

Kingsley at Hyde Park

Rezone and PD Ordinance Request

CITY OF NOBLESVILLE, INDIANA

June 17, 2024

Plan Commission

Applicant: Trinitas Development, LLC

Attorneys: Nelson & Frankenberger, LLC

Jim Shinaver, Attorney

Jon C. Dobosiewicz, Land Use Professional

(317) 844-0106

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TAB 1

PROJECT DESCRIPTION

The applicant, Trinitas Development, LLC (“Trinitas”), is seeking rezone approval and preliminary development plan approval (collectively the “Request”) for a portion of real estate that consist of approximately 42 acres which is generally located north of and adjacent to 136th Street and west of and adjacent to Brooks School Road and is identified by the Hamilton County, Indiana’s Auditor’s Office as Tax Parcel Identification Number 13-11-22-00-00-008.000 (the “Real Estate”). The Real Estate is shown on the Site Location Map included behind Tab 2.

The Real Estate is located within the area known as “Hyde Park”. The portions of the Real Estate that are the subject of the Request are currently zoned (i) Corporate Campus Planned Development (“CCPD”) Interchange Flex Subdistrict and Office/Flex Land Use Type and (ii) CCPD Interchange Flex Subdistrict and Multi-family/Commercial/Office/Flex Land Use Type.

The Request seeks to rezone the Real Estate to the “Kingsley at Hyde Park Planned Development Ordinance” to create two (2) new underlying zoning districts which will be (i) the CCPD Secondary Corridor Subdistrict and Commercial / Commercial/Office Land Use Type for Area A of the development and (ii) CCPD Mixed Residential Subdistrict and Multi-family/Commercial/Office/Flex Land Use Type for Area B of the development.

Kingsley at Hyde Park is a master planned, purpose-built for-rent residential community consisting of 300 homes that will also include commercial/retail area at the northwest corner of 136th Street and Brooks School Road. The residential portion of the community will include a variety of townhome and villa floor plans, as well as a variety of amenities for its residents, including a clubhouse, pool, and fitness facilities. As one can see from a review of the Color Site Plan, included behind Tab 3, the community is split into north and south parcels that are separated by the Hyde Park regional detention pond which also serves the project which has been included in the overall Hyde Park master plan. Upon completion and build-out, Trinitas estimates its overall investment in the community will be 90 million dollars. Behind Tab 4 and Tab 5, respectively, are the Residential Architecture Elevations and the Commercial Architectural Elevations.

Comprehensive Plan Statement

Hyde Park is a master-planned development of over 275 acres that includes a variety of businesses, shops, restaurants, residential options and recreational uses within walking and biking distance of Hamilton Town Center and other businesses. In addition, Hyde Park is creating over 160 acres park and open space system with over 2 miles of walking and biking trails.

Kingsley at Hyde Park is consistent with the Hyde Park land use plan approved in 2021 which designates that subject Real Estate to include townhomes, duplexes, and four-plexes and neighborhood-serving Retail at the northwest corner of 136th Street and Brooks School Road.

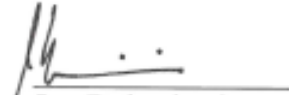
The Kingsley at Hyde Park plan will contribute to the mix of diverse housing options and small business offerings anticipated within the overall Hyde Park area.

Associated with the Kingsley at Hyde Park PD Ordinance request, is the Preliminary Development Plan (See Tab 6), including the landscape plan.

Finally, behind Tab 7 and Tab 8, respectively, are the CCPD Rezone Ordinance and the Kingsley at Hyde Park PD Ordinance.

We look forward to presenting this request to the Plan Commission on June 17, 2024.

