILS
- STUMP
- DECIDUOUS TREE
- EVERGREEN TREE
- BUSH
- FENCE
- SIGN
- TRAFFIC SIGNAL POLE
- TRAFFIC SIGNAL M.H.
- DOOR
- FLAG POLE
- UTILITY POLE
- PLAY GROUND EQUIP
- BORE
- MAIL BOX
- SPIQUET
- IRON PIN
- TEST PIT
- BENCHMARK ELEV
- DRILL HOLE
- PROPERTY CORNER
- SURVEY CONTROL POINT
- ROUND METAL LID
- MONITOR WELL LID
- SQUARE METAL LID
- WELL LID
- WATER SHUT OFF LID
- FD - FIBER OPTICS
- GAS
- ELECTRIC
- TELEPHONE
- WATER
- SAN - SANITARY SEWER
- STM - STORM SEWER
- CS - COMBINED SEWER
- UNDERGROUND OVERHEAD
- COMBINATION M.H.
- SANITARY M.H.
- CLEAN OUT
- CURB INLET
- ROUND INLET (24" TYP)
- SQUARE INLET (24" TYP)
- DRAINAGE M.H.
- END SECTION
- GAS/WATER METER
- TELE/CABLE/ELEC PEDESTAL
- IRRIGATION/ELEC BOX
- AIR CONDITIONER
- ELECTRIC TRANSFORMER
- AREA LIGHT / LIGHT BOLLARD
- GAS/WATER VALVE
- PIV/FIRE HYDRANT/FDC
- FO/ELEC/TELE/GAS MARKER
- IPS 5/8" IRON PIN REBAR W/ CAP SET
- (D) / (R) DEED / RECORD
- (M) MEASURED

BENCHMARK DATA

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- 1: 1732500.970,240167.088,829.295,cont pt
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- 3: 1731084.746,241507.164,826.280,cont pt
- 4: 1731075.518,242871.941,829.642,cont pt
- 5: 1732335.749,242840.240,832.573,cont pt
- 6: 1732494.669,241498.849,829.186,cont pt d/ds capped rebar

NOTES

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- SP - STATE PLANE BEARING
- P - PLATTED
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- NSF - NOTHING SET OR FOUND
- MNS - MAG NAIL SET FLUSH
- MNF - MAG NAIL FOUND
- IPS - 5 / 8" DIAMETER WITH PLASTIC CAP STAMPED "DLDS 0064" SET
- IPF - IRON PIN FOUND
- R/W MONUMENT FOUND - 0.4' SQUARE CONCRETE MONUMENT FOUND 0.3' BELOW SURFACE.
- (*) - CALLS NOT ADJUSTED OR ROTATED TO MATCH PARENT SURVEYED TRACT, SHOWN PER DEED.

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THE MARKETPLACE ON 146TH

146th Street & Howe Road
Noblesville, Indiana

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NOT FOR CONSTRUCTION**
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CERTIFIED BY

ISSUANCE INDEX	
DATE:	5/7/2024
PROJECT PHASE:	PRELIMINARY DOCUMENTS

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

Project Number 2023.00311

EXISTING TOPOGRAPHY PLAN

C101

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 EDITOR: J. MROCH
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NW CORNER, NE 1/4, SE 1/4, SEC. 17-T18N-R5E, CALCULATED

NOBLESVILLE SCHOOLS
INSTR. NO.: 2012-01659

NW CORNER, SW 1/4, SW 1/4, SEC. 16-T18N-R5E, CALCULATED

N LINE, SE 1/4, SEC. 17-T18N-R5E

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1244.14'

1305.72'
S89°57'22"W

S89°55'12"W - 1238.18'

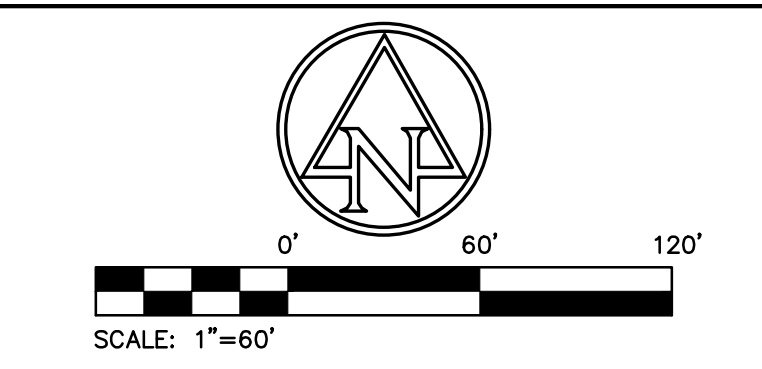
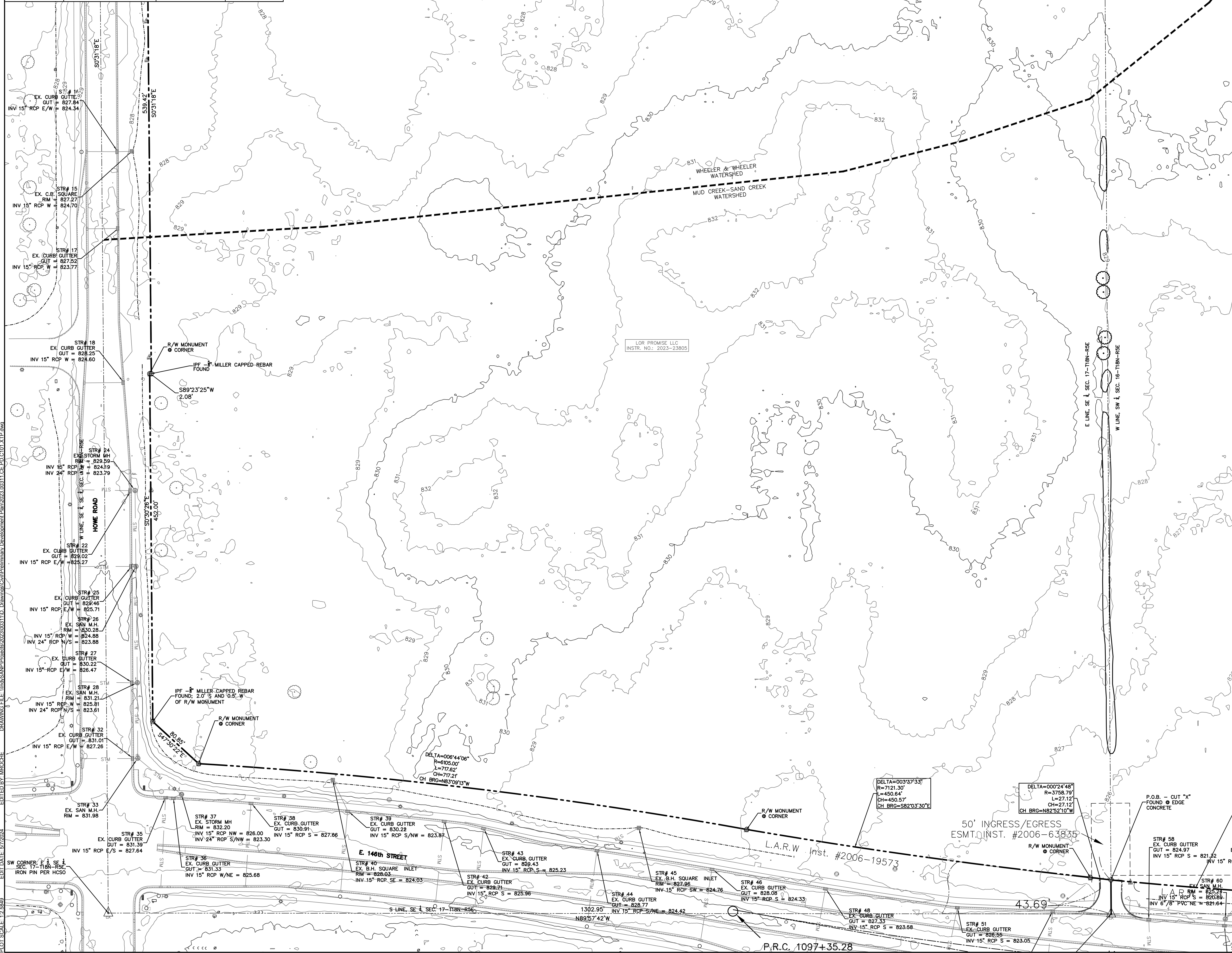
S00°30'23"E - 1237.26'

HOWE ROAD

2643.67'

2647.83'

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EXISTING LEGEND	
831	CONTOUR (MAJOR)
832	CONTOUR (MINOR)
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---	RIGHT OF WAY MARKER
⊙	GUY ANCHOR
⊙	CAT TAILS
⊙	STUMP
⊙	DECIDUOUS TREE
⊙	EVERGREEN TREE
⊙	BUSH
⊙	FENCE
⊙	SIGN
⊙	TRAFFIC SIGNAL POLE
⊙	TRAFFIC SIGNAL M.H.
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⊙	FLAG POLE
⊙	UTILITY POLE
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⊙	IRON PIN
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⊙	DRILL HOLE
⊙	PROPERTY CORNER
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⊙	WELL LID
⊙	WATER SHUT OFF LID
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---	STORM SEWER
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---	SANITARY M.H.
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---	CURB INLET
---	ROUND INLET (24" TYP)
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---	DRAINAGE M.H.
---	END SECTION
---	GAS/WATER METER
---	TELE/CABLE/ELEC PEDESTAL
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---	5/8" IRON PIN REBAR W/ CAP SET
(D)	DEED / RECORD
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"811" OR 1-800-382-5544
- INDIANA UNDERGROUND -

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LORCORP.COM

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DEVELOPMENT - BROKERAGE - CONSULTING

David Weekley Homes

Kroger

AMERICAN STRUCTUREPOINT INC.
9025 River Road, Suite 200 | Indianapolis, Indiana 46240
TEL: 317.547.5580 | FAX: 317.543.0270
www.structurepoint.com

THE MARKETPLACE ON 146TH

146th Street & Howe Road
Noblesville, Indiana

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NOT FOR CONSTRUCTION**

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CERTIFIED BY

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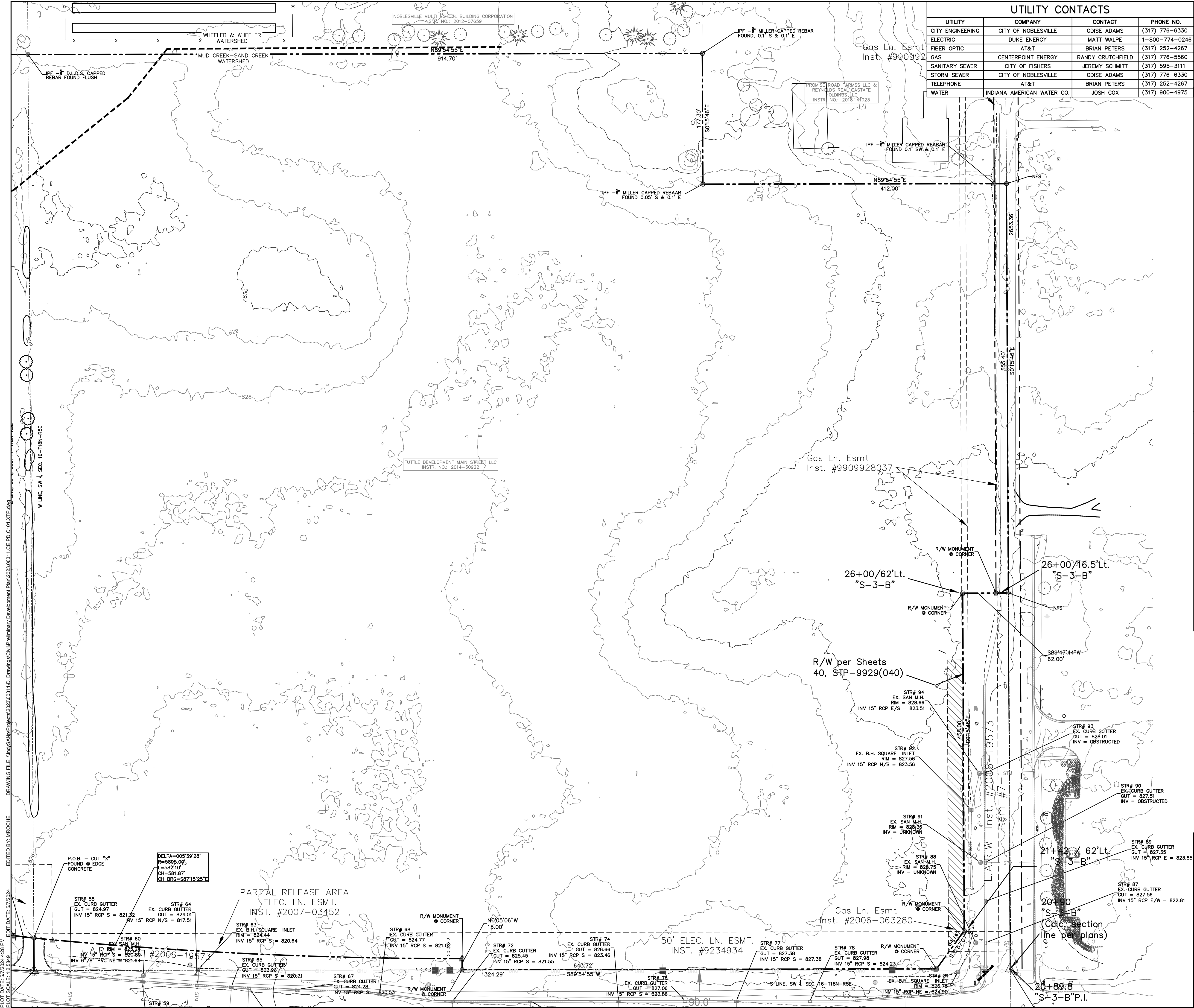
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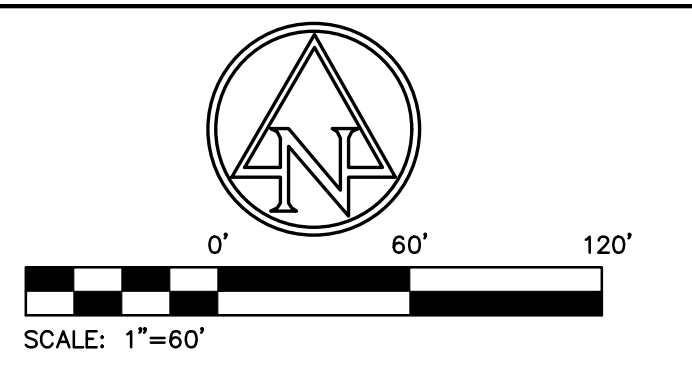
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UTILITY CONTACTS

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EXISTING LEGEND

831 - CONTOUR (MAJOR)	FD - FIBER OPTICS
832 - CONTOUR (MINOR)	G - GAS
CONCRETE BUMPER	E - ELECTRIC
RIGHT OF WAY MARKER	T - TELEPHONE
GUY ANCHOR	W - WATER
CAT TAILS	SAN - SANITARY SEWER
STUMP	STM - STORM SEWER
DECIDUOUS TREE	CS - COMBINED SEWER
EVERGREEN TREE	UG - UNDERGROUND
BUSH	OVERHEAD
FENCE	COMBINATION M.H.
SIGN	SANITARY M.H.
TRAFFIC SIGNAL POLE	CLEAN OUT
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DRILL HOLE	GAS/WATER VALVE
PROPERTY CORNER	PVI/PV/FIRE HYDRANT/FDC
SURVEY CONTROL POINT	DRAIN/DOWN SPOUT
ROUND METAL LID	FO/ELEC/TELE/GAS MARKER
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SQUARE METAL LID	(D) / (R) DEED / RECORD
WELL LID	(M) MEASURED
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dlds capped rebar

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EXISTING TOPOGRAPHY PLAN

C103

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- INDIANA UNDERGROUND -

PLOT DATE: 5/7/2024 6:37 PM
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 EDITED BY: NEVERHART
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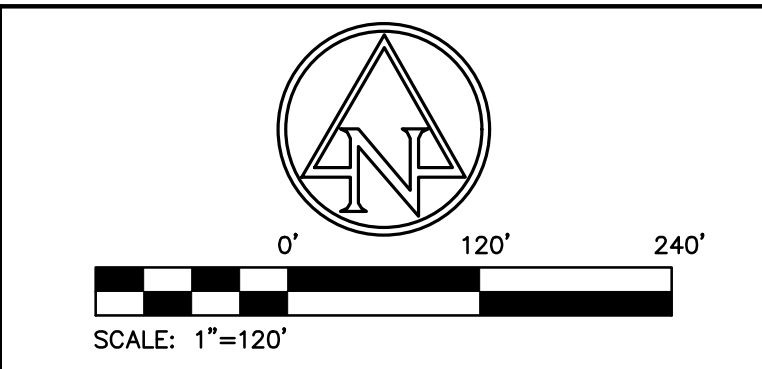
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---	SIGN	SM	SANITARY M.H.
---	TRAFFIC SIGNAL POLE	CO	CLEAN OUT
---	TRAFFIC SIGNAL M.H.	CI	CURB INLET
---	DOOR	RI	ROUND INLET (24" TYP)
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---	PLAY GROUND EQUIP	ES	END SECTION
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---	DRILL HOLE	GW	GAS/WATER VALVE
---	PROPERTY CORNER	PI	PIV/FIRE HYDRANT/PDC
---	SURVEY CONTROL POINT	DD	DRAIN/DOWN SPOUT
---	ROUND METAL LID	FE	FO/ELEC/TELE/GAS MARKER
---	MONITOR WELL LID	IP	5/8" IRON PIN REBAR W/ CAP SET
---	SQUARE METAL LID	(D)	(D) / (R) / DEED / RECORD
---	WELL LID	(M)	MEASURED
---	WATER SHUT OFF LID		

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Kroger

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 9025 River Road, Suite 200 | Indianapolis, Indiana 46240
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THE MARKETPLACE ON 146TH

146th Street & Howe Road
 Noblesville, Indiana

APPROVAL PENDING
 NOT FOR CONSTRUCTION
 IN SUBMITTING BIDS IN RELIANCE ON THESE PLANS THE CONTRACTOR ASSUMES ALL RISKS OF ADDITIONAL COSTS OF REVISIONS DUE TO REQUIREMENTS OF THE OWNER OR GOVERNMENTAL AUTHORITIES AND MATERIAL REVISIONS IN THE COURSE OF COMPLETING THE FINAL DESIGN.

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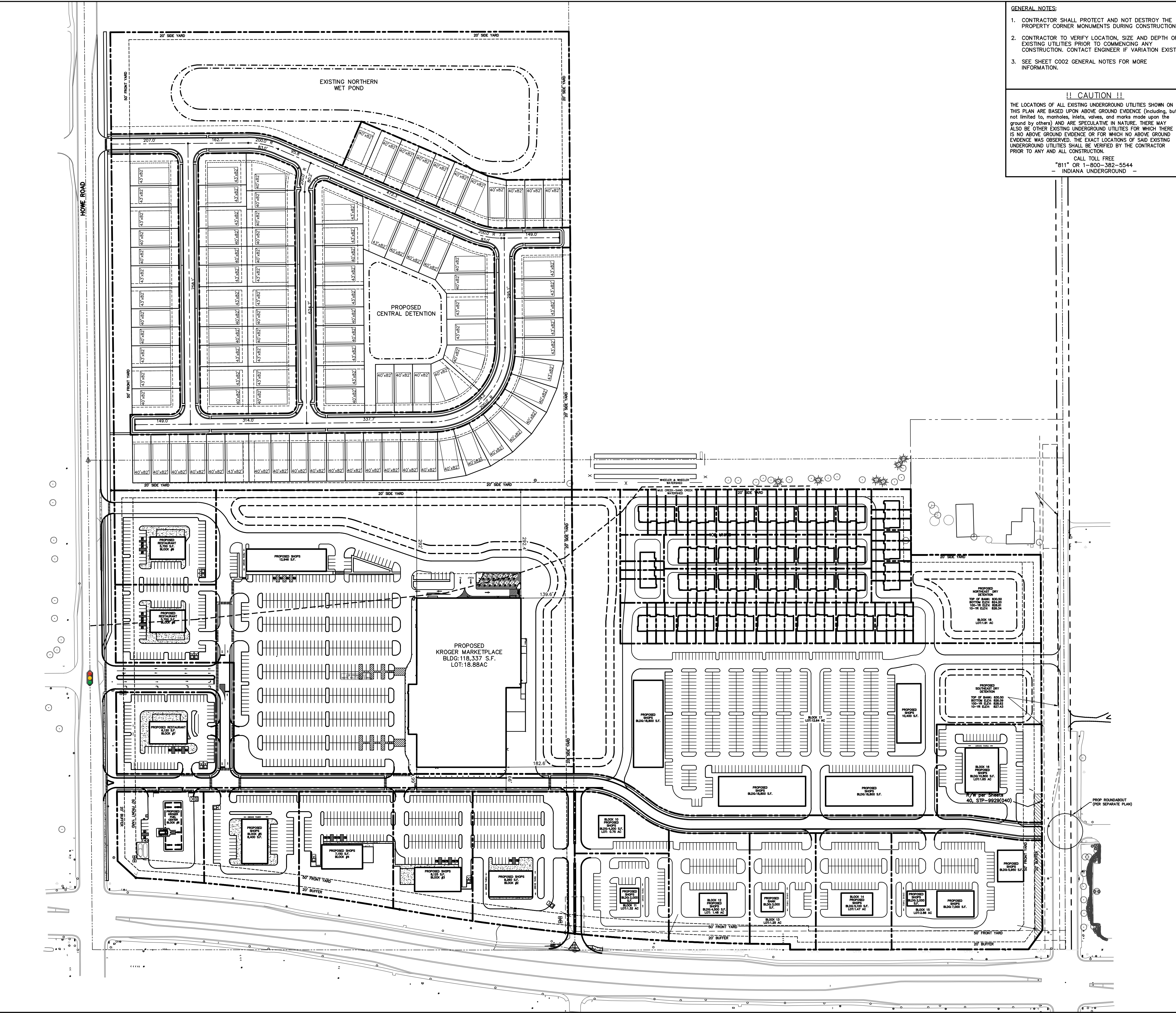
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DATE: 5/7/2024
PROJECT PHASE: PRELIMINARY DOCUMENTS

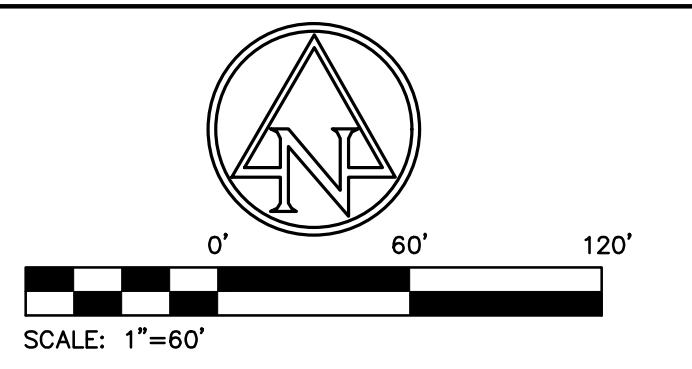
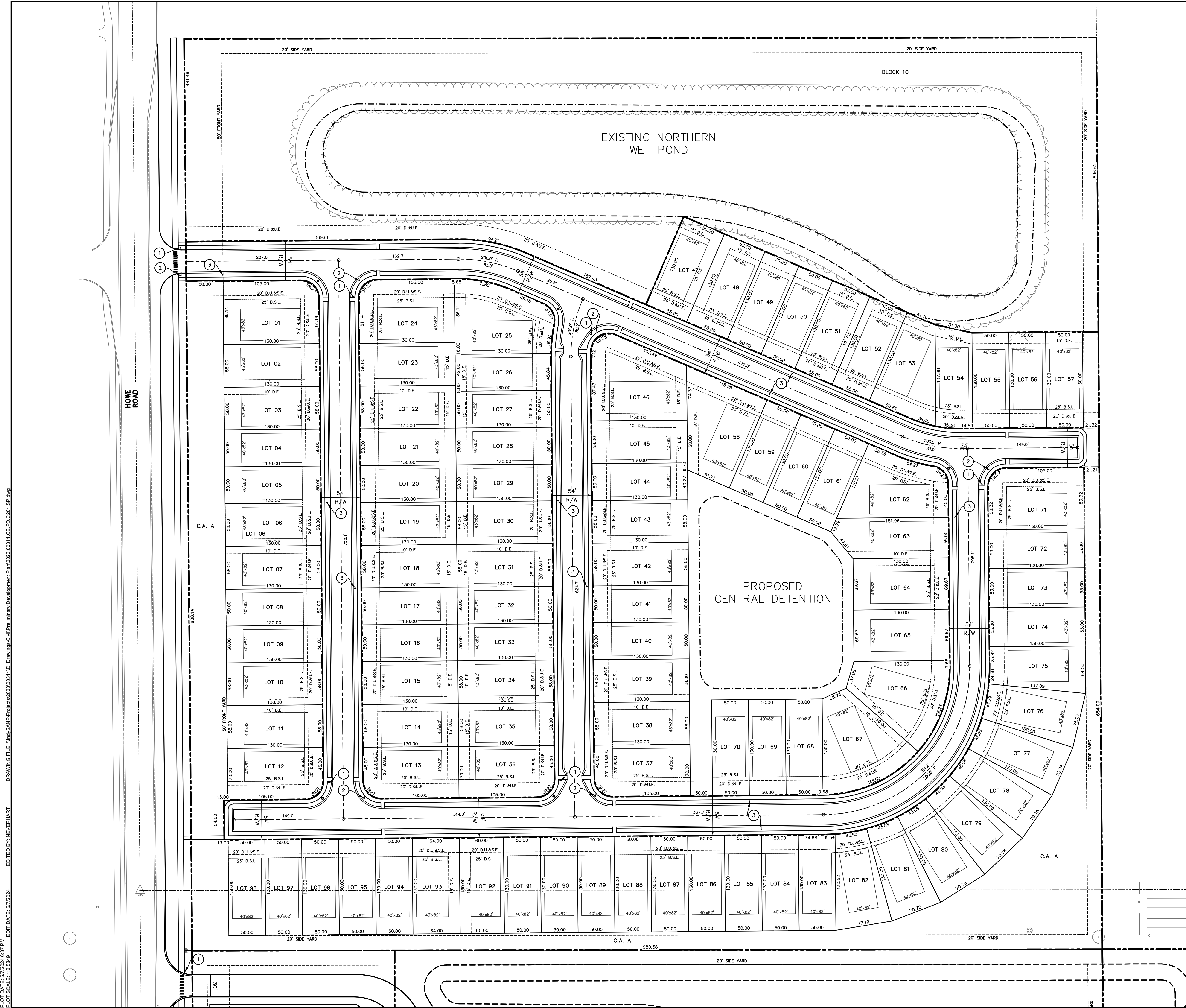
REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

Project Number 2023.00311

OVERALL SITE PLAN

C200





EXISTING LEGEND

- 831 CONTOUR (MAJOR)
- 832 CONTOUR (MINOR)
- CONCRETE BUMPER
- RIGHT OF WAY MARKER
- CAT TAILS
- STUMP
- DECIDUOUS TREE
- EVERGREEN TREE
- BUSH
- FENCE
- SIGN
- TRAFFIC SIGNAL POLE
- TRAFFIC SIGNAL M.H.
- DOOR
- FLAG POLE
- UTILITY POLE
- PLAY GROUND EQUIP
- BORE
- MAIL BOX
- SPIQUET
- IRON PIN
- TEST PIT
- BENCHMARK ELEV
- DRILL HOLE
- PROPERTY CORNER
- SURVEY CONTROL POINT
- ROUND METAL LID
- MONITOR WELL LID
- SQUARE METAL LID
- WELL LID
- WATER SHUT OFF LID
- FIBER OPTICS
- GAS
- ELECTRIC
- TELEPHONE
- WATER
- SANITARY SEWER
- STORM SEWER
- COMBINED SEWER
- UNDERGROUND
- OVERHEAD
- COMBINATION M.H.
- SANITARY M.H.
- CLEAN OUT
- CURB INLET
- ROUND INLET (24" TYP)
- SQUARE INLET (24" TYP)
- DRAINAGE M.H.
- END SECTION
- GAS/WATER METER
- TELE/CABLE/ELEC PEDESTAL
- REGGATION/ELEC BOX
- AIR CONDITIONER
- ELECTRIC TRANSFORMER
- AREA LIGHT / LIGHT BOLLARD
- GAS/WATER VALVE
- PIV/FIRE HYDRANT/FDC
- TO/ELEC/TELE/GAS MARKER
- IPS 5/8" IRON PIN REBAR W/ CAP SET
- (D) / (R) DEED / RECORD
- (M) MEASURED

RESIDENTIAL SITE DATA TABLE

SITE ZONING:	CPD/GUO
GROSS RESIDENTIAL AREA:	±35.13 ACRES
PROPOSED PUBLIC RIGHT-OF-WAY:	
LOCAL STREETS:	±5.05 AC (14.4%)
COMMON AREA:	±4.05 AC (11.5%)
NORMAL POOL POND AREA:	±3.64 AC (10.4%)
TOTAL LOT AREA:	±16.43 AC (46.8%)
TOTAL LOTS:	98
PAD SIZES (TOTAL):	40'x82' (64) 43'x82' (34)
MINIMUM LOT SIZE:	50'x130'
MINIMUM BUILDING SETBACK:	
FRONT YARD:	25'
SIDE YARD:	20'
REAR YARD:	5'
LOCAL ROAD LENGTH:	±4,170' LF
HOWE STREET FRONTAGE:	±975' LF
TYPICAL R/W WIDTHS:	54' (LOCAL)

KEYNOTES

- STOP SIGN (R1-1)
- STREET NAME SIGN PER CITY OF NOBLESVILLE STANDARD DETAILS
- SPEED LIMIT SIGN (R2-1)(15 MPH)

- GENERAL NOTES:**
- CONTRACTOR SHALL PROTECT AND NOT DESTROY THE PROPERTY CORNER MONUMENTS DURING CONSTRUCTION.
 - CONTRACTOR TO VERIFY LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO COMMENCING ANY CONSTRUCTION. CONTACT ENGINEER IF VARIATION EXISTS.
 - SEE SHEET C002 GENERAL NOTES FOR MORE INFORMATION.

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ISSUANCE INDEX	
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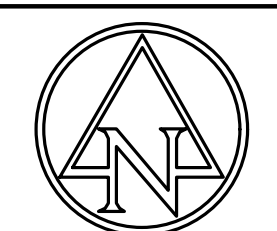
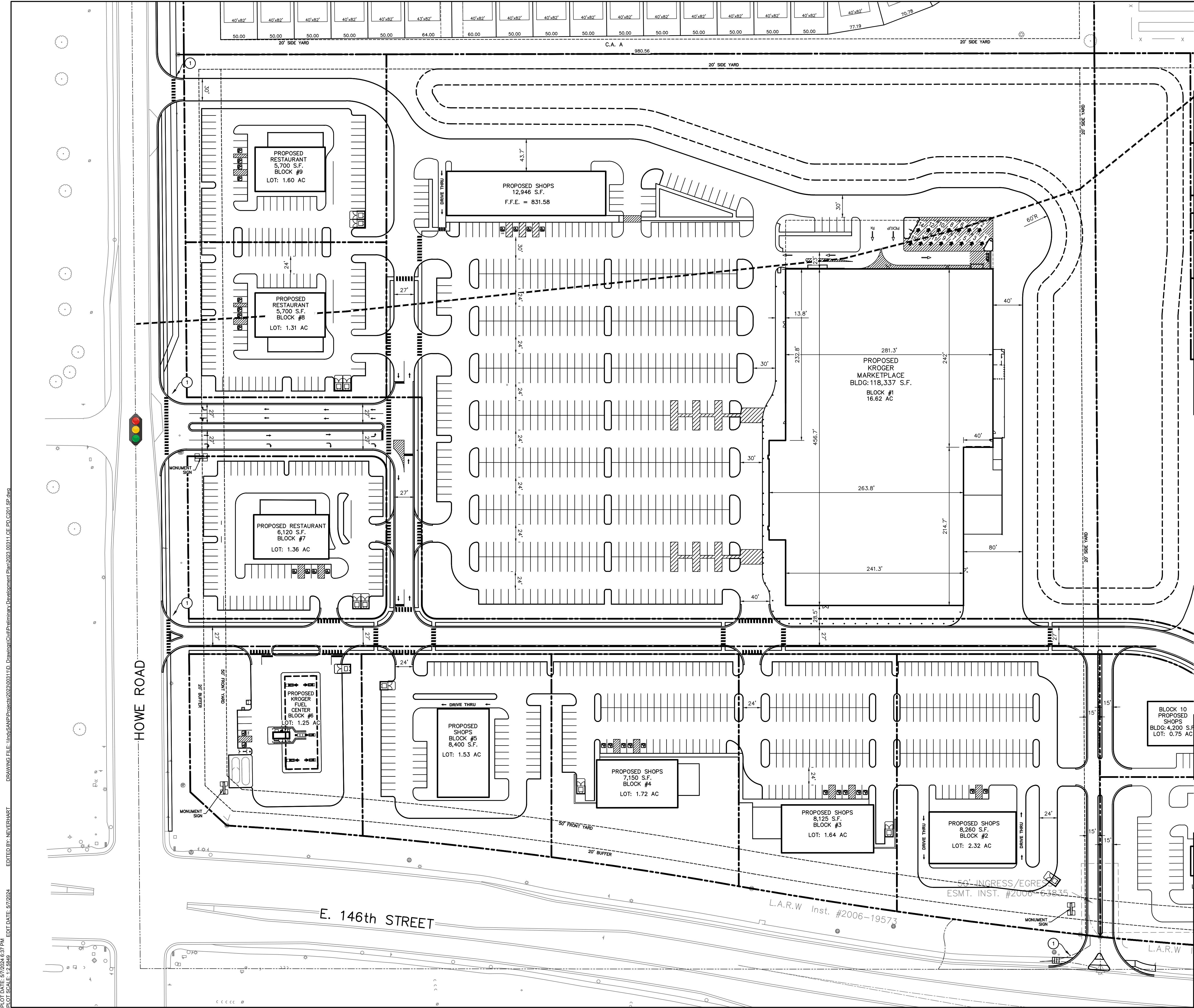
REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

Project Number 2023.00311

SITE PLAN

C201

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 PLOT DATE: 5/7/2024 6:37 PM
 PLOT SCALE: 1"=60'
 EDITED BY: NEVERMART



SCALE: 1"=60'

EXISTING LEGEND

- 831 CONTOUR (MAJOR)
- 832 CONTOUR (MINOR)
- CONCRETE BUMPER
- RIGHT OF WAY MARKER
- GUY ANCHOR
- CAT TAILS
- STUMP
- DECIDUOUS TREE
- EVERGREEN TREE
- BUSH
- FENCE
- SIGN
- TRAFFIC SIGNAL POLE
- TRAFFIC SIGNAL M.H.
- DOOR
- FLAG POLE
- UTILITY POLE
- PLAY GROUND EQUIP
- BORE
- MAIL BOX
- SPIQUET
- IRON PIN
- TEST PIT
- BENCHMARK ELEV
- DRILL HOLE
- PROPERTY CORNER
- SURVEY CONTROL POINT
- ROUND METAL LID
- MONITOR WELL LID
- SQUARE METAL LID
- WELL LID
- WATER SHUT OFF LID
- FD - FIBER OPTICS
- GAS
- ELECTRIC
- TELEPHONE
- WATER
- SAN - SANITARY SEWER
- STM - STORM SEWER
- CS - COMBINED SEWER
- UNDERGROUND
- OVERHEAD
- COMBINATION M.H.
- SANITARY M.H.
- CLEAN OUT
- CURB INLET
- ROUND INLET (24" TYP)
- SQUARE INLET (24" TYP)
- DRAINAGE M.H.
- END SECTION
- GAS/WATER METER
- TELE/CABLE/ELEC PEDESTAL
- IRRIGATION/ELEC BOX
- AIR CONDITIONER
- ELECTRIC TRANSFORMER
- AREA LIGHT / LIGHT BOLLARD
- GAS/WATER VALVE
- PIV/FIRE HYDRANT/FDC
- TO/ELEC/TELE/GAS MARKER
- 5/8" IRON PIN REBAR W/ CAP SET
- (D) / (R) DEED / RECORD
- (M) MEASURED

SITE DATA TABLE

SITE ZONING:	STAR BRICK VILLAGE PD
OVERALL PROJECT AREA:	31.54± ACRES
BLOCK 1 PROJECT AREA:	16.62± ACRES
BLOCK 1 BUILDING AREA:	118,337 SF
BLOCK 1 STANDARD PARKING:	570
BLOCK 2 PROJECT AREA:	2.32± ACRES
BLOCK 2 BUILDING AREA:	8,260 SF
BLOCK 2 STANDARD PARKING:	108
BLOCK 3 PROJECT AREA:	1.64± ACRES
BLOCK 3 BUILDING AREA:	8,125 SF
BLOCK 3 STANDARD PARKING:	92
BLOCK 4 PROJECT AREA:	1.72± ACRES
BLOCK 4 BUILDING AREA:	7,150 SF
BLOCK 4 STANDARD PARKING:	94
BLOCK 5 PROJECT AREA:	1.53± ACRES
BLOCK 5 BUILDING AREA:	8,400 SF
BLOCK 5 STANDARD PARKING:	61
BLOCK 6 PROJECT AREA:	1.25± ACRES
BLOCK 6 BUILDING AREA:	FUEL CENTER
BLOCK 6 STANDARD PARKING:	5
BLOCK 7 PROJECT AREA:	1.36± ACRES
BLOCK 7 BUILDING AREA:	6,120 SF
BLOCK 7 STANDARD PARKING:	74
BLOCK 8 PROJECT AREA:	1.31± ACRES
BLOCK 8 BUILDING AREA:	5,700 SF
BLOCK 8 STANDARD PARKING:	69
BLOCK 9 PROJECT AREA:	1.60± ACRES
BLOCK 9 BUILDING AREA:	5,700 SF
BLOCK 9 STANDARD PARKING:	65