Respectfully submitted,

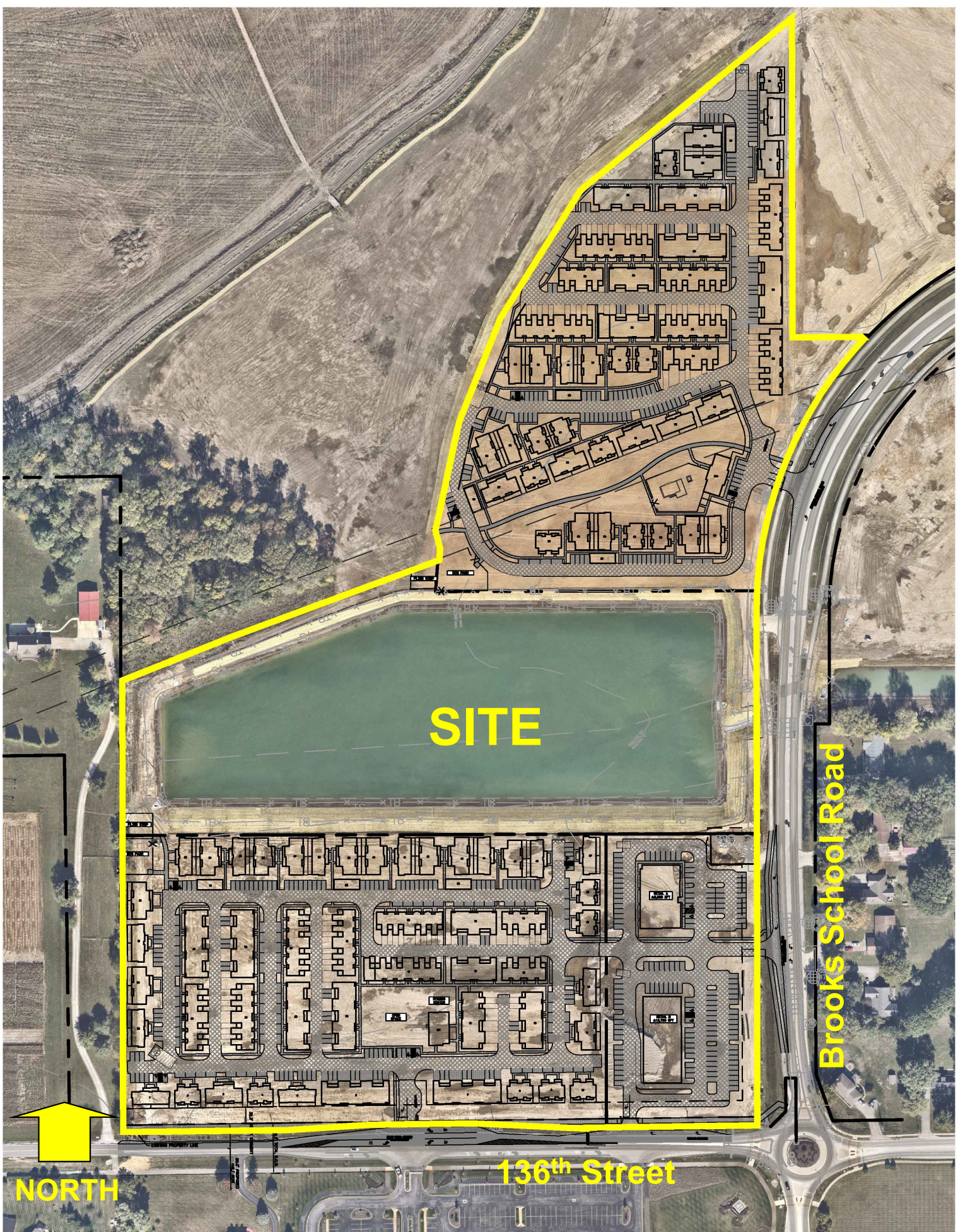


Jon Dobosiewicz



Jim Shihaver

TAB 2



Kingsley at Hyde Park
SITE LOCATION MAP

TAB 3



TAB 4



02 Duplex Type A
Rear Elevation
Scale: 3/32" = 1'-0"



01 Duplex Type A
Front Elevation
Scale: 3/32" = 1'-0"

MATERIAL LEGEND	
FCLS	FIBER CEMENT LAP SIDING, SMOOTH FINISH, 6" EXPOSURE, COLOR AS SCHEDULED
FCBB	BOARD AND BATTEN VERTICAL FIBER CEMENT SIDING, COLOR AS SCHEDULED, BATTENS SPACED 1'-0" O.C.
FCPS	FIBER CEMENT PANEL SIDING, SMOOTH FINISH, COLOR AS SCHEDULED
FCT	FIBER CEMENT TRIM
FCG	FIBER CEMENT CORNICE
FB-1	FACE BRICK #1 - LIGHT
FB-2	FACE BRICK #2 - DARK
SC	BRICK SOLDIER COURSING
CSS	CAST STONE SILL
AS	ASPHALT SHINGLES
MR	PREFINISHED STANDING SEAM METAL ROOF
SP	STRUCTURAL POST EQUAL TO WOODTONE REALPOST, PAINTED TO MATCH TRIM.
VN	VINYL FRAME SINGLE HUNG WINDOW
GV	DECORATIVE GABLE VENT, PAINTED TO MATCH TRIM
PMC	PREFABRICATED METAL CANOPY
HB	HERRINGBONE BRICK PATTERN
BY	DASHED AREA FOR PROPOSED FENCED BACKYARD
TSV	THIN STONE VENEER