KEYNOTES

- STOP SIGN (R1-1)
- STREET NAME SIGN PER CITY OF NOBLESVILLE STANDARD DETAILS
- SPEED LIMIT SIGN (R2-1)(15 MPH)

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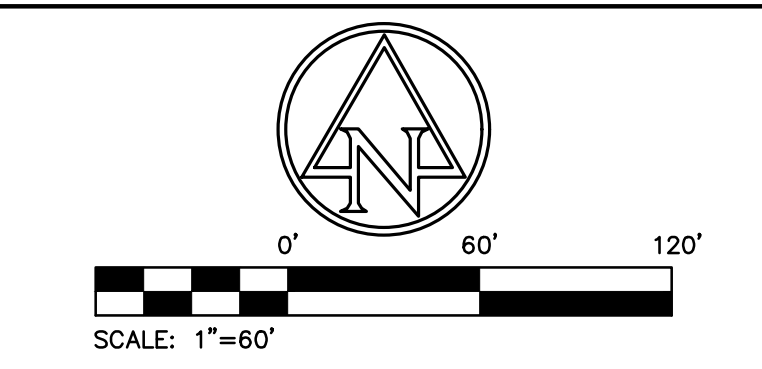
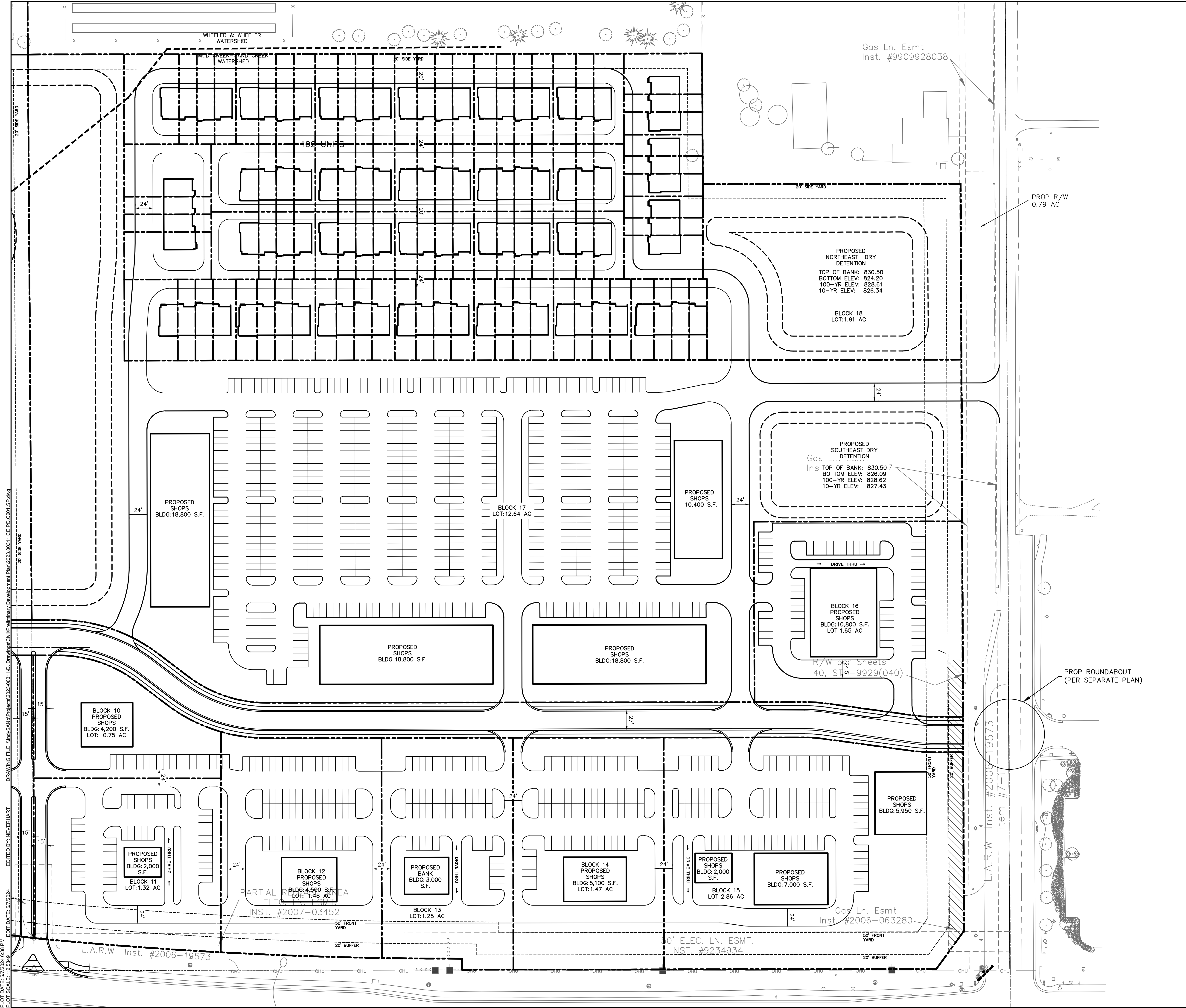
REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

Project Number 2023.00311

SITE PLAN

C202

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 EDITOR: NEVERHART
 EDIT DATE: 5/7/2024



EXISTING LEGEND

831	CONTOUR (MAJOR)	FO	FIBER OPTICS
832	CONTOUR (MINOR)	G	GAS
---	CONCRETE BUMPER	E	ELECTRIC
---	RIGHT OF WAY MARKER	T	TELEPHONE
---	GUY ANCHOR	W	WATER
---	CAT TAILS	SAN	SANITARY SEWER
---	STUMP	STM	STORM SEWER
---	DECIDUOUS TREE	CS	COMBINED SEWER
---	EVERGREEN TREE	U	UNDERGROUND OVERHEAD
---	BUSH	CM	COMBINATION M.H.
X	FENCE	SM	SANITARY M.H.
---	SIGN	CO	CURB INLET
---	TRAFFIC SIGNAL POLE	RI	ROUND INLET (24" TYP)
---	TRAFFIC SIGNAL M.H.	SI	SQUARE INLET (24" TYP)
---	DOOR	DI	DRAINAGE M.H.
---	FLAG POLE	ES	END SECTION
---	UTILITY POLE	GM	GAS/WATER METER
---	PLAY GROUND EQUIP	TE	TELE/CABLE/ELEC PEDESTAL
---	BORE	IR	IRREGATION/ELEC BOX
---	MAIL BOX	AC	AIR CONDITIONER
---	SPIQUET	ET	ELECTRIC TRANSFORMER
---	IRON PIN	AL	AREA LIGHT / LIGHT BOLLARD
---	TEST PIT	GW	GAS/WATER VALVE
---	BENCHMARK ELEV	PIV	PIV/FIRE HYDRANT/FDC
---	PROPERTY CORNER	DR	DRAIN/DOWN SPOUT
---	SURVEY CONTROL POINT	FM	FO/ELEC/TELE/GAS MARKER
---	ROUND METAL LID	IP	IPS 5/8" IRON PIN REBAR W/ CAP SET
---	MONITOR WELL LID	(D)	(D) / (R) DEED / RECORD
---	SQUARE METAL LID	(M)	(M) MEASURED
---	WELL LID		
---	WATER SHUT OFF LID		

SITE DATA TABLE

SITE ZONING:	STAR BRICK VILLAGE PD
OVERALL PROJECT AREA:	34.27± ACRES
BLOCK 10 PROJECT AREA:	0.75± ACRES
BLOCK 10 BUILDING AREA:	4,200 SF
BLOCK 10 STANDARD PARKING:	18
BLOCK 11 PROJECT AREA:	1.32± ACRES
BLOCK 11 BUILDING AREA:	2,000 SF
BLOCK 11 STANDARD PARKING:	43
BLOCK 12 PROJECT AREA:	1.48± ACRES
BLOCK 12 BUILDING AREA:	4,500 SF
BLOCK 12 STANDARD PARKING:	59
BLOCK 13 PROJECT AREA:	1.25± ACRES
BLOCK 13 BUILDING AREA:	3,000 SF
BLOCK 13 STANDARD PARKING:	51
BLOCK 14 PROJECT AREA:	1.47 ± ACRES
BLOCK 14 BUILDING AREA:	5,100 SF
BLOCK 14 STANDARD PARKING:	66
BLOCK 15 PROJECT AREA:	2.86± ACRES
BLOCK 15 BUILDING AREA:	14,950 SF
BLOCK 15 STANDARD PARKING:	85
BLOCK 16 PROJECT AREA:	1.65± ACRES
BLOCK 16 BUILDING AREA:	10,800 SF
BLOCK 16 STANDARD PARKING:	55
BLOCK 17 PROJECT AREA:	12.64± ACRES
BLOCK 17 BUILDING AREA:	66,800 SF
BLOCK 17 STANDARD PARKING:	552
BLOCK 18 PROJECT AREA:	1.91± ACRES

KEYNOTES

1. STOP SIGN (R1-1)
2. STREET NAME SIGN PER CITY OF NOBLESVILLE STANDARD DETAILS
3. SPEED LIMIT SIGN (R2-1)(15 MPH)

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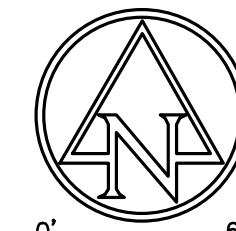
REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

Project Number 2023.00311

SITE PLAN

C203

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 EDITED BY: NEVERMART
 L.A.R.W. Inst. #2006-19573



0' 60' 120'
SCALE: 1"=60'



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TEL 317.547.5580 | FAX 317.543.0270
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THE MARKETPLACE ON 146TH

146th Street & Howe Road
Noblesville, Indiana

EXISTING LEGEND

- 831 CONTOUR (MAJOR)
- 831 CONTOUR (MINOR)
- CONCRETE BUMPER
- RIGHT OF WAY MARKER
- GUY ANCHOR
- CAT TAILS
- STUMP
- DECIDUOUS TREE
- EVERGREEN TREE
- BUSH
- FENCE
- SIGN
- TRAFFIC SIGNAL POLE
- TRAFFIC SIGNAL M.H.
- DOOR
- FLAG POLE
- UTILITY POLE
- BORE
- MAIL BOX
- SPIQUET
- IRON PIN
- TEST PIT
- BENCHMARK ELEV
- DRILL HOLE
- PROPERTY CORNER
- SURVEY CONTROL POINT
- ROUND METAL LID
- MONITOR WELL LID
- SQUARE METAL LID
- WELL LID
- WATER SHUT OFF LID
- FIBER OPTICS
- GAS
- ELECTRIC
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- WATER
- SANITARY SEWER
- STORM SEWER
- COMBINED SEWER
- UNDERGROUND OVERHEAD
- COMBINATION M.H.
- SANITARY M.H.
- CLEAN OUT
- CURB INLET
- ROUND INLET (24" TYP)
- SQUARE INLET (24" TYP)
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- END SECTION
- GAS/WATER METER
- TELE/CABLE/ELEC PEDESTAL
- IRREGATION/ELEC BOX
- AIR CONDITIONER
- ELECTRIC TRANSFORMER
- AREA LIGHT / LIGHT BOLLARD
- FO/ELEC/TELE/GAS MARKER
- 5/8" IRON PIN REBAR W/ CAP SET
- (D) / (R) DEED / RECORD
- (M) MEASURED

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REAR YARD:	20'
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HOWE STREET FRONTAGE:	±975' LF
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Project Number 2023.00311

PRIMARY PLAT

C210

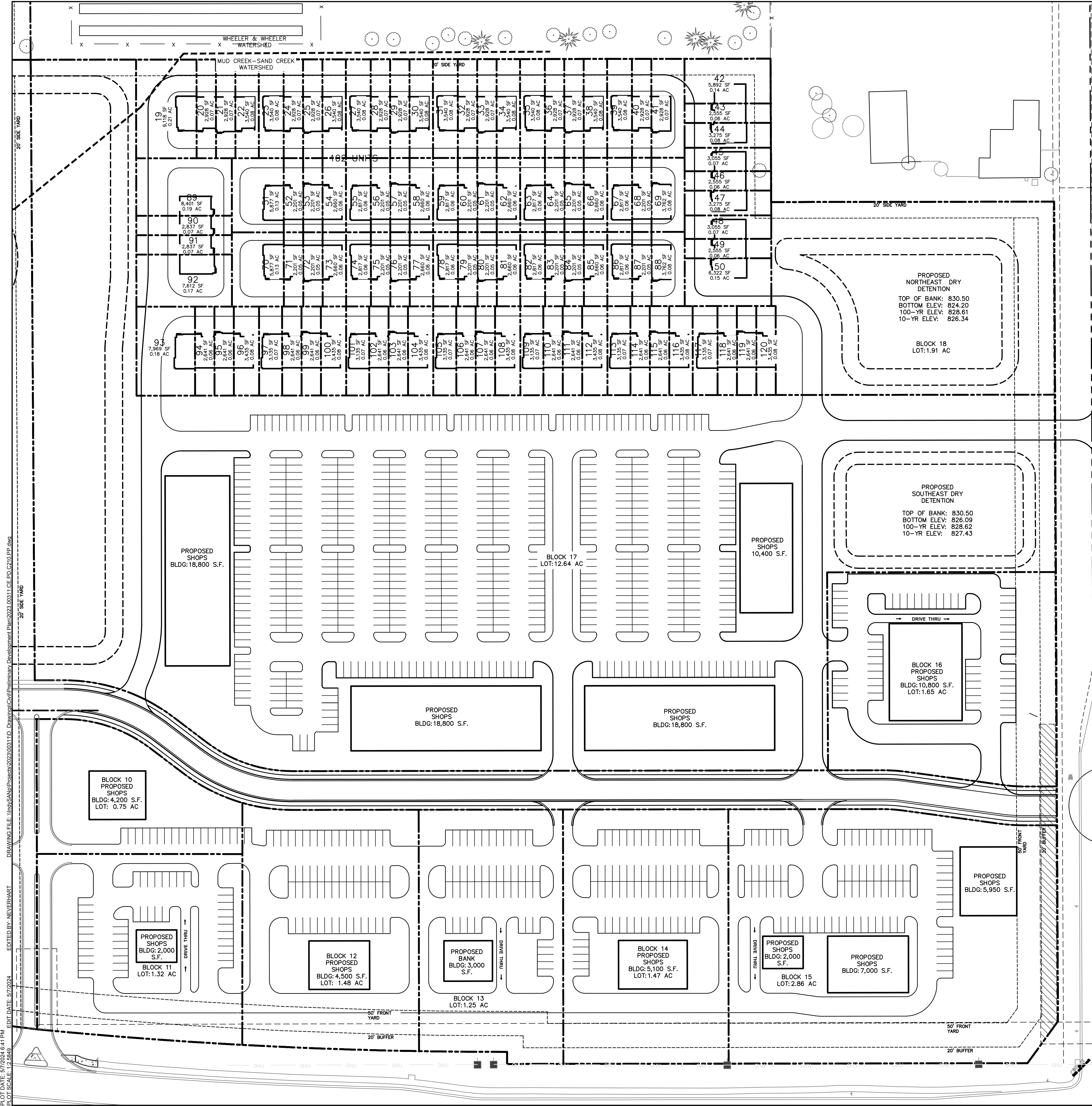


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INDIANA UNDERGROUND

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PLOT SCALE: 1"=60'



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EXISTING LEGEND

831	CONTOUR (MAJOR)	FO	FIBER OPTICS
832	CONTOUR (MINOR)	G	GAS
---	CONCRETE BUMPER	E	ELECTRIC
---	GUY ANCHOR	T	TELEPHONE
---	CAT TAILS	W	WATER
---	STUMP	SAN	SANITARY SEWER
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---	BUSH	U	UNDERGROUND OVERHEAD
---	FENCE	COMB	COMBINATION M.H.
---	SIGN	SAN	SANITARY M.H.
---	TRAFFIC SIGNAL POLE	C	CLEAN OUT
---	TRAFFIC SIGNAL M.H.	CI	CURB INLET
---	DOOR	RI	ROUND INLET (24" TYP)
---	FLAG POLE	SI	SQUARE INLET (24" TYP)
---	UTILITY POLE	DM	DRAINAGE M.H.
---	PLAY GROUND EQUIP	ES	END SECTION
---	BORE	GM	GAS/WATER METER
---	MAIL BOX	TE	TELE/CABLE/ELEC PEDESTAL
---	SPIQUET	IR	IRRIGATION/ELEC BOX
---	IRON PIN	AC	AIR CONDITIONER
---	TEST PIT	ET	ELECTRIC TRANSFORMER
---	BENCHMARK ELEV	AL	AREA LIGHT / LIGHT BOLLARD
---	DRILL HOLE	GB	GAS/WATER VALVE
---	PROPERTY CORNER	PIV	PIV/FIRE HYDRANT/FDC
---	SURVEY CONTROL POINT	DS	DRAIN/DOWN SPOUT
---	ROUND METAL LID	FE	FO/ELEC/TELE/GAS MARKER
---	MONITOR WELL LID	IP	5/8" IRON PIN REBAR W/ CAP SET
---	SQUARE METAL LID	(D)	(D) / (R) DEED / RECORD
---	WELL LID	(M)	MEASURED
---	WATER SHUT OFF LID		

SITE DATA TABLE

SITE ZONING:	STAR BRICK VILLAGE PD
OVERALL PROJECT AREA:	34.27± ACRES
BLOCK 10 PROJECT AREA:	0.75± ACRES
BLOCK 10 BUILDING AREA:	4,200 SF
BLOCK 10 STANDARD PARKING:	18
BLOCK 11 PROJECT AREA:	1.32± ACRES
BLOCK 11 BUILDING AREA:	2,000 SF
BLOCK 11 STANDARD PARKING:	43
BLOCK 12 PROJECT AREA:	1.48± ACRES
BLOCK 12 BUILDING AREA:	4,500 SF
BLOCK 12 STANDARD PARKING:	59
BLOCK 13 PROJECT AREA:	1.25± ACRES
BLOCK 13 BUILDING AREA:	3,000 SF
BLOCK 13 STANDARD PARKING:	51
BLOCK 14 PROJECT AREA:	1.47 ± ACRES
BLOCK 14 BUILDING AREA:	5,100 SF
BLOCK 14 STANDARD PARKING:	66
BLOCK 15 PROJECT AREA:	2.86± ACRES
BLOCK 15 BUILDING AREA:	14,950 SF
BLOCK 15 STANDARD PARKING:	85
BLOCK 16 PROJECT AREA:	1.65± ACRES
BLOCK 16 BUILDING AREA:	10,800 SF
BLOCK 16 STANDARD PARKING:	55
BLOCK 17 PROJECT AREA:	12.64± ACRES
BLOCK 17 BUILDING AREA:	66,800 SF
BLOCK 17 STANDARD PARKING:	552
BLOCK 18 PROJECT AREA:	1.91± ACRES

SEE PLAN VIEW FOR TOWNHOME DATA

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DEVELOPMENT - BROKERAGE - CONSULTING

David Weekley Homes

Kroger

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TEL: 317.547.5580 | FAX: 317.543.0270
www.structurepoint.com

THE MARKETPLACE ON 146TH

146th Street & Howe Road
Noblesville, Indiana

**APPROVAL PENDING
NOT FOR CONSTRUCTION**

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CERTIFIED BY

ISSUANCE INDEX

DATE:	5/7/2024
PROJECT PHASE:	PRELIMINARY DOCUMENTS

REVISION SCHEDULE

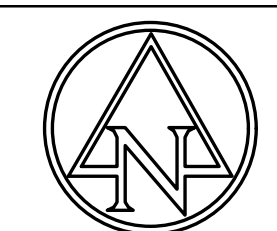
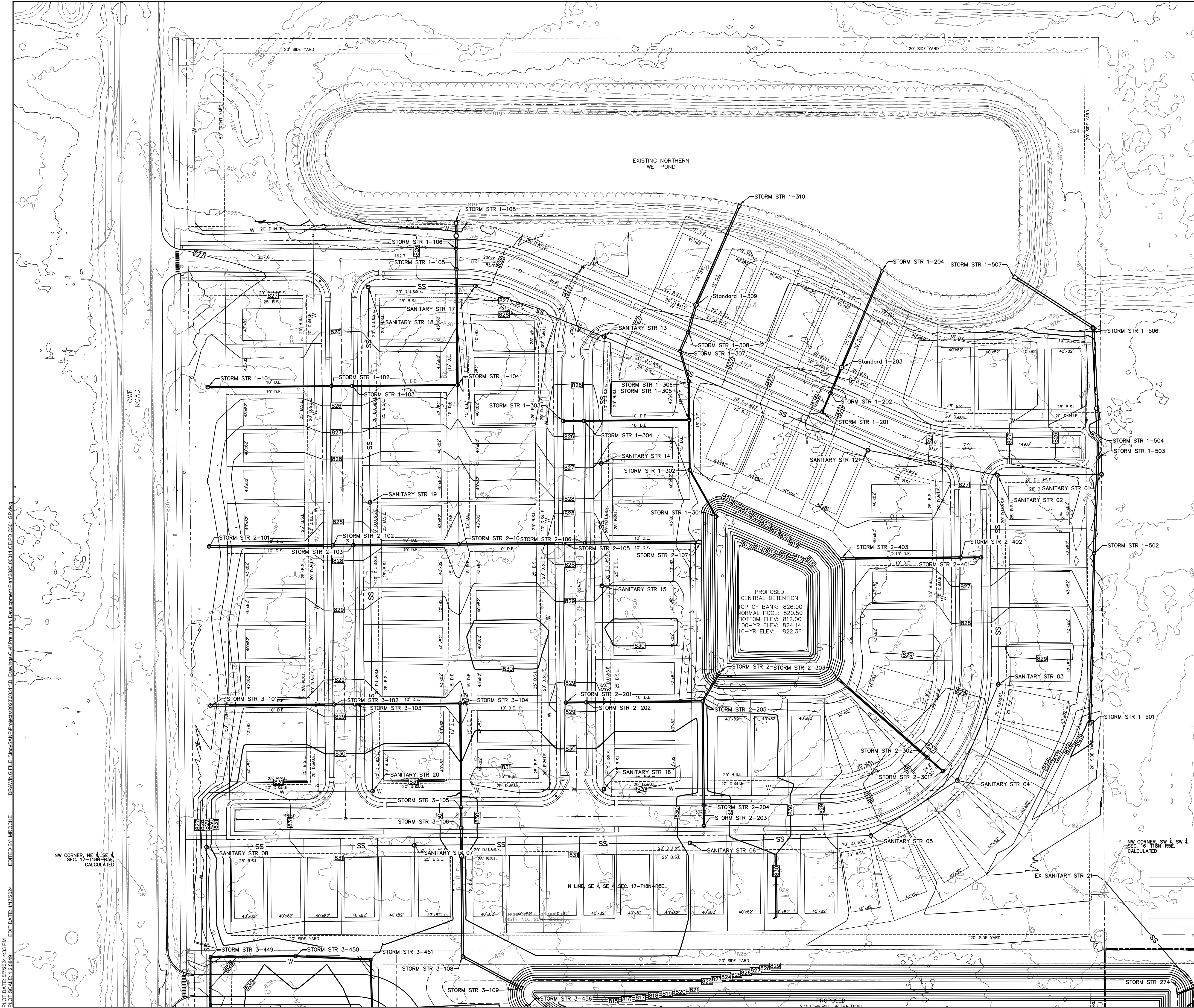
NO.	DESCRIPTION	DATE

Project Number 2023.00311

PRIMARY PLAT

C212

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 EDITED BY: NEVERMART
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 PLOT SCALE: 1:2,500



0' 60' 120'
SCALE: 1"=60'

EXISTING LEGEND

- 831 CONTOUR (MAJOR)
- 83 CONTOUR (MINOR)
- CONCRETE BUMPER
- RIGHT OF WAY MARKER
- GUY ANCHOR
- CAT TAILS
- STUMP
- DECIDUOUS TREE
- EVERGREEN TREE
- BUSH
- FENCE
- SIGN
- TRAFFIC SIGNAL POLE
- FO FIBER OPTICS
- GA GAS
- EL ELECTRIC
- TE TELEPHONE
- WA WATER
- SS SANITARY SEWER
- STM STORM SEWER
- CS COMBINED SEWER
- UNDERGROUND OVERHEAD
- COMBINATION M.H.
- SM SANITARY M.H.
- CL CLEAN OUT
- CI CURB INLET

BENCHMARK DATA

(HORIZONTAL AND VERTICAL CONTROL BASED ON INDOT INCORS SYSTEM, INCORPORATES VERTICAL DATUM NGVD88.)
 1: 1732500.970,240167.088,829.295,cont pt
 2: 1731253.978,240163.085,831.693,cont pt
 3: 1731084.746,241507.164,826.280,cont pt
 4: 1731075.518,242871.941,829.642,cont pt
 5: 1732335.749,242840.240,832.573,cont pt
 6: 1732494.669,241498.849,829.186,cont pt
 dlds copped rebar

NOTES

- D - DEED
- M - MEASURED/CALCULATED
- SP - STATE PLANE BEARING
- P - PLATTED
- CSR - COUNTY SURVEYOR RECORDS
- NSF - NOTHING SET OR FOUND
- MNS - MAG NAIL SET FLUSH
- MNF - MAG NAIL FOUND
- IPS - 5 / 8" DIAMETER WITH PLASTIC CAP STAMPED "DLDS 0064" SET
- IPF - IRON PIN FOUND
- R/W MONUMENT FOUND - 0.4' SQUARE CONCRETE MONUMENT FOUND 0.3' BELOW SURFACE.
- (*) - CALLS NOT ADJUSTED OR ROTATED TO MATCH PARENT SURVEYED TRACT. SHOWN PER DEED.

GRADING LEGEND

- ME MATCH EXISTING
- FL FLOWLINE
- BC BOTTOM OF CURB
- TC TOP OF CURB
- HP HIGH POINT
- LP LOW POINT
- CONTOURS
- SWALE
- TC 000.50 BC 000.00
- SPOT ELEVATIONS
- FLOW ARROW
- STORM SEWER LINE
- PAVEMENT UNDERDRAIN
- STRUCTURES
- RIDGE LINE
- GRADING WALL DETAIL NOT TO SCALE
- TW TOP OF WALL
- FGL FINISH GRADE AT UPPER SIDE OF WALL
- FGL FINISH GRADE AT LOWER SIDE OF WALL

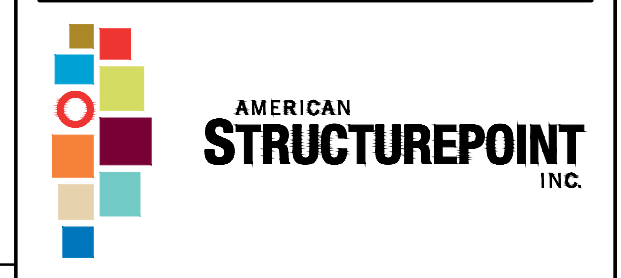
GENERAL NOTES:

1. CONTRACTOR SHALL PROTECT AND NOT DESTROY THE PROPERTY CORNER MONUMENTS DURING CONSTRUCTION.
2. CONTRACTOR TO VERIFY LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO COMMENCING ANY CONSTRUCTION. CONTACT ENGINEER IF VARIATION EXISTS.
3. SEE SHEET C002 GENERAL NOTES FOR MORE INFORMATION.

CAUTION !!

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CALL TOLL FREE
 "811" OR 1-800-382-5544
 - INDIANA UNDERGROUND -



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ISSUANCE INDEX	
DATE:	4/17/2024
PROJECT PHASE:	PRELIMINARY DOCUMENTS

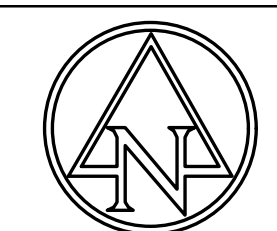
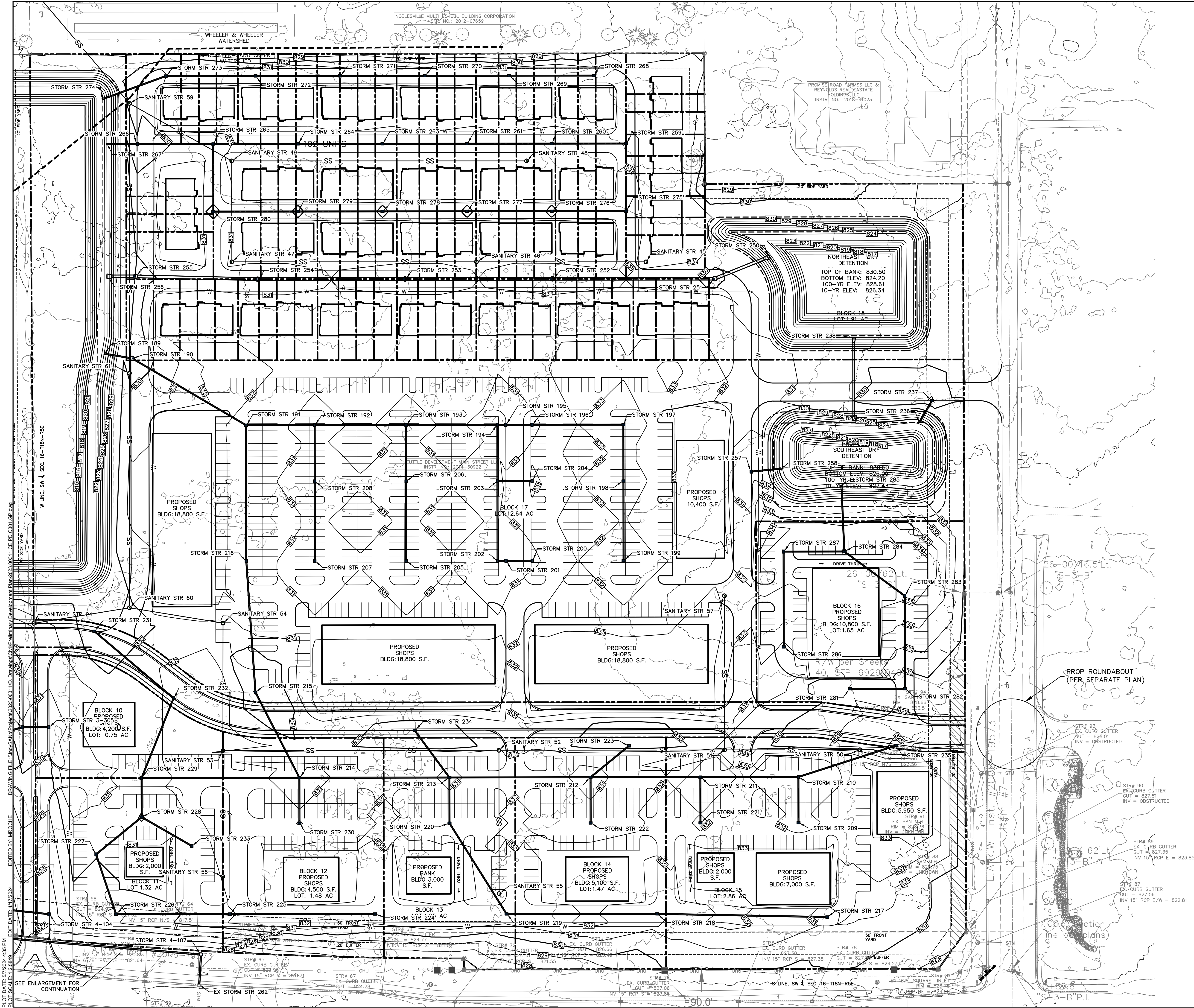
REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

Project Number 2023.00311

GRADING PLAN

C301

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 EDITED BY: MROCOE; EDIT DATE: 4/17/2024



0' 60' 120'
SCALE: 1"=60'

EXISTING LEGEND

- 831 CONTOUR (MAJOR)
- 831 CONTOUR (MINOR)
- CONCRETE BUMPER
- RIGHT OF WAY MARKER
- GUY ANCHOR
- CAT TAILS
- STAMP
- DECIDUOUS TREE
- EVERGREEN TREE
- BUSH
- FENCE
- SIGN
- TRAFFIC SIGNAL POLE
- FG - FIBER OPTICS
- GAS
- ELECTRIC
- TELEPHONE
- WATER
- SAN - SANITARY SEWER
- STM - STORM SEWER
- CS - COMBINED SEWER
- UNDERGROUND OVERHEAD
- COMBINATION M.H.
- SANITARY M.H.
- CLEAN OUT
- CURB INLET

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 5: 1732335.749,242840.240,832.573,cont pt
 6: 1732494.669,241498.849,829.186,cont pt
 dds capped rebar

NOTES

- D - DEED
- M - MEASURED/CALCULATED
- SP - STATE PLANE BEARING
- P - PLATTED
- CSR - COUNTY SURVEYOR RECORDS
- NSF - NOTHING SET OR FOUND
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GRADING LEGEND

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- BC BOTTOM OF CURB
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ISSUANCE INDEX

DATE:	4/17/2024
PROJECT PHASE:	PRELIMINARY DOCUMENTS

REVISION SCHEDULE

NO.	DESCRIPTION	DATE

Project Number 2023.00311

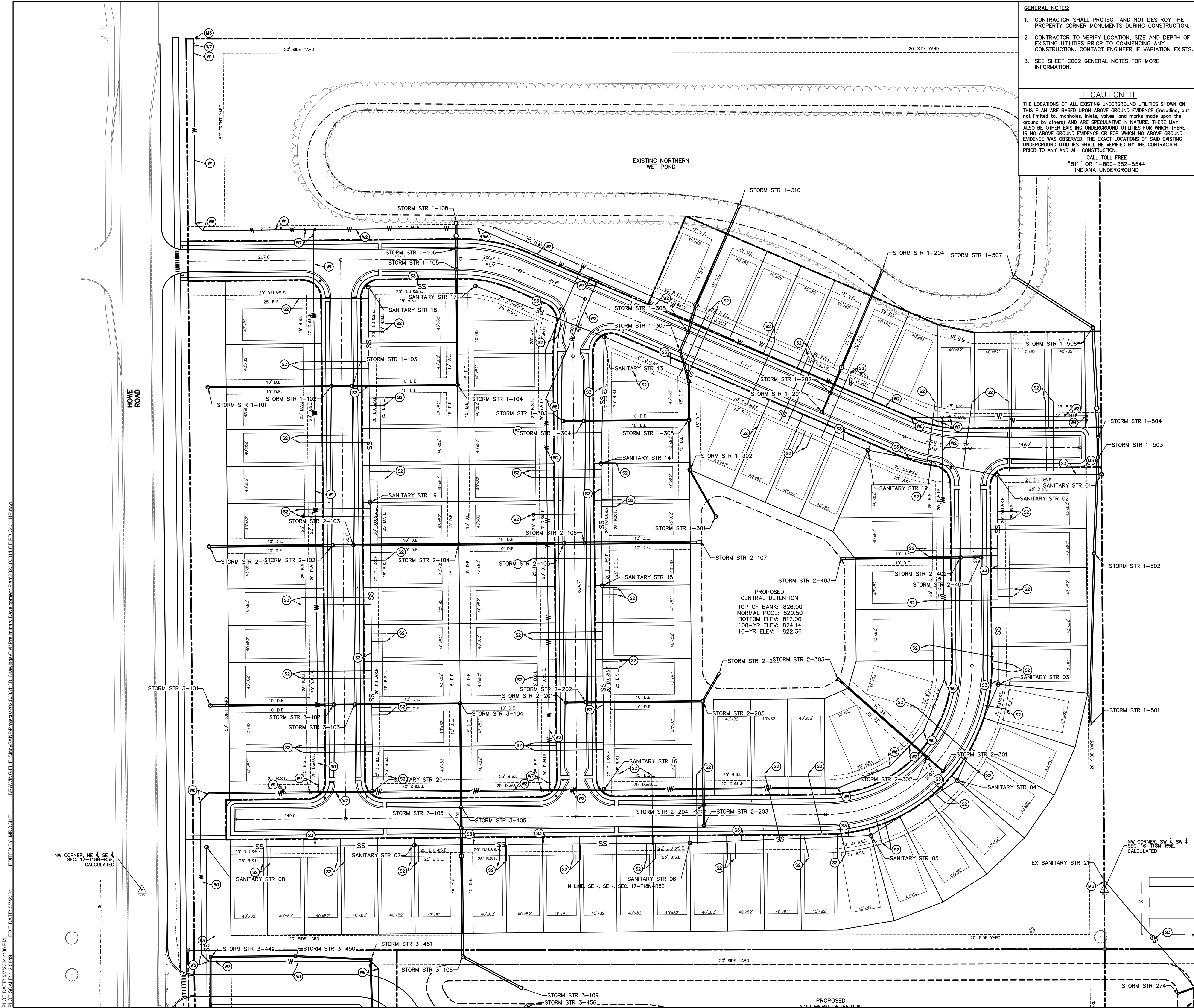
GRADING PLAN

C303

- GENERAL NOTES:**
- CONTRACTOR SHALL PROTECT AND NOT DESTROY THE PROPERTY CORNER MONUMENTS DURING CONSTRUCTION.
 - CONTRACTOR TO VERIFY LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO COMMENCING ANY CONSTRUCTION. CONTACT ENGINEER IF VARIATION EXISTS.
 - SEE SHEET C002 GENERAL NOTES FOR MORE INFORMATION.