Trinitas at Hyde Park
Noblesville, IN 46060
Duplex Villa Building Type A Elevations

A1

Duplex Villa Building Type A ((2) 1 Bedroom Units)											
Elevation	Masonry (Sq. Ft.)	Fiber Cement Lap Siding (Sq. Ft.)	Fiber Cement Board & Batten Siding (Sq. Ft.)	Fiber Cement Panel Siding (Sq. Ft.)	Windows & Doors (Sq. Ft.)	Garage Door (Sq. Ft.)	Total (Sq. Ft.)	Total - Windows & Doors (Sq. Ft.)	Masonry (%)	Fiber Cement (%)	Garage Door (%)
Front	250	132	86	0	172	0	640	468	53%	47%	n/a
Rear	0	462	68	0	60	0	590	530	0%	100%	n/a
Left Side	55	209	0	0	15	0	279	264	21%	79%	n/a
Right Side	55	209	0	0	15	0	279	264	21%	79%	n/a



02 Duplex Type A
Right Elevation
Scale: 3/32" = 1'-0"



01 Duplex Type A
Left Elevation
Scale: 3/32" = 1'-0"

MATERIAL LEGEND	
FCLS	FIBER CEMENT LAP SIDING, SMOOTH FINISH, 6" EXPOSURE, COLOR AS SCHEDULED
FCBB	BOARD AND BATTEN VERTICAL FIBER CEMENT SIDING, COLOR AS SCHEDULED, BATTENS SPACED 1'-0" O.C.
FCPS	FIBER CEMENT PANEL SIDING, SMOOTH FINISH, COLOR AS SCHEDULED
FCT	FIBER CEMENT TRIM
FCG	FIBER CEMENT CORNICE
FB-1	FACE BRICK #1 - LIGHT
FB-2	FACE BRICK #2 - DARK
SC	BRICK SOLDIER COURSING
CSS	CAST STONE SILL
AS	ASPHALT SHINGLES
MR	PREFINISHED STANDING SEAM METAL ROOF
SP	STRUCTURAL POST EQUAL TO WOODTONE REALPOST. PAINTED TO MATCH TRIM.
VN	VINYL FRAME SINGLE HUNG WINDOW
GV	DECORATIVE GABLE VENT, PAINTED TO MATCH TRIM
PMC	PREFABRICATED METAL CANOPY
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BY	DASHED AREA FOR PROPOSED FENCED BACKYARD
TSV	THIN STONE VENEER

STUDIO M
ARCHITECTURE & PLANNING

Architect

TRINITAS
OWNER

Owner

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April 25, 2024

Trinitas at Hyde Park
Noblesville, IN 46060
Duplex Villa Building Type A Elevations



02 Duplex Type B
Rear Elevation
Scale: 3/32" = 1'-0"



01 Duplex Type B
Front Elevation
Scale: 3/32" = 1'-0"

MATERIAL LEGEND	
FCLS	FIBER CEMENT LAP SIDING, SMOOTH FINISH, 6" EXPOSURE, COLOR AS SCHEDULED
FCBB	BOARD AND BATTEN VERTICAL FIBER CEMENT SIDING, COLOR AS SCHEDULED, BATTENS SPACED 1'-0" O.C.
FCPS	FIBER CEMENT PANEL SIDING, SMOOTH FINISH, COLOR AS SCHEDULED
FCT	FIBER CEMENT TRIM
FCG	FIBER CEMENT CORNICE
FB-1	FACE BRICK #1 - LIGHT
FB-2	FACE BRICK #2 - DARK
SC	BRICK SOLDIER COURSING
CSS	CAST STONE SILL
AS	ASPHALT SHINGLES
MR	PREFINISHED STANDING SEAM METAL ROOF
SP	STRUCTURAL POST EQUAL TO WOODTONE REALPOST, PAINTED TO MATCH TRIM.
VN	VINYL FRAME SINGLE HUNG WINDOW
GV	DECORATIVE GABLE VENT, PAINTED TO MATCH TRIM
PMC	PREFABRICATED METAL CANOPY
HB	HERRINGBONE BRICK PATTERN
BY	DASHED AREA FOR PROPOSED FENCED BACKYARD
TSV	THIN STONE VENEER
BD	BABY DORMER