!! CAUTION !!
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 CALL TOLL FREE
 811 OR 1-800-382-5444
 - INDIANA UNDERGROUND -

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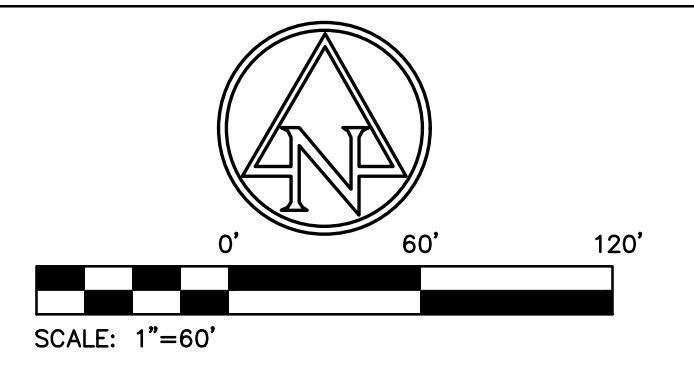
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 811 OR 1-800-382-5544
 - INDIANA UNDERGROUND -



EXISTING LEGEND

- 831 CONTOUR (MAJOR)
- 832 CONTOUR (MINOR)
- CONCRETE BUMPER
- RIGHT OF WAY MARKER
- GUY ANCHOR
- CAT TAILS
- TRAFFIC SIGNAL POLE
- TRAFFIC SIGNAL M.H.
- DOOR
- FLAG POLE
- UTILITY POLE
- PLAY GROUND EQUIP
- BORE
- MAIL BOX
- SPOUET
- IRON PIN
- TEST PIT
- BENCHMARK ELEV
- DRILL HOLE
- PROPERTY CORNER
- ROUND METAL LID
- MONITOR WELL LID
- SQUARE METAL LID
- WELL LID
- WATER SHUT OFF LID
- FD - FIBER OPTICS
- GAS
- ELECTRIC
- TELEPHONE
- WATER
- SAN - SANITARY SEWER
- STM - STORM SEWER
- CS - COMBINED SEWER
- UNDERGROUND OVERHEAD
- COMBINATION M.H.
- SANITARY M.H.
- CLEAN OUT
- CURB INLET
- ROUND INLET (24" TYP)
- SQUARE INLET (24" TYP)
- DRAINAGE M.H.
- END SECTION
- GAS/WATER METER
- TEL./CABLE/ELEC PEDESTAL
- IRRIGATION/ELEC BOX
- AIR CONDITIONER
- ELECTRIC TRANSFORMER
- AREA LIGHT / LIGHT BOLLARD
- GAS/WATER VALVE
- PIV/FIRE HYDRANT/FDC
- DRAIN/DOWN SPOUT
- FO/ELEC/TELE/GAS MARKER
- IPS 5/8" IRON PIN REBAR W/ CAP SET
- (D) / (R) DEED / RECORD
- (W) MEASURED

UTILITY LEGEND

- ETC - ELECTRIC / TELECOMMUNICATIONS LINE
- W - WATER LINE
- FP - FIRE PROTECTION LINE
- RD - ROOF DRAIN LINE
- G - GAS LINE
- SS - SANITARY SEWER LINE
- - STORM SEWER LINE
- - PAVEMENT UNDERDRAIN
- - GAS METER
- - ELECTRICAL TRANSFORMER
- - VALVE
- - WATER FITTINGS
- - WATER METER PIT
- - FIRE HYDRANT W/ ASSEMBLY

KEYNOTES

- SANITARY SEWER**
- S1. SANITARY CLEANOUT
 - S2. 6" SDR 35 PVC SANITARY LATERAL @ 1.04% MIN. SLOPE
 - S3. 8" SDR 35 PVC SANITARY MAIN @ 0.45% MIN. SLOPE
- DRAINAGE/STORM SEWER**
- D1. ROOF DRAIN CLEANOUT
 - D2. 6" HDPE ROOF DRAIN @ 1.00% MIN. SLOPE
 - D3. PAVEMENT UNDER DRAIN
- WATERLINE**
- W1. 12" DUCTILE IRON WATER MAIN
 - W2. 8" C900 PVC WATER MAIN
 - W3. 6" C900 PVC FIRE PROTECTION LINE
- GAS**
- G1. GAS METER
 - G2. GAS SERVICE LINE
- ELECTRIC / TELECOMMUNICATIONS**
- E1. ELECTRIC TRANSFORMER
 - E2. ELECTRIC SERVICE LINE
- MISCELLANEOUS**
- M1. POTENTIAL UTILITY CONFLICT (ALL WATER / SANITARY / STORM CROSSINGS TO HAVE A MINIMUM OF 18" VERTICAL CLEARANCE. CONTACT ENGINEER IF CONFLICTS EXIST. RELOCATE EXISTING UTILITIES AS REQUIRED)
 - M2. CONTRACTOR TO FIELD VERIFY LOCATION, DEPTH AND SIZE OF EXISTING UTILITIES TO ENSURE CONFLICTS DO NOT EXIST WITH PROPOSED UTILITIES.
 - M3. CONTRACTOR TO COORDINATE UTILITY CONNECTION WITH UTILITY PROVIDER.



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CERTIFIED BY

ISSUANCE INDEX

DATE: 5/7/2024
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REVISION SCHEDULE

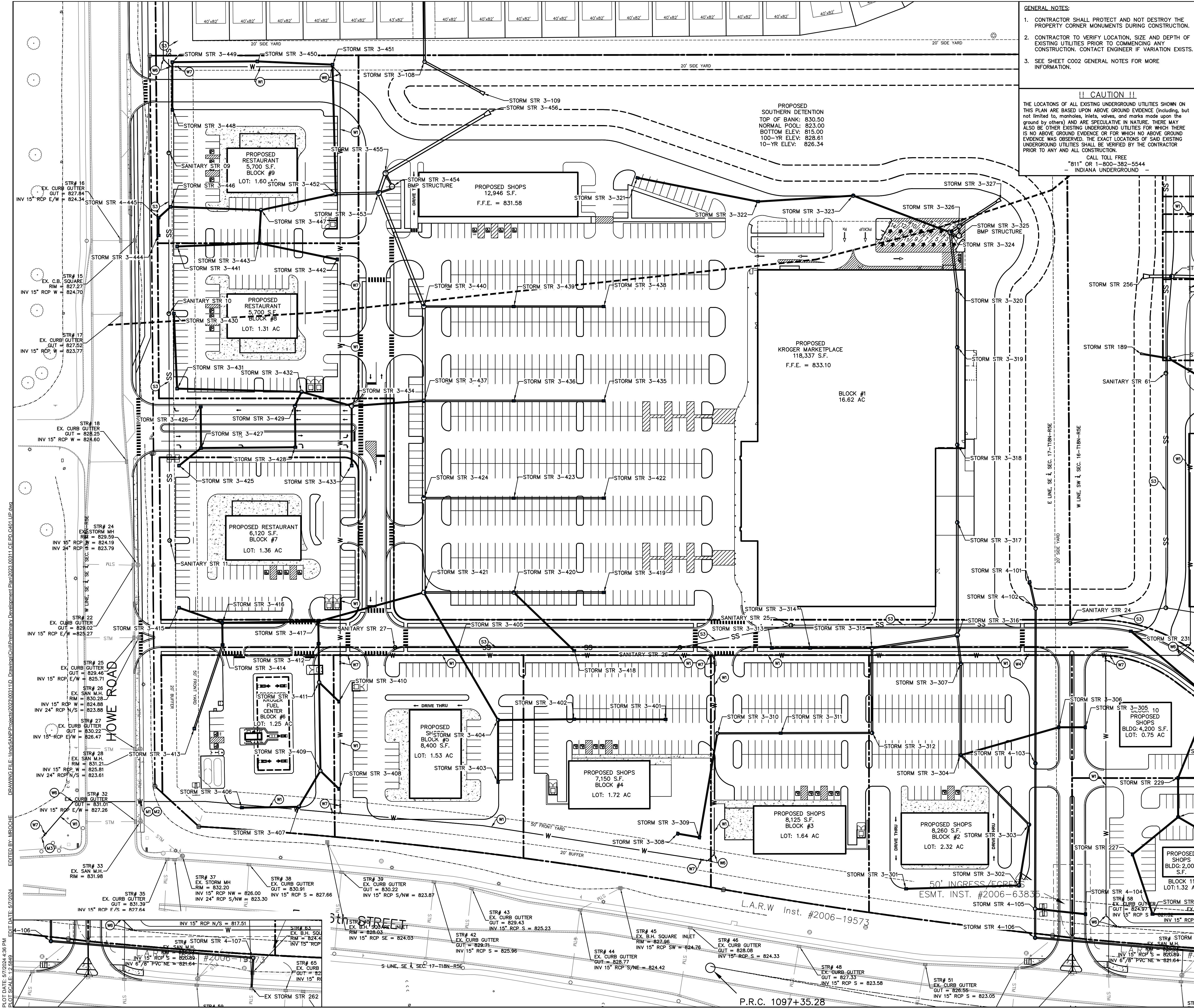
NO.	DESCRIPTION	DATE

Project Number 2023.00311

UTILITY PLAN

C401

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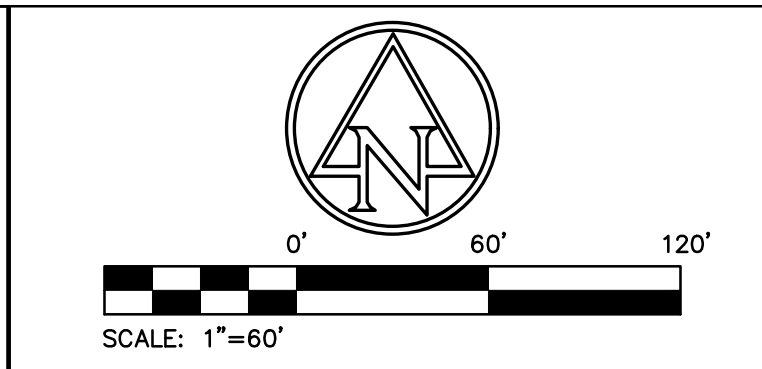
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- EVERGREEN TREE
- BUSH
- FENCE
- SIGN
- TRAFFIC SIGNAL POLE
- TRAFFIC SIGNAL M.H.
- DOOR
- FLAG POLE
- UTILITY POLE
- PLAY GROUND EQUIP
- BORE
- MAIL BOX
- SPOUET
- IRON PIN
- TEST PIT
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- GAS
- ELECTRIC
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- SANITARY SEWER
- STIM - STORM SEWER
- CS - COMBINED SEWER
- UNDERGROUND OVERHEAD
- COMBINATION M.H.
- SANITARY M.H.
- CLEAN OUT
- CURB INLET
- ROUND INLET (24" TYP)
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- DRAIN/DOWN STOP
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- IPS 5/8" IRON PIN REBAR W/ CAP SET
- (D) / (R) DEED / RECORD
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- S - STORM SEWER LINE
- PA - PAVEMENT UNDERDRAIN
- GM - GAS METER
- ET - ELECTRICAL TRANSFORMER
- V - VALVE
- WF - WATER FITTINGS
- WM - WATER METER PIT
- FH - FIRE HYDRANT W/ ASSEMBLY

KEYNOTES

- SANITARY SEWER**
- S1. SANITARY CLEANOUT
 - S2. 6" SDR 35 PVC SANITARY LATERAL @ 1.04% MIN. SLOPE
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 - D1. ROOF DRAIN CLEANOUT
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- WATERLINE**
- W1. 12" DUCTILE IRON WATER MAIN
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 - W3. 6" C900 PVC FIRE PROTECTION LINE
 - W4. FIRE HYDRANT W/ ASSEMBLY
 - W5. FIRE DEPARTMENT CONNECTION
 - W6. WATER BEND W/ CONCRETE THRUST BLOCK
 - W7. WATER VALVE
 - W8. WATER METER
 - W9. POST INDICATOR VALVE
- GAS**
- G1. GAS METER
 - G2. GAS SERVICE LINE
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- E1. ELECTRIC TRANSFORMER
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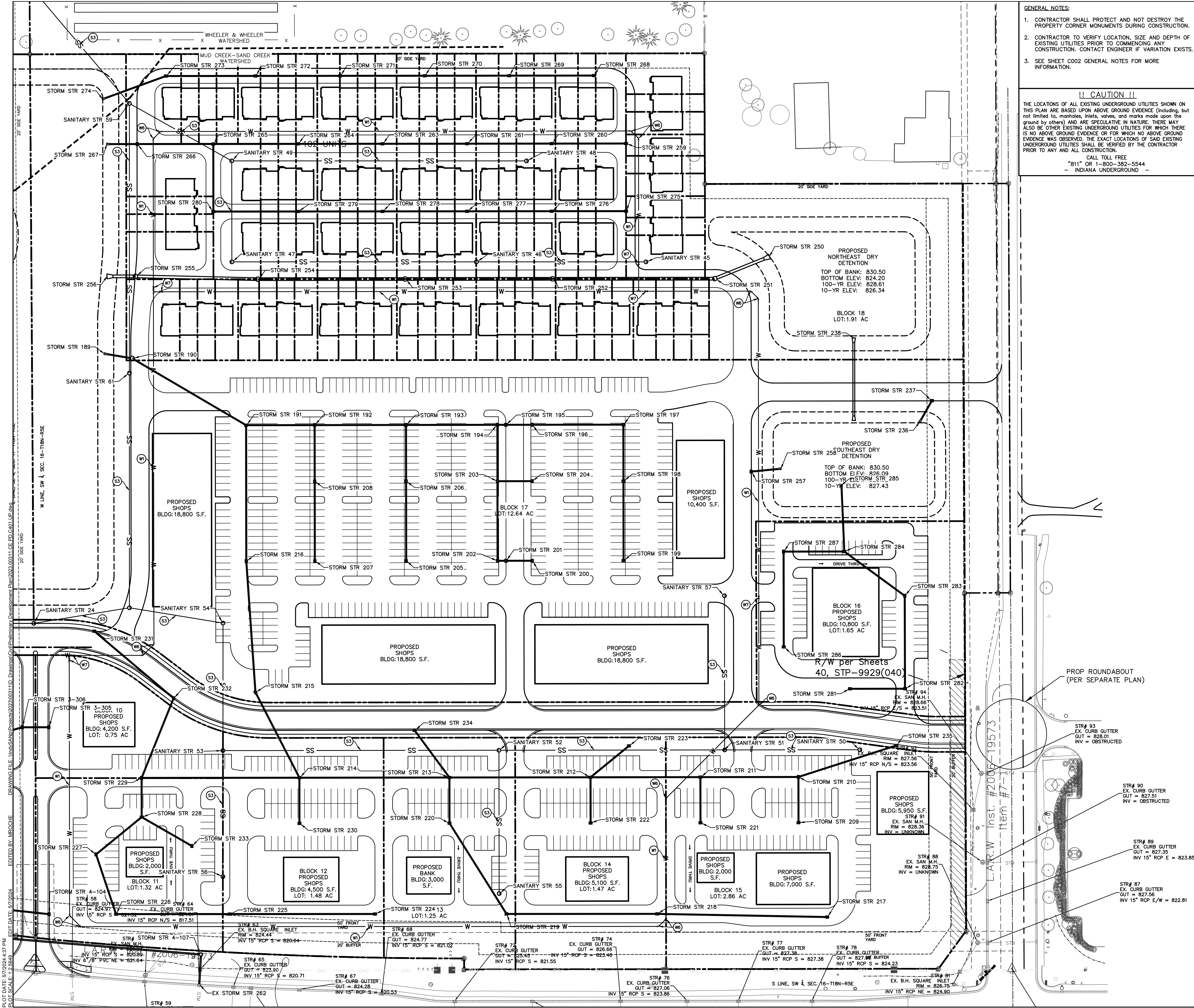
Project Number 2023.00311

UTILITY PLAN

C402

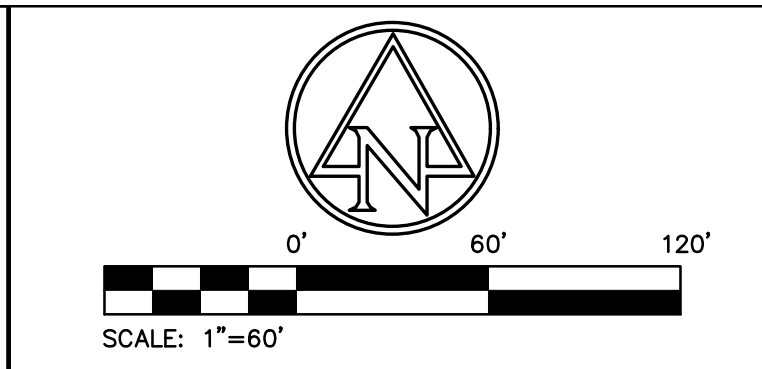
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 EDITED BY: JEROUCHE
 PLOT DATE: 5/7/2024 4:36 PM
 PLOT SCALE: 1"=60'

P.R.C. 1097+35.28



GENERAL NOTES:

- CONTRACTOR SHALL PROTECT AND NOT DESTROY THE PROPERTY CORNER MONUMENTS DURING CONSTRUCTION.
- CONTRACTOR TO VERIFY LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO COMMENCING ANY CONSTRUCTION. CONTACT ENGINEER IF VARIATION EXISTS.
- SEE SHEET C002 GENERAL NOTES FOR MORE INFORMATION.