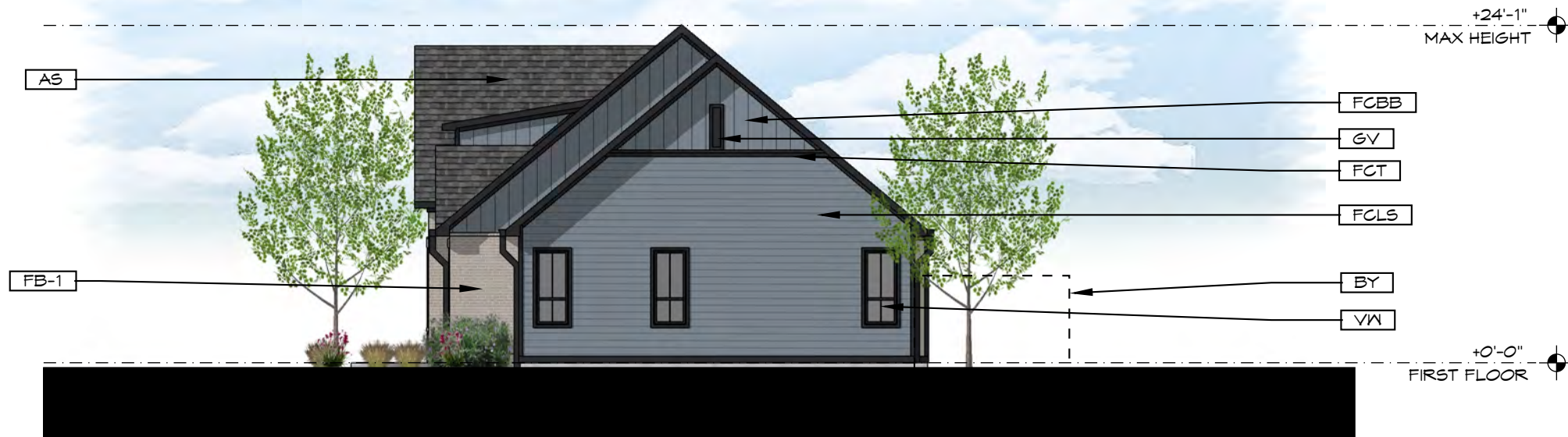
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 Duplex Villa Building Type B Elevations

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Duplex Villa Building Type B ((2) 2 Bedroom Units)											
Elevation	Masonry (Sq. Ft.)	Fiber Cement Lap Siding (Sq. Ft.)	Fiber Cement Board & Batten Siding (Sq. Ft.)	Fiber Cement Panel Siding (Sq. Ft.)	Windows & Doors (Sq. Ft.)	Garage Door (Sq. Ft.)	Total (Sq. Ft.)	Total - Windows & Doors (Sq. Ft.)	Masonry (%)	Fiber Cement (%)	Garage Door (%)
Front	302	214	72	0	274	0	862	588	51%	49%	n/a
Rear	0	390	127	0	130.5	0	647.5	517	0%	100%	n/a
Left Side	50	225	160	0	45	0	480	435	11%	89%	n/a
Right Side	50	225	160	0	45	0	480	435	11%	89%	n/a

A3



02 Duplex Type B
Right Elevation
Scale: 3/32" = 1'-0"



01 Duplex Type B
Left Elevation
Scale: 3/32" = 1'-0"

MATERIAL LEGEND	
FCLS	FIBER CEMENT LAP SIDING, SMOOTH FINISH, 6" EXPOSURE, COLOR AS SCHEDULED
FCBB	BOARD AND BATTEN VERTICAL FIBER CEMENT SIDING, COLOR AS SCHEDULED, BATTENS SPACED 1'-0" O.C.
FCPS	FIBER CEMENT PANEL SIDING, SMOOTH FINISH, COLOR AS SCHEDULED
FCT	FIBER CEMENT TRIM
FCG	FIBER CEMENT CORNICE
FB-1	FACE BRICK #1 - LIGHT
FB-2	FACE BRICK #2 - DARK
SC	BRICK SOLDIER COURSING
CSS	CAST STONE SILL
AS	ASPHALT SHINGLES
MR	PREFINISHED STANDING SEAM METAL ROOF
SP	STRUCTURAL POST EQUAL TO WOODTONE REALPOST. PAINTED TO MATCH TRIM.
VN	VINYL FRAME SINGLE HUNG WINDOW
GV	DECORATIVE GABLE VENT, PAINTED TO MATCH TRIM
PMC	PREFABRICATED METAL CANOPY
HB	HERRINGBONE BRICK PATTERN
BY	DASHED AREA FOR PROPOSED FENCED BACKYARD
TSV	THIN STONE VENEER

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Architect

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Trinitas at Hyde Park
 Noblesville, IN 46060
 Duplex Villa Building Type B Elevations



02 Duplex Type C
Rear Elevation
Scale: 3/32" = 1'-0"

MATERIAL LEGEND	
FCLS	FIBER CEMENT LAP SIDING, SMOOTH FINISH, 6" EXPOSURE, COLOR AS SCHEDULED
FCBB	BOARD AND BATTEN VERTICAL FIBER CEMENT SIDING, COLOR AS SCHEDULED, BATTENS SPACED 1'-0" O.C.
FCPS	FIBER CEMENT PANEL SIDING, SMOOTH FINISH, COLOR AS SCHEDULED
FCT	FIBER CEMENT TRIM
FCC	FIBER CEMENT CORNICE
FB-1	FACE BRICK #1 - LIGHT
FB-2	FACE BRICK #2 - DARK
SC	BRICK SOLDIER COURSING
CSS	CAST STONE SILL
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VW	VINYL FRAME SINGLE HUNG WINDOW
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PMC	PREFABRICATED METAL CANOPY
HB	HERRINGBONE BRICK PATTERN
BY	DASHED AREA FOR PROPOSED FENCED BACKYARD
TSV	THIN STONE VENEER



01 Duplex Type C
Front Elevation
Scale: 3/32" = 1'-0"

Duplex Villa Building Type C ((2) 3 Bedroom Units)											
Elevation	Masonry (Sq. Ft.)	Fiber Cement Lap Siding (Sq. Ft.)	Fiber Cement Board & Batten Siding (Sq. Ft.)	Fiber Cement Panel Siding (Sq. Ft.)	Windows & Doors (Sq. Ft.)	Garage Door (Sq. Ft.)	Total (Sq. Ft.)	Total - Windows & Doors (Sq. Ft.)	Masonry (%)	Fiber Cement (%)	Garage Door (%)
Front	665	184	165	0	324	0	1338	1014	66%	34%	n/a
Rear	0	1008	98	0	209	0	1315	1106	0%	100%	n/a
Left Side	184	276	66	0	54	0	580	526	35%	65%	n/a
Right Side	184	276	66	0	54	0	580	526	35%	65%	n/a

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Noblesville, IN 46060
Duplex Villa Building Type C Elevations

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A5



02 Duplex Type C
Right Elevation
Scale: 3/32" = 1'-0"



01 Duplex Type C
Left Elevation
Scale: 3/32" = 1'-0"

MATERIAL LEGEND	
FCLS	FIBER CEMENT LAP SIDING, SMOOTH FINISH, 6" EXPOSURE, COLOR AS SCHEDULED
FCBB	BOARD AND BATTEN VERTICAL FIBER CEMENT SIDING, COLOR AS SCHEDULED, BATTENS SPACED 1'-0" O.C.
FCPS	FIBER CEMENT PANEL SIDING, SMOOTH FINISH, COLOR AS SCHEDULED
FCT	FIBER CEMENT TRIM
FCC	FIBER CEMENT CORNICE
FB-1	FACE BRICK #1 - LIGHT
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PMC	PREFABRICATED METAL CANOPY
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Trinitas at Hyde Park
Noblesville, IN 46060
Duplex Villa Building Type C Elevations

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02 Townhome Type B4
Left Elevation
Scale: 3/32" = 1'-0"

MATERIAL LEGEND	
FCLS	FIBER CEMENT LAP SIDING, SMOOTH FINISH, 6" EXPOSURE, COLOR AS SCHEDULED
FCBB	BOARD AND BATTEN VERTICAL FIBER CEMENT SIDING, COLOR AS SCHEDULED, BATTENS SPACED 1'-0" O.C.
FCPS	FIBER CEMENT PANEL SIDING, SMOOTH FINISH, COLOR AS SCHEDULED
FCT	FIBER CEMENT TRIM
FCC	FIBER CEMENT CORNICE
FB-1	FACE BRICK #1 - LIGHT
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GV	DECORATIVE GABLE VENT, PAINTED TO MATCH TRIM
PMC	PREFABRICATED METAL CANOPY
HB	HERRINGBONE BRICK PATTERN
BY	DASHED AREA FOR PROPOSED FENCED BACKYARD
TSV	THIN STONE VENEER