EXISTING LEGEND

831	CONTOUR (MAJOR)	FG	FIBER OPTICS
832	CONTOUR (MINOR)	○	GAS
---	CONCRETE BUMPER	—	ELECTRIC
▲	RIGHT OF WAY MARKER	—	TELEPHONE
○	GUY ANCHOR	—	WATER
○	CAT TAILS	—	SANITARY SEWER
○	STAMP	—	STORM SEWER
○	DECIDUOUS TREE	—	COMBINED SEWER
○	EVERGREEN TREE	—	UNDERGROUND OVERHEAD
○	BUSH	○	COMBINATION M.H.
○	FENCE	○	SANITARY M.H.
○	SIGN	○	CLEAN OUT
○	TRAFFIC SIGNAL POLE	○	CURB INLET
○	TRAFFIC SIGNAL M.H.	○	ROUND INLET (24" TYP)
○	DOOR	○	SQUARE INLET (24" TYP)
○	FLAG POLE	○	DRAINAGE M.H.
○	UTILITY POLE	○	END SECTION
○	PLAY GROUND EQUIP	○	GAS/WATER METER
○	BORE	○	TELE/CABLE/ELEC PEDESTAL
○	MAIL BOX	○	IRRIGATION/ELEC BOX
○	IRON PIN	○	AIR CONDITIONER
○	TEST PIT	○	ELECTRIC TRANSFORMER
○	BENCHMARK ELEV	○	AREA LIGHT / LIGHT BOLLARD
○	DRILL HOLE	○	GAS/WATER VALVE
○	PROPERTY CORNER	○	PIV/FIRE HYDRANT/FDC
○	ROUND METAL LID	○	DRAIN/DOWN SPOUT
○	MONITOR WELL LID	○	FO/ELEC/TELE/GAS MARKER
○	SQUARE METAL LID	○	IPS 5/8" IRON PIN REBAR W/ CAP SET
○	WELL LID	(D)	(D) / (R) DEED / RECORD
○	WATER SHUT OFF LID	(W)	(W) MEASURED

UTILITY LEGEND

—	ELECTRIC / TELECOMMUNICATIONS LINE
—	WATER LINE
—	FIRE PROTECTION LINE
—	ROOF DRAIN LINE
—	GAS LINE
—	SANITARY SEWER LINE
—	STORM SEWER LINE
—	PAVEMENT UNDERDRAIN
—	GAS METER
—	ELECTRICAL TRANSFORMER
—	VALVE
—	WATER FITTINGS
—	WATER METER PIT
—	FIRE HYDRANT W/ ASSEMBLY

KEYNOTES

SANITARY SEWER

- SANITARY CLEANOUT
- 6" SDR 35 PVC SANITARY LATERAL @ 1.04% MIN. SLOPE
- 8" SDR 35 PVC SANITARY MAIN @ 0.45% MIN. SLOPE DRAINAGE/STORM SEWER
- ROOF DRAIN CLEANOUT
- 6" HDPE ROOF DRAIN @ 1.00% MIN. SLOPE
- PAVEMENT UNDER DRAIN WATERLINE
- 12" DUCTILE IRON WATER MAIN
- 8" C900 PVC WATER MAIN
- 6" C900 PVC FIRE PROTECTION LINE
- FIRE HYDRANT W/ ASSEMBLY
- FIRE DEPARTMENT CONNECTION
- WATER BEND W/ CONCRETE THRUST BLOCK
- WATER VALVE
- WATER METER
- POST INDICATOR VALVE

GAS

- GAS METER
- GAS SERVICE LINE

ELECTRIC / TELECOMMUNICATIONS

- ELECTRIC TRANSFORMER
- ELECTRIC SERVICE LINE

MISCELLANEOUS

- POTENTIAL UTILITY CONFLICT (ALL WATER / SANITARY / STORM CROSSINGS TO HAVE A MINIMUM OF 18" VERTICAL CLEARANCE. CONTACT ENGINEER IF CONFLICTS EXIST. RELOCATE EXISTING UTILITIES AS REQUIRED)
- CONTRACTOR TO FIELD VERIFY LOCATION, DEPTH AND SIZE OF EXISTING UTILITIES. ENSURE CONFLICTS DO NOT EXIST WITH PROPOSED UTILITIES.
- CONTRACTOR TO COORDINATE UTILITY CONNECTION WITH UTILITY PROVIDER.

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 TEL 317.547.5590 | FAX 317.543.0270
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THE MARKETPLACE ON 146TH
 146th Street & Howe Road
 Noblesville, Indiana

APPROVAL PENDING
NOT FOR CONSTRUCTION
 IN SUBMITTING BIDS IN RELIANCE ON THESE PLANS THE CONTRACTOR ASSUMES ALL RISKS OF ADDITIONAL COSTS OF REVISIONS DUE TO REQUIREMENTS OF THE OWNER OR GOVERNMENTAL AUTHORITIES AND MATERIAL REVISIONS IN THE COURSE OF COMPLETING THE FINAL DESIGN.

CERTIFIED BY

ISSUANCE INDEX

DATE: 5/7/2024
PROJECT PHASE: PRELIMINARY DOCUMENTS

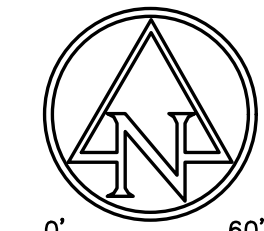
REVISION SCHEDULE

NO.	DESCRIPTION	DATE

Project Number 2023.00311

UTILITY PLAN
C403

DRAWING FILE: W:\S\Projects\2023\00311.DWG; Date: 5/7/2024 4:37 PM; PLOT DATE: 5/7/2024 4:37 PM; EDITED BY: JEROUCHE; PROJECT: THE MARKETPLACE ON 146TH; SHEET: C403



0' 60' 120'
SCALE: 1"=60'

EXISTING LEGEND

- 831 CONTOUR (MAJOR)
- 832 CONTOUR (MINOR)
- CONCRETE BUMPER
- RIGHT OF WAY MARKER
- GLY ANCHOR
- CAT TAILS
- STUMP
- DECIDUOUS TREE
- EVERGREEN TREE
- BUSH
- FENCE
- SIGN
- TRAFFIC SIGNAL POLE
- TRAFFIC SIGNAL M.H.
- DOOR
- FLAG POLE
- UTILITY POLE
- PLAY GROUND EQUIP
- BORE
- MAIL BOX
- SPOUET
- IRON PIN
- TEST PIT
- BENCHMARK ELEV
- DRILL HOLE
- PROPERTY CORNER
- ROUND METAL LID
- MONITOR WELL LID
- SQUARE METAL LID
- WELL LID
- WATER SHUT OFF LID
- FD—FIBER OPTICS
- GAS
- ELECTRIC
- TELEPHONE
- WATER
- SAN—SANITARY SEWER
- STM—STORM SEWER
- CS—COMBINED SEWER
- UG—UNDERGROUND OVERHEAD
- COMBINATION M.H.
- SANITARY M.H.
- CLEAN OUT
- CURB INLET
- ROUND INLET (24" TYP)
- SQUARE INLET (24" TYP)
- DRAINAGE M.H.
- END SECTION
- GAS/WATER METER
- TELE/CABLE/ELEC PEDESTAL
- IRRIGATION/ELEC BOX
- AIR CONDITIONER
- ELECTRIC TRANSFORMER
- AREA LIGHT / LIGHT BOLLARD
- GAS/WATER VALVE
- PIV/FIRE HYDRANT/FDC
- DRAIN/DOWN SPOUT
- FO/ELEC/TELE/GAS MARKER
- 5/8" IRON PIN REBAR W/ CAP SET
- (D) / (R) DEED / RECORD
- (M) MEASURED

EROSION CONTROL LEGEND

- SF SILT FENCE (SILT FENCE AT BOUNDARY OF THE SITE IS THE CONSTRUCTION LIMITS)
- CONSTRUCTION LIMITS
- INLET PROTECTION
- AREA SUBJECT TO TEMPORARY SEEDING DURING CONSTRUCTION AND PERMANENT SEEDING AFTER CONSTRUCTION IS COMPLETE (REFER TO LANDSCAPE PLANS)
- EROSION CONTROL BLANKET WITH SEEDING
- GRAVEL CONSTRUCTION ENTRANCE
- STAGING AREA
- CW CONCRETE WASHOUT
- D/R DUMPSTER / RECYCLING AREA
- P PORT-O-LET
- N.O.I. SIGN POSTING
- OUTLET PROTECTION
- ROCK DONUT
- ROCK CHECK DAM

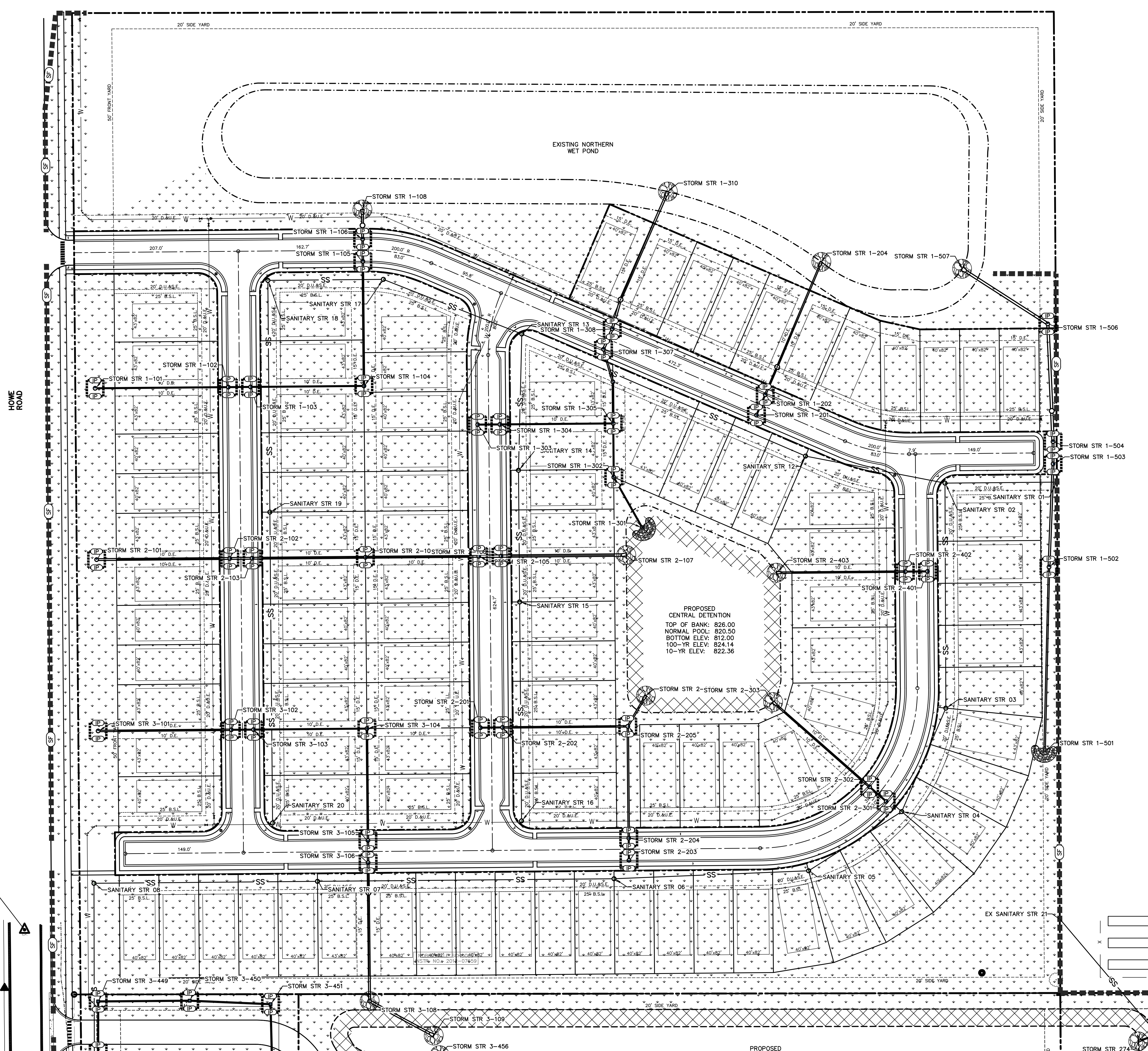
GENERAL NOTES:

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3. SEE SHEET C002 GENERAL NOTES FOR MORE INFORMATION.

!! CAUTION !!

THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (including, but not limited to, manholes, inlets, valves, and marks made upon the ground by others) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

CALL TOLL FREE
811 OR 1-800-382-5544
— INDIANA UNDERGROUND —



THE MARKETPLACE ON 146TH

146th Street & Howe Road
Noblesville, Indiana

**APPROVAL PENDING
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ISSUANCE INDEX	
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PROJECT PHASE:	PRELIMINARY DOCUMENTS

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

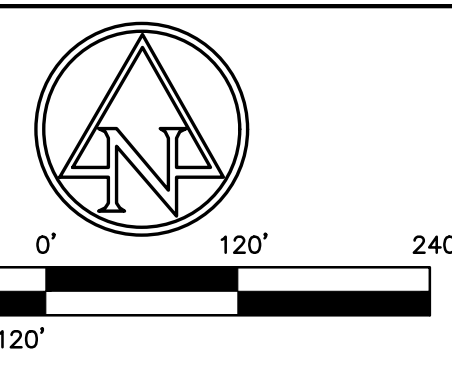
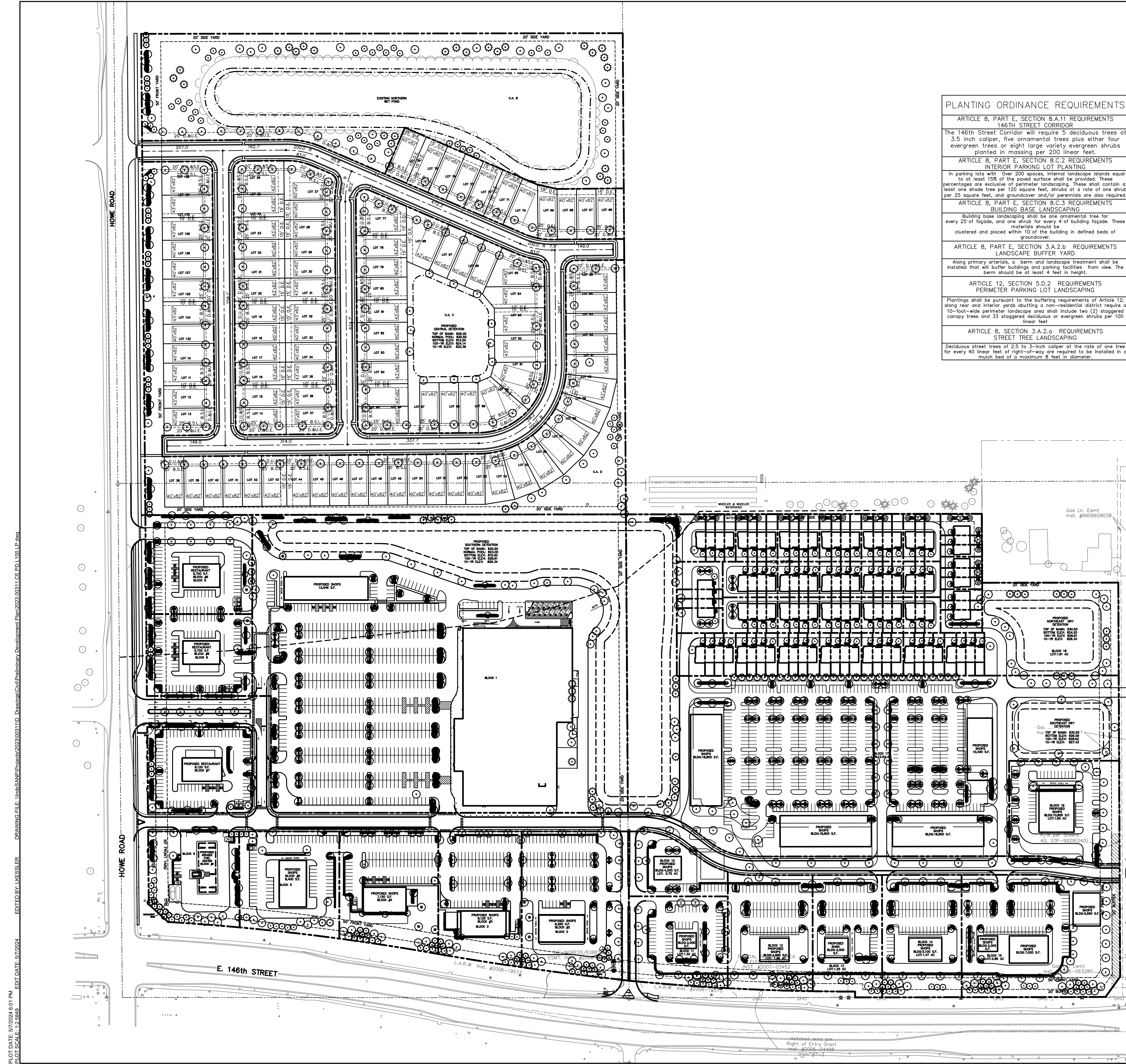
Project Number 2023.00311

EROSION CONTROL PLAN

C501

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 EDIT DATE: 5/7/2024
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 PROJECT: 2023.00311.CE.PD.C501.ECP_049

NW CORNER, NE 1/4 SE 1/4, SEC. 17, T18N, R9E, CALCULATED



PLANTING ORDINANCE REQUIREMENTS

**ARTICLE 8, PART E, SECTION 8.A.11 REQUIREMENTS
146TH STREET CORRIDOR**
The 146th Street Corridor will require 5 deciduous trees at 3.5 inch caliper, five ornamental trees plus either four evergreen trees or eight large variety evergreen shrubs planted in massing per 200 linear feet.

**ARTICLE 8, PART E, SECTION 8.C.2 REQUIREMENTS
INTERIOR PARKING LOT PLANTING**
In parking lots with over 200 spaces, internal landscape islands equal to at least 15% of the paved surface shall be provided. These percentages are exclusive of perimeter landscaping. These shall contain at least one shade tree per 100 square feet, shrubs at a rate of one shrub per 25 square feet, and groundcover and/or perennials are also required.

**ARTICLE 8, PART E, SECTION 8.C.3 REQUIREMENTS
BUILDING BASE LANDSCAPING**
Building base landscaping shall be one ornamental tree for every 25 of facade, and one shrub for every 4 of building facade. These materials should be clustered and placed within 10' of the building in defined beds of groundcover.

**ARTICLE 8, PART E, SECTION 3.A.2.b REQUIREMENTS
LANDSCAPE BUFFER YARD**
Along primary arterials, a berm and landscape treatment shall be installed that will buffer buildings and parking facilities from view. The berm should be at least 4 feet in height.

**ARTICLE 12, SECTION 5.D.2 REQUIREMENTS
PERIMETER PARKING LOT LANDSCAPING**
Plantings shall be pursuant to the buffering requirements of Article 12, along rear and interior yards abutting a non-residential district require a 10-foot-wide perimeter landscape area shall include two (2) staggered canopy trees and 33 staggered deciduous or evergreen shrubs per 100 linear feet.

**ARTICLE 8, SECTION 3.A.2.a REQUIREMENTS
STREET TREE LANDSCAPING**
Deciduous street trees of 2.5 to 3-inch caliper at the rate of one tree for every 40 linear feet of right-of-way are required to be installed in a mulch bed of a maximum 8 feet in diameter.