01 Townhome Type B4
Front Elevation
Scale: 3/32" = 1'-0"

Townhome Building Type B4 ((4) 2 Bedroom Units w/ Rear Garages)											
Elevation	Masonry (Sq. Ft.)	Fiber Cement Lap Siding (Sq. Ft.)	Fiber Cement Board & Batten Siding (Sq. Ft.)	Fiber Cement Panel Siding (Sq. Ft.)	Windows & Doors (Sq. Ft.)	Garage Door (Sq. Ft.)	Total (Sq. Ft.)	Total - Windows & Doors (Sq. Ft.)	Masonry (%)	Fiber Cement (%)	Garage Door (%)
Front	750	0	530	140	496	0	1916	1420	53%	47%	0%
Rear	0	724	576	0	355	300	1955	1600	0%	81%	15%
Left Side	270	279	155	0	42	0	746	704	38%	62%	0%
Right Side	270	279	155	0	42	0	746	704	38%	62%	0%



02 Townhome Type B4
Right Elevation
Scale: 3/32" = 1'-0"

MATERIAL LEGEND	
FCLS	FIBER CEMENT LAP SIDING, SMOOTH FINISH, 6" EXPOSURE, COLOR AS SCHEDULED
FCBB	BOARD AND BATTEN VERTICAL FIBER CEMENT SIDING, COLOR AS SCHEDULED, BATTENS SPACED 1'-0" O.C.
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FCC	FIBER CEMENT CORNICE
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VN	VINYL FRAME SINGLE HUNG WINDOW
GV	DECORATIVE GABLE VENT, PAINTED TO MATCH TRIM
PMC	PREFABRICATED METAL CANOPY
HB	HERRINGBONE BRICK PATTERN
BY	DASHED AREA FOR PROPOSED FENCED BACKYARD
TSV	THIN STONE VENEER



01 Townhome Type B4
Rear Elevation
Scale: 3/32" = 1'-0"

Trinitas at Hyde Park
Noblesville, IN 46060
Townhome Building Type B4 Elevations

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Architect

TRINITAS
Owner



02 Townhome Type B6
Left Elevation
Scale: 3/32" = 1'-0"

MATERIAL LEGEND	
FCLS	FIBER CEMENT LAP SIDING, SMOOTH FINISH, 6" EXPOSURE, COLOR AS SCHEDULED
FCBB	BOARD AND BATTEN VERTICAL FIBER CEMENT SIDING, COLOR AS SCHEDULED, BATTENS SPACED 1'-0" O.C.
FCPS	FIBER CEMENT PANEL SIDING, SMOOTH FINISH, COLOR AS SCHEDULED
FCT	FIBER CEMENT TRIM
FCC	FIBER CEMENT CORNICE
FB-1	FACE BRICK #1 - LIGHT
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PMC	PREFABRICATED METAL CANOPY
HB	HERRINGBONE BRICK PATTERN
BY	DASHED AREA FOR PROPOSED FENCED BACKYARD
TSV	THIN STONE VENEER



01 Townhome Type B6
Front Elevation
Scale: 3/32" = 1'-0"

Townhome Building Type B6 ((6) 2 Bedroom Units w/ Rear Garages)											
Elevation	Masonry (Sq. Ft.)	Fiber Cement Lap Siding (Sq. Ft.)	Fiber Cement Board & Batten Siding (Sq. Ft.)	Fiber Cement Panel Siding (Sq. Ft.)	Windows & Doors (Sq. Ft.)	Garage Door (Sq. Ft.)	Total (Sq. Ft.)	Total - Windows & Doors (Sq. Ft.)	Masonry (%)	Fiber Cement (%)	Garage Door (%)
Front	1026	150	460	446	714	0	2796	2082	49%	51%	0%
Rear	46	860	864	0	532	450	2752	2220	2%	78%	16%
Left Side	270	279	155	0	42	0	746	704	38%	62%	0%
Right Side	270	279	155	0	42	0	746	704	38%	62%	0%

Trinitas at Hyde Park
 Noblesville, IN 46060
 Townhome Building Type B6 Elevations