CONCEPT PLANT SCHEDULE

- DECIDUOUS TREE**
 2.5" Caliper, B&B. Street Trees shall only be from the species as noted below.
 Acer griseum / Paperbark Maple
 - Street Tree
 Acer saccharum 'Green Mountain' TM / Green Mountain Sugar Maple
 - Street Tree
 Betula nigra 'Cully' TM / Heritage Birch
 - Multi-Stem; 3 Canes
 Celtis occidentalis 'Chicagoland' / Chicagoland Hackberry
 Ginkgo biloba 'Autumn Gold' / Autumn Gold Maidenhair Tree
 - Street Tree
 Gladiolus triacanthos 'Skyline' / Skyline Honey Locust
 Gynnocladus dioica 'Espresso' / Kentucky Coffeetree
 Liquidambar styraciflua 'Happdell' / Happpidaze® Sweet Gum
 - Street Tree
 Liriodendron tulipifera / Tulip Poplar
 Platanus x acerifolia / London Plane Tree
 Quercus bicolor / Swamp White Oak
 Quercus muehlenbergii / Chinkapin Oak
 Quercus rubra / Red Oak
 Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac
 - Street Tree
 Taxodium distichum / Bald Cypress
 Taxodium distichum 'Skyward' / Lindsey's Columnar Bald Cypress
 - Street Tree
 Tilia cordata 'Greenspire' / Greenspire Littleleaf Linden

- EVERGREEN TREE**
 6' Ht.
 Abies concolor / White Fir
 Picea abies / Norway Spruce
 Pinus strobus / White Pine

- NARROW EVERGREEN TREE**
 6' Ht.
 Picea glauca 'Densata' / Black Hills White Spruce
 Pinus flexilis 'Vanderwolf's Pyramid' / Vanderwolf's Pyramid Limber Pine
 Thuja occidentalis 'Techny' / Techny Arborvitae
 Thuja standishii x plicata 'Green Giant' / Green Giant Arborvitae

- ORNAMENTAL TREE**
 6' Ht. minimum, B&B
 Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Apple Serviceberry
 Amelanchier x grandiflora 'Robin Hill' / Robin Hill Apple Serviceberry
 Carpinus betulus 'Frans Fontaine' / Frans Fontaine Hornbeam
 Cercis canadensis / Eastern Redbud Multi-trunk
 Cornus kousa 'Milky Way' / Milky Way Kousa Dogwood
 - Multi-Stem; 3 to 5 Canes Only
 Crataegus crus-galli 'Cruzam' / Crusader® Cockspear Hawthorn
 Crataegus viridis 'Winter King' / Winter King Hawthorn
 Magnolia stellata 'Royal Star' / Royal Star Magnolia
 Malus x 'Adirondack' / Adirondack Crabapple
 Malus x 'JFS KW213MX' / Raspberry Spear® Crabapple
 Malus x 'Prairifire' / Prairifire Crabapple

- DECIDUOUS SHRUB**
 3 Gal. Container, B&B
 Aronia melanocarpa 'Autumn Magic' / Autumn Magic Black Chokeberry
 Aronia melanocarpa 'UCONNAM165' / Low Scape Mound® Black Chokeberry
 Buxus x 'Green Velvet' / Green Velvet Boxwood
 Clethra alnifolia / Summersweet
 Cornus stolonifera 'Arctic Fire' / Arctic Fire Dogwood
 Fothergilla gardenii 'Blue Mist' / Blue Mist Fothergilla
 Hamamelis virginiana / Common Witch Hazel
 Hydrangea paniculata 'Little Lime' / Little Lime Hydrangea
 Hydrangea paniculata 'SMHPLOF' / Little Quick Fire® Panicle Hydrangea
 Ilex verticillata 'FarrowBPop' / Berry Poppins® Winterberry
 Ilex verticillata 'FarrowMrP' / Mr. Poppins® Winterberry
 Itea virginica 'Henry's Garnet' / Henry's Garnet Sweetspire
 Itea virginica 'Sprich' TM / Little Henry Sweetspire
 Physocarpus opulifolius 'SMPOTW' / Tiny Wine® Ninebark
 Physocarpus opulifolius 'Summer Wine' / Summer Wine Ninebark
 Potentilla fruticosa 'Goldfinger' / Goldfinger Potentilla
 Viburnum dentatum 'Blue Muffin' / Blue Muffin Arrowwood Viburnum
 Viburnum plicatum tomentosum 'Summer Snowflake' / Summer Snowflake Viburnum
 Viburnum trilobum 'Compactum' / Compact American Cranberry Viburnum
 Viburnum x burkwoodii 'Mohawk' / Mohawk Viburnum
 Weigela florida 'Bokraspiwi' / Spilled Wine® Weigela

- EVERGREEN SHRUB**
 3 Gal. Container, B&B
 Ilex glabra 'Shamrock' / Shamrock Inkberry Holly
 Picea pungens glauca 'Globosa Nana' / Dwarf Globe Blue Spruce
 Taxus x media 'Densiformis' / Dense Anglo-Japanese Yew
 Taxus x media 'Everlow' / Everlow Anglo-Japanese Yew
 Thuja occidentalis 'Holmstrup' / Holmstrup Arborvitae
 Thuja occidentalis 'Hetz Midget' / Hetz Midget Arborvitae

- GRASS OR PERENNIAL MASS**
 Liriope muscari 'Big Blue' / Big Blue Lilyturf

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CERTIFIED BY

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PROJECT PHASE:
PRELIMINARY DOCUMENTS

REVISION SCHEDULE

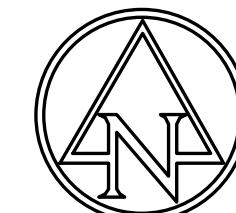
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Project Number 2023.00311

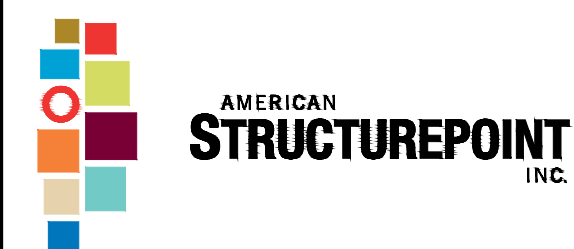
OVERALL LANDSCAPE PLAN

L100

PLOT DATE: 5/7/2024 6:01 PM
 PLOT SCALE: 1"=120'
 EDITED BY: LKLESSLER
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 EDIT DATE: 5/7/2024



0' 60' 120'
SCALE: 1"=60'



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THE MARKETPLACE ON 146TH

146th Street & Howe Road
Noblesville, Indiana

CONCEPT PLANT KEY

Note: See L100 for comprehensive species listing.
 DECIDUOUS TREE
 2.5" Caliper, B&B. Street Trees shall only be from the species as noted on plant list on L100.

EVERGREEN TREE
 6' Ht.

NARROW EVERGREEN TREE
 6' Ht.

ORNAMENTAL TREE
 6' Ht. minimum, B&B

DECIDUOUS SHRUB
 3 Gal. Container, B&B

EVERGREEN SHRUB
 3 Gal. Container, B&B

GRASS OR PERENNIAL MASS

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ISSUANCE INDEX

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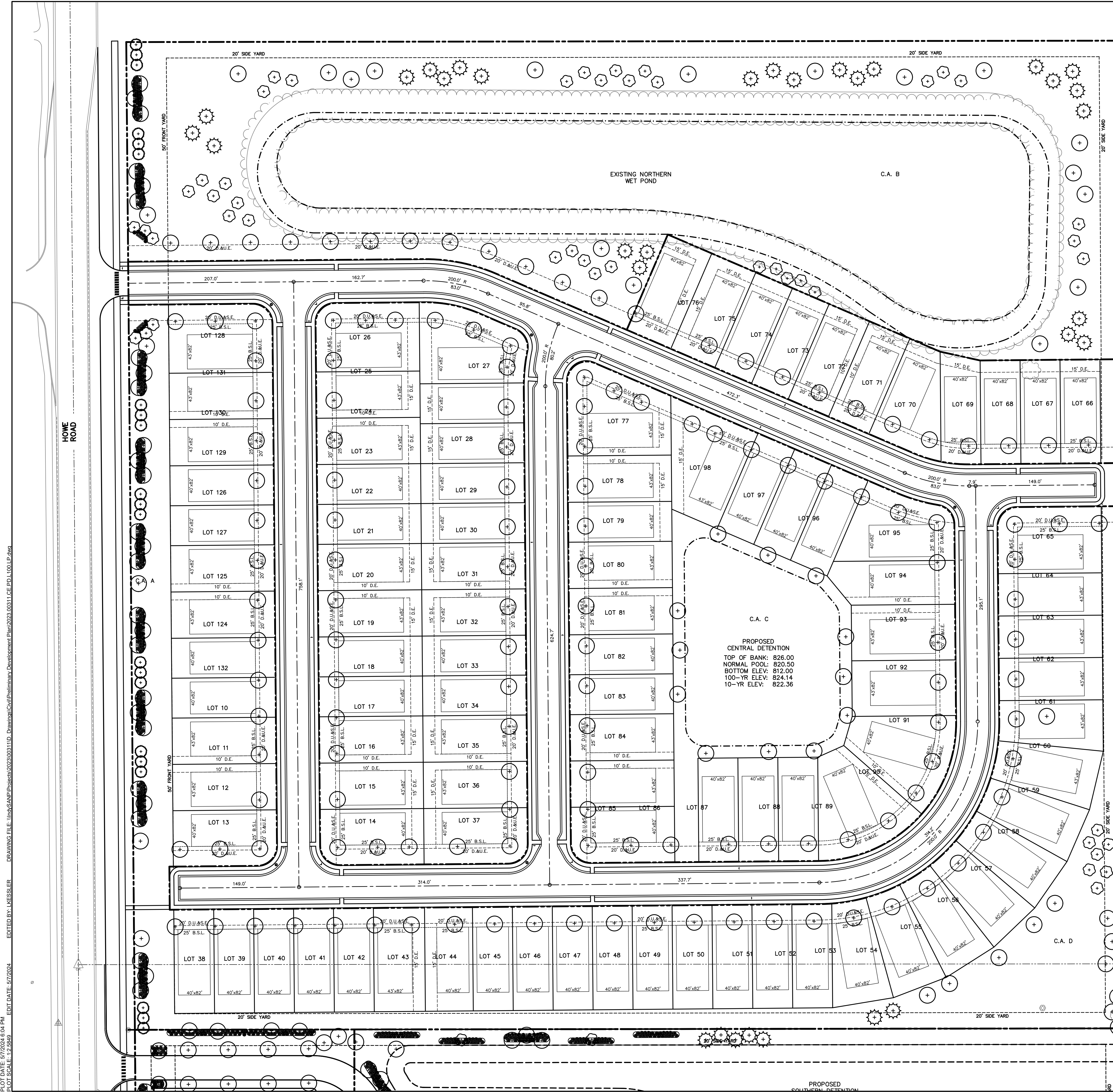
REVISION SCHEDULE

NO.	DESCRIPTION	DATE

Project Number 2023.00311

LANDSCAPE PLAN

L101



PLANTING ORDINANCE REQUIREMENTS

ARTICLE 8, PART E, SECTION 8.A.1.1 REQUIREMENTS
 146TH STREET CORRIDOR
 The 146th Street Corridor will require 5 deciduous trees at 3.5 inch caliper, five ornamental trees plus either four evergreen trees or eight large variety evergreen shrubs planted in massing per 200 linear feet.

ARTICLE 8, PART E, SECTION 8.C.2 REQUIREMENTS
 INTERIOR PARKING LOT PLANTING
 In parking lots with over 200 spaces, internal landscape islands equal to at least 15% of the paved surface shall be provided. These percentages are exclusive of perimeter landscaping. These shall contain at least one shade tree per 120 square feet, shrubs at a rate of one shrub per 25 square feet, and groundcover and/or perennials are also required.

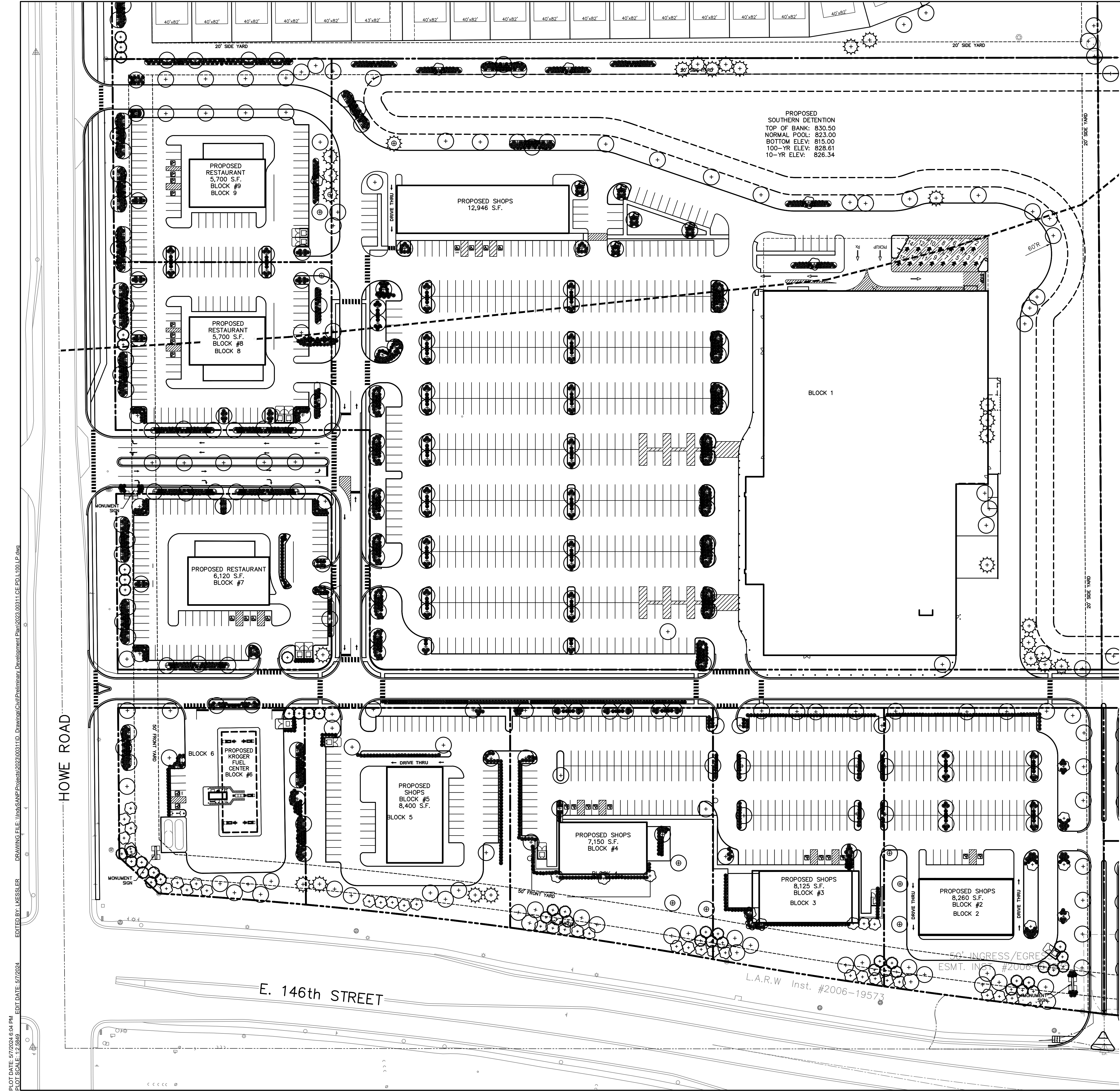
ARTICLE 8, PART E, SECTION 8.C.3 REQUIREMENTS
 BUILDING BASE LANDSCAPING
 Building base landscaping shall be one ornamental tree for every 25 of facade, and one shrub for every 4 of building facade. These materials should be clustered and placed within 10' of the building in defined beds of groundcover.

ARTICLE 8, PART E, SECTION 3.A.2.b REQUIREMENTS
 LANDSCAPE BUFFER YARD
 Along primary arterials, a berm and landscape treatment shall be installed that will buffer buildings and parking facilities from view. The berm should be at least 4 feet in height.

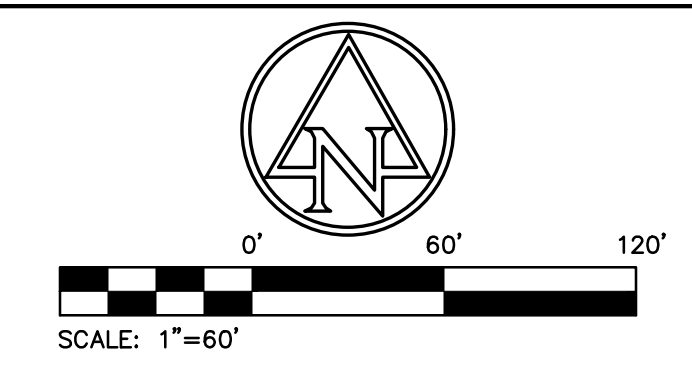
ARTICLE 12, SECTION 5.D.2 REQUIREMENTS
 PERIMETER PARKING LOT LANDSCAPING
 Plantings shall be pursuant to the buffering requirements of Article 12; along rear and interior yards abutting a non-residential district require a 10-foot-wide perimeter landscape area shall include two (2) staggered canopy trees and 33 staggered deciduous or evergreen shrubs per 100 linear feet.

ARTICLE 8, SECTION 3.A.2.a REQUIREMENTS
 STREET TREE LANDSCAPING
 Deciduous street trees of 2.5 to 3-inch caliper at the rate of one tree for every 40 linear feet of right-of-way are required to be installed in a mulch bed of a maximum 8 feet in diameter.

PLOT DATE: 5/7/2024 6:04 PM
 EDIT DATE: 5/7/2024
 EDITED BY: LKLESSLER
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 PLOT SCALE: 1"=60'



PROPOSED
SOUTHERN DETENTION
TOP OF BANK: 830.50
NORMAL POOL: 823.00
BOTTOM ELEV: 815.00
100-YR ELEV: 828.61
10-YR ELEV: 826.34



CONCEPT PLANT KEY

Note: See L100 for comprehensive species listing.
 + DECIDUOUS TREE
 2.5" Caliper, B&B. Street Trees shall only be from the species as noted on plant list on L100.

⊛ EVERGREEN TREE
 6' Ht.

⊙ NARROW EVERGREEN TREE
 6' Ht.

⊕ ORNAMENTAL TREE
 6' Ht. minimum, B&B

• DECIDUOUS SHRUB
 3 Gal. Container, B&B

• EVERGREEN SHRUB
 3 Gal. Container, B&B

▨ GRASS OR PERENNIAL MASS

PLANTING ORDINANCE REQUIREMENTS

**ARTICLE 8, PART E, SECTION 8.A.11 REQUIREMENTS
146TH STREET CORRIDOR**
 The 146th Street Corridor will require 5 deciduous trees at 3.5 inch caliper, five ornamental trees plus either four evergreen trees or eight large variety evergreen shrubs planted in massing per 200 linear feet.

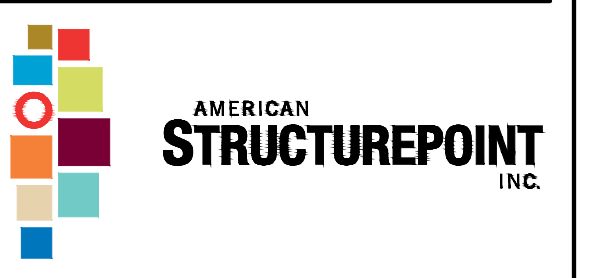
**ARTICLE 8, PART E, SECTION 8.C.2 REQUIREMENTS
INTERIOR PARKING LOT PLANTING**
 In parking lots with over 200 spaces, internal landscape islands equal to at least 15% of the paved surface shall be provided. These percentages are exclusive of perimeter landscaping. These shall contain at least one shade tree per 120 square feet, shrubs at a rate of one shrub per 25 square feet, and groundcover and/or perennials are also required.

**ARTICLE 8, PART E, SECTION 8.C.3 REQUIREMENTS
BUILDING BASE LANDSCAPING**
 Building base landscaping shall be one ornamental tree for every 25 of facade, and one shrub for every 4 of building facade. These materials should be clustered and placed within 10' of the building in defined beds of groundcover.

**ARTICLE 8, PART E, SECTION 3.A.2.b REQUIREMENTS
LANDSCAPE BUFFER YARD**
 Along primary arterials, a berm and landscape treatment shall be installed that will buffer buildings and parking facilities from view. The berm should be at least 4 feet in height.

**ARTICLE 12, SECTION 5.D.2 REQUIREMENTS
PERIMETER PARKING LOT LANDSCAPING**
 Plantings shall be pursuant to the buffering requirements of Article 12; along rear and interior yards abutting a non-residential district require a 10-foot-wide perimeter landscape area shall include two (2) staggered canopy trees and 33 staggered deciduous or evergreen shrubs per 100 linear feet.

**ARTICLE 8, SECTION 3.A.2.a REQUIREMENTS
STREET TREE LANDSCAPING**
 Deciduous street trees of 2.5 to 3-inch caliper at the rate of one tree for every 40 linear feet of right-of-way are required to be installed in a mulch bed of a maximum 8 feet in diameter.



9025 River Road, Suite 200 | Indianapolis, Indiana 46240
 TEL: 317.547.5580 | FAX: 317.543.0270
 www.structurepoint.com

THE MARKETPLACE ON 146TH

146th Street & Howe Road
 Noblesville, Indiana

**APPROVAL PENDING
NOT FOR CONSTRUCTION**
 IN SUBMITTING BIDS IN RELIANCE ON THESE PLANS THE CONTRACTOR ASSUMES ALL RISKS OF ADDITIONAL COSTS OF REVISIONS DUE TO REQUIREMENTS OF THE OWNER OR GOVERNMENTAL AUTHORITIES AND MATERIAL REVISIONS IN THE COURSE OF COMPLETING THE FINAL DESIGN.

CERTIFIED BY

ISSUANCE INDEX

DATE:	5/7/2024
PROJECT PHASE:	PRELIMINARY DOCUMENTS

REVISION SCHEDULE

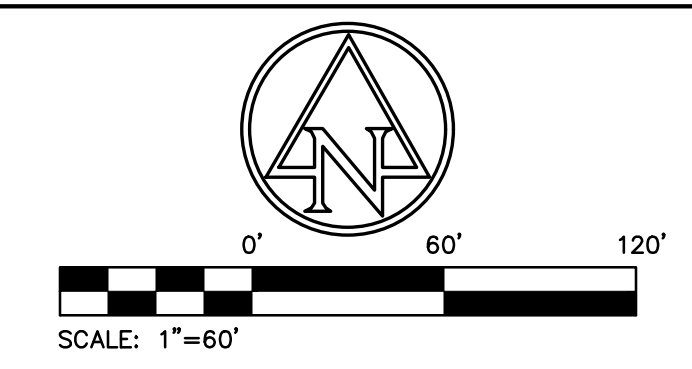
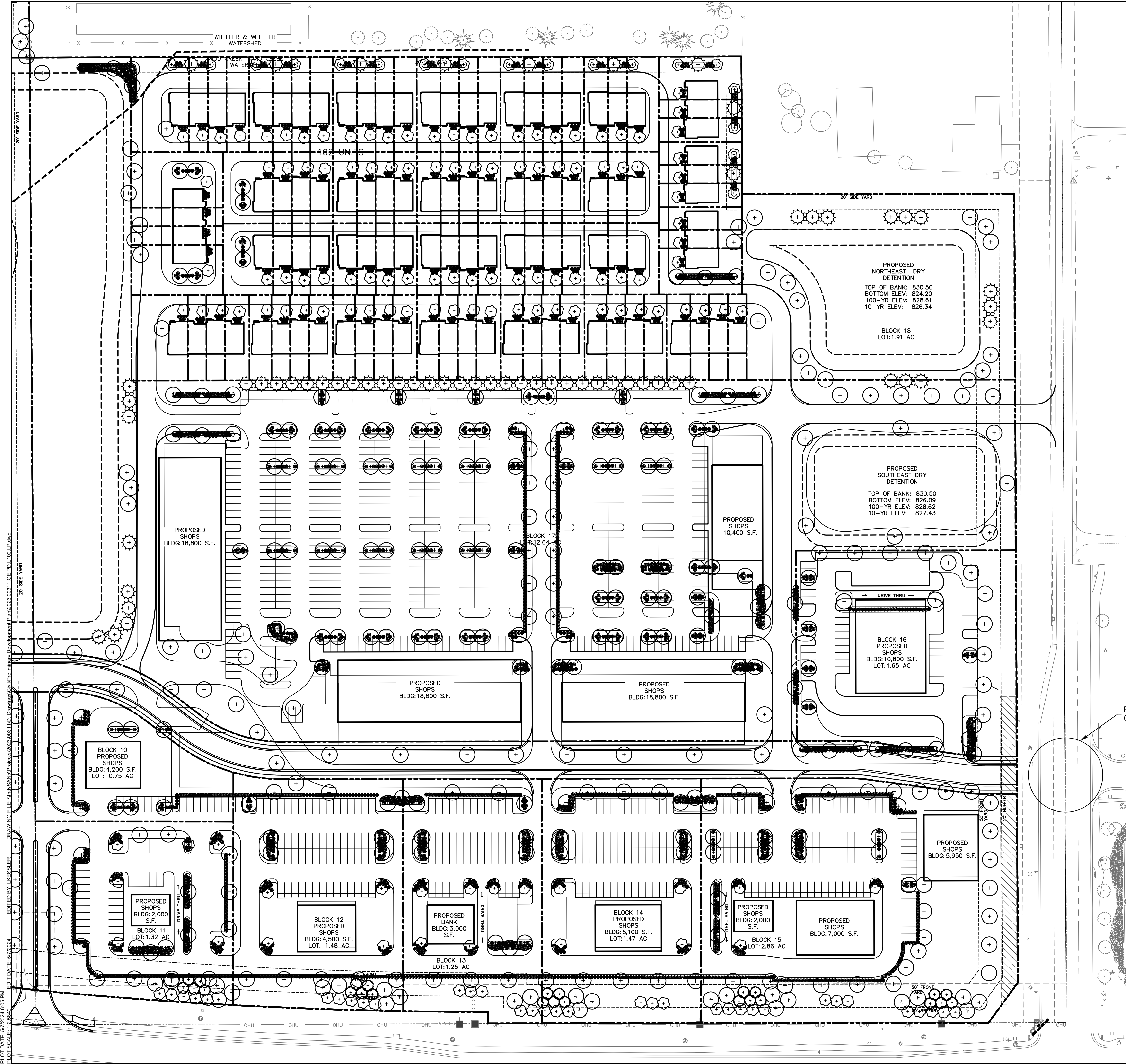
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Project Number 2023.00311

LANDSCAPE PLAN

L102



PLOT DATE: 5/7/2024 6:04 PM
 PLOT SCALE: 1"=60'
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 PROJECT: 2023.00311
 SHEET: L102 OF 100



THE MARKETPLACE ON 146TH

146th Street & Howe Road
Noblesville, Indiana

CONCEPT PLANT SCHEDULE

-  **DECIDUOUS TREE**
2.5" Caliper, B&B. Street Trees shall only be from the species as noted below.
-  **EVERGREEN TREE**
6" Ht.
-  **NARROW EVERGREEN TREE**
6" Ht.
-  **ORNAMENTAL TREE**
6" Ht. minimum, B&B
-  **DECIDUOUS SHRUB**
3 Gal. Container, B&B
-  **EVERGREEN SHRUB**
3 Gal. Container, B&B
-  **GRASS OR PERENNIAL MASS**

**APPROVAL PENDING
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CERTIFIED BY

ISSUANCE INDEX	
DATE:	5/7/2024
PROJECT PHASE:	PRELIMINARY DOCUMENTS

PLANTING ORDINANCE REQUIREMENTS

**ARTICLE 8, PART E, SECTION 8.A.11 REQUIREMENTS
146TH STREET CORRIDOR**
The 146th Street Corridor will require 5 deciduous trees at 3.5 inch caliper, five ornamental trees plus either four evergreen trees or eight large variety evergreen shrubs planted in massing per 200 linear feet.

**ARTICLE 8, PART E, SECTION 8.C.2 REQUIREMENTS
INTERIOR PARKING LOT PLANTING**
In parking lots with over 200 spaces, internal landscape islands equal to at least 15% of the paved surface shall be provided. These percentages are exclusive of perimeter landscaping. These shall contain at least one shade tree per 120 square feet, shrubs at a rate of one shrub per 25 square feet, and groundcover and/or perennials are also required.

**ARTICLE 8, PART E, SECTION 8.C.3 REQUIREMENTS
BUILDING BASE LANDSCAPING**
Building base landscaping shall be one ornamental tree for every 25 of facade, and one shrub for every 4 of building facade. These materials should be clustered and placed within 10' of the building in defined beds of groundcover.

**ARTICLE 8, PART E, SECTION 3.A.2.b REQUIREMENTS
LANDSCAPE BUFFER YARD**
Along primary arterials, a berm and landscape treatment shall be installed that will buffer buildings and parking facilities from view. The berm should be at least 4 feet in height.

**ARTICLE 12, SECTION 5.D.2 REQUIREMENTS
PERIMETER PARKING LOT LANDSCAPING**
Plantings shall be pursuant to the buffering requirements of Article 12; along rear and interior yards abutting a non-residential district require a 10-foot-wide perimeter landscape area shall include two (2) staggered canopy trees and 33 staggered deciduous or evergreen shrubs per 100 linear feet.

**ARTICLE 8, SECTION 3.A.2.a REQUIREMENTS
STREET TREE LANDSCAPING**
Deciduous street trees of 2.5 to 3-inch caliper at the rate of one tree for every 40 linear feet of right-of-way are required to be installed in a mulch bed of a maximum 8 feet in diameter.

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

Project Number 2023.00311

LANDSCAPE PLAN

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 EDIT DATE: 5/7/2024
 EDITED BY: LKRESSLER
 DRAWING FILE: W:\025\0250311\0250311.D - Drawings\0250311\Development\Plan\2023\0311_CEP_L103_LP.dwg

EXHIBIT C
(page 1 of 7)

Architectural Standards

Architectural Standards - Single Family Attached Residential			50' Lot Homes
General/ Miscellaneous	Floor Area/Dwelling Unit (Minimum)	One Story	1,500SF
		Two Story	1,600SF
	Lot Coverage (maximum)		N/A
	Building Height (Maximum)		35'
	Corner Breaks (Minimum)	Primary Architectural Plane	2
		Secondary Architectural Plane	0
	Porch	Required	Y
	Address Block Required		Y
Allowable Foundation Type	Slab	Y	
	Basement	Y	
Materials	Masonry Percentage (Minimum)	Primary Architectural Plane	10%
		Secondary Architectural Plane	NA
		Chimney	N
	Approved Materials (Non Masonry)	Fiber Cement Board	Y
		Stucco	N
		Wood	Y
Roof	Roof Pitch (Minimum)	Primary Ridge	6:12
	Roof Ridgelines (Minimum)	Two-Story	2
	Roof Overhang (Minimum)	All Architectural Planes	8"
	Allowable Vent Location (Roof)	Primary Architectural Plane	Y
		Secondary Architectural Plane	Y
Windows	Window Size (minimum)	Standard Window	8SF
		Accent Window	4SF
	Number of Windows (Minimum)	Primary Architectural Plane	3
		Secondary Architectural Plane (side)	2
		Secondary Architectural Plane (rear)	2
Window Treatment Required	Primary Architectural Plane	Y	
	Secondary Architectural Plane	N	
Garage	Garage Location	Primary Architectural Plane	Y
	Garage Door Percentage (Maximum)	Two-Story	50%

Additional Commitments:

1. 12-inch overhang required for non-masonry areas; otherwise, it is an 8-inch minimum adjacent to masonry.
2. Decorative garage doors (front load products).
3. If masonry does not meet the standards adopted, then three building materials must be provided per structure.
4. Vinyl shall be prohibited.
5. Garage doors shall either be decorative or shall include windows.
6. Tree and shrub plantings shall not be required in the peripheral yard area where there is a mature section of vegetation proposed to be maintained, generally in the north and east sides of the development.
7. The front façade shall use three building materials per structure.
8. Side elevations of corner lots shall be enhanced to match the front elevation with additional materials such as waster table of masonry, brick wainscot or masonry type product. The lots requiring side elevation enhancements are indicated on the attached Exhibit.
9. The front porch requirements do not apply. No corner lot shall be a B887-A which is also known as Sanborn A.

EXHIBIT C
(page 2 of 7)

Architectural Standards

Architectural Standards - Town Home Residential			
General	Floor Area/Dwelling Unit (Minimum)	One Story	N/A
		Two Story	N/A
	Lot Coverage (maximum)		N/A
	Building Height (Maximum)		35'
	Porch	Required	N
	Address Block Required		Y
	Allowable Foundation Type	Slab	Y
Basement		Y	
Materials	Masonry Percentage (Minimum)	Primary Architectural Plane	N/A
		Secondary Architectural Plane	N/A
		Chimney	N
	Approved Materials (Non Masonry)	Fiber Cement Board	Y
		Stucco	Y
		Wood	Y
		Vinyl	N
Aluminum	N		
Roof	Roof Pitch (Minimum)	Primary Ridge	6:12
	Roof Ridgelines (Minimum)	Two-Story	2
	Roof Overhang (Minimum)	All Architectural Planes	8"
	Allowable Vent Location (Roof)	Primary Architectural Plane	Y
		Secondary Architectural Plane	Y
Windows	Window Size (minimum)	Number of Windows per elevation	4
		Standard Window	N/A
		Accent Window	N/A
Garage	Garage Location	Primary Architectural Plane	N
	Garage Door Percentage (Maximum)	Two-Story	N/A

Additional Commitments:

1. A masonry wainscot shall be provided on all elevations. In general, the masonry wainscot will extend to a level within the bottom third of the first-floor windows.
2. Fiber Cement Board shall not be permitted in the required wainscot area.
3. Stucco and/or EIFS shall not be permitted within 8 feet of ground level.
4. Dwellings shall not feature long, unbroken expanses of wall. This may be accomplished by including, but not limited to, any of the following features unless on a required firewall surface area: a) windows and door openings, b) changes in roof line or height, c) details and trim appropriate to the style and mass of the building, d) use of different materials, textures and material placement, e) balconies, recessed entries, and covered porches, f) bays and towers.
5. A dwelling that contains a story and a half shall have a minimum of one (1) window on facades where siding area is present above the first story.
6. A door on the side of a dwelling may substitute for one (1) window on the same side of the dwelling. In the case of contiguous windows, each window shall be deemed a window for purposes of the minimum number of requirements.
7. Garage doors shall have raised panels.
8. All dwelling roofs shall include dimensional shingles. Three-tab shingles are not permitted.

EXHIBIT C
(page 3 of 7)

Building Elevation Exhibits



EXHIBIT C
(page 4 of 7)

Building Elevation Exhibits



EXHIBIT C
(page 5 of 7)

Building Elevation Exhibits



EXHIBIT C
(page 6 of 7)

Building Elevation Exhibit

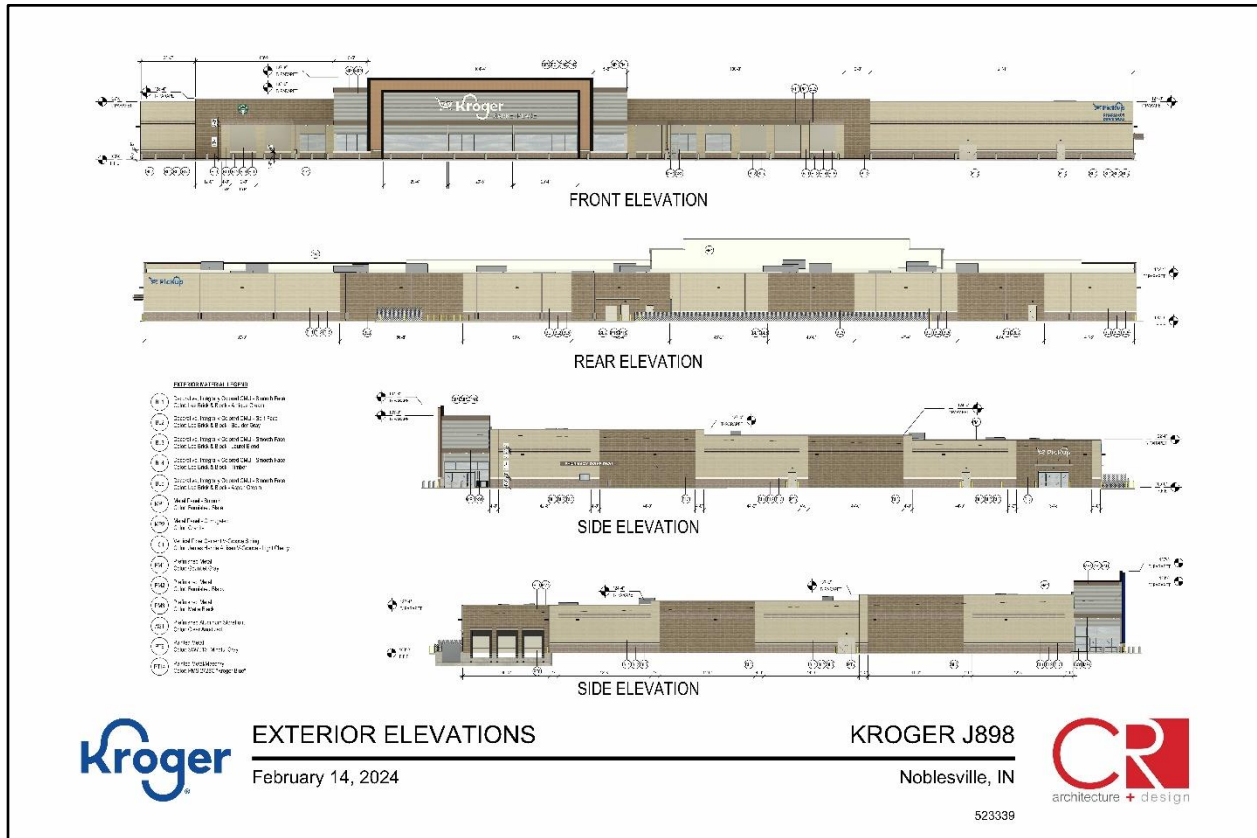


EXHIBIT C
(page 7 of 7)

Outlot Character Exhibits