02 Townhome Type B6
Right Elevation
Scale: 3/32" = 1'-0"

MATERIAL LEGEND	
FCLS	FIBER CEMENT LAP SIDING, SMOOTH FINISH, 6" EXPOSURE, COLOR AS SCHEDULED
FCBB	BOARD AND BATTEN VERTICAL FIBER CEMENT SIDING, COLOR AS SCHEDULED, BATTENS SPACED 1'-0" O.C.
FCPS	FIBER CEMENT PANEL SIDING, SMOOTH FINISH, COLOR AS SCHEDULED
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FCC	FIBER CEMENT CORNICE
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Architect

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April 25, 2024



01 Townhome Type B6
Rear Elevation
Scale: 3/32" = 1'-0"

Trinitas at Hyde Park
Noblesville, IN 46060
Townhome Building Type B6 Elevations



02 Townhome Type B7
Left Elevation
Scale: 3/32" = 1'-0"

MATERIAL LEGEND	
FCLS	FIBER CEMENT LAP SIDING, SMOOTH FINISH, 6" EXPOSURE, COLOR AS SCHEDULED
FCBB	BOARD AND BATTEN VERTICAL FIBER CEMENT SIDING, COLOR AS SCHEDULED, BATTENS SPACED 1'-0" O.C.
FCPS	FIBER CEMENT PANEL SIDING, SMOOTH FINISH, COLOR AS SCHEDULED
FCT	FIBER CEMENT TRIM
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FB-1	FACE BRICK #1 - LIGHT
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PMC	PREFABRICATED METAL CANOPY
HB	HERRINGBONE BRICK PATTERN
BY	DASHED AREA FOR PROPOSED FENCED BACKYARD
TSV	THIN STONE VENEER



01 Townhome Type B7
Front Elevation
Scale: 3/32" = 1'-0"

Townhome Building Type B7 ((7) 2 Bedroom Units w/ Rear Garages)											
Elevation	Masonry (Sq. Ft.)	Fiber Cement Lap Siding (Sq. Ft.)	Fiber Cement Board & Batten Siding (Sq. Ft.)	Fiber Cement Panel Siding (Sq. Ft.)	Windows & Doors (Sq. Ft.)	Garage Door (Sq. Ft.)	Total (Sq. Ft.)	Total - Windows & Doors (Sq. Ft.)	Masonry (%)	Fiber Cement (%)	Garage Door (%)
Front	1290	233	460	464	796	0	3243	2447	53%	47%	0%
Rear	46	1008	1008	0	601	514	3177	2576	2%	78%	16%
Left Side	270	279	155	0	42	0	746	704	38%	62%	0%
Right Side	270	279	155	0	42	0	746	704	38%	62%	0%



02 Townhome Type B7
Right Elevation
Scale: 3/32" = 1'-0"

MATERIAL LEGEND	
FCLS	FIBER CEMENT LAP SIDING, SMOOTH FINISH, 6" EXPOSURE, COLOR AS SCHEDULED
FCBB	BOARD AND BATTEN VERTICAL FIBER CEMENT SIDING, COLOR AS SCHEDULED, BATTENS SPACED 1'-0" O.C.
FCPS	FIBER CEMENT PANEL SIDING, SMOOTH FINISH, COLOR AS SCHEDULED
FCT	FIBER CEMENT TRIM
FCC	FIBER CEMENT CORNICE
FB-1	FACE BRICK #1 - LIGHT
FB-2	FACE BRICK #2 - DARK
SC	BRICK SOLDIER COURSING
CSS	CAST STONE SILL
AS	ASPHALT SHINGLES
MR	PREFINISHED STANDING SEAM METAL ROOF
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PMC	PREFABRICATED METAL CANOPY
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BY	DASHED AREA FOR PROPOSED FENCED BACKYARD
TSV	THIN STONE VENEER

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ARCHITECTURE & PLANNING
Architect

TRINITAS
Owner

PD Submission
April 25, 2024



01 Townhome Type B7
Rear Elevation
Scale: 3/32" = 1'-0"

Trinitas at Hyde Park
Noblesville, IN 46060
Townhome Building Type B7 Elevations



02 Townhome Type C4
Left Elevation
Scale: 3/32" = 1'-0"



01 Townhome Type C4
Front Elevation
Scale: 3/32" = 1'-0"

MATERIAL LEGEND	
FCLS	FIBER CEMENT LAP SIDING, SMOOTH FINISH, 6" EXPOSURE, COLOR AS SCHEDULED
FCBB	BOARD AND BATTEN VERTICAL FIBER CEMENT SIDING, COLOR AS SCHEDULED, BATTENS SPACED 1'-0" O.C.
FCPS	FIBER CEMENT PANEL SIDING, SMOOTH FINISH, COLOR AS SCHEDULED
FCT	FIBER CEMENT TRIM
FCC	FIBER CEMENT CORNICE
FB-1	FACE BRICK #1 - LIGHT
FB-2	FACE BRICK #2 - DARK
SC	BRICK SOLDIER COURSING
CSS	CAST STONE SILL
AS	ASPHALT SHINGLES
MR	PREFINISHED STANDING SEAM METAL ROOF
SP	STRUCTURAL POST EQUAL TO WOODTONE REALPOST. PAINTED TO MATCH TRIM.
VN	VINYL FRAME SINGLE HUNG WINDOW
GV	DECORATIVE GABLE VENT, PAINTED TO MATCH TRIM
PMC	PREFABRICATED METAL CANOPY
HB	HERRINGBONE BRICK PATTERN
BY	DASHED AREA FOR PROPOSED FENCED BACKYARD
TSV	THIN STONE VENEER

Townhome Building Type C4 ((4) 3 Bedroom Units w/ Rear Garages)											
Elevation	Masonry (Sq. Ft.)	Fiber Cement Lap Siding (Sq. Ft.)	Fiber Cement Board & Batten Siding (Sq. Ft.)	Fiber Cement Panel Siding (Sq. Ft.)	Windows & Doors (Sq. Ft.)	Garage Door (Sq. Ft.)	Total (Sq. Ft.)	Total - Windows & Doors (Sq. Ft.)	Masonry (%)	Fiber Cement (%)	Garage Door (%)
Front	480	492	623	0	445	0	2040	1595	30%	70%	0%
Rear	0	412	434	21	523	300	1690	1167	0%	74%	18%
Left Side	487	490	61	0	34	0	1072	1038	47%	53%	0%
Right Side	487	490	61	0	34	0	1072	1038	47%	53%	0%

Trinitas at Hyde Park
Noblesville, IN 46060
Townhome Building Type C4 Elevations

A13

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April 25, 2024

Architect

Owner



02 Townhome Type C4
Right Elevation
Scale: 3/32" = 1'-0"



01 Townhome Type C4
Rear Elevation
Scale: 3/32" = 1'-0"

MATERIAL LEGEND	
FCLS	FIBER CEMENT LAP SIDING, SMOOTH FINISH, 6" EXPOSURE, COLOR AS SCHEDULED
FCBB	BOARD AND BATTEN VERTICAL FIBER CEMENT SIDING, COLOR AS SCHEDULED, BATTENS SPACED 1'-0" O.C.
FCPS	FIBER CEMENT PANEL SIDING, SMOOTH FINISH, COLOR AS SCHEDULED
FCT	FIBER CEMENT TRIM
FCC	FIBER CEMENT CORNICE
FB-1	FACE BRICK #1 - LIGHT
FB-2	FACE BRICK #2 - DARK
SC	BRICK SOLDIER COURSING
CSS	CAST STONE SILL
AS	ASPHALT SHINGLES
MR	PREFINISHED STANDING SEAM METAL ROOF
SP	STRUCTURAL POST EQUAL TO WOODTONE REALPOST. PAINTED TO MATCH TRIM.
VN	VINYL FRAME SINGLE HUNG WINDOW
GV	DECORATIVE GABLE VENT, PAINTED TO MATCH TRIM
PMC	PREFABRICATED METAL CANOPY
HB	HERRINGBONE BRICK PATTERN
BY	DASHED AREA FOR PROPOSED FENCED BACKYARD
TSV	THIN STONE VENEER



02 Townhome Type C6
Left Elevation
Scale: 3/32" = 1'-0"

MATERIAL LEGEND	
FCLS	FIBER CEMENT LAP SIDING, SMOOTH FINISH, 6" EXPOSURE, COLOR AS SCHEDULED
FCBB	BOARD AND BATTEN VERTICAL FIBER CEMENT SIDING, COLOR AS SCHEDULED, BATTENS SPACED 1'-0" O.C.
FCPS	FIBER CEMENT PANEL SIDING, SMOOTH FINISH, COLOR AS SCHEDULED
FCT	FIBER CEMENT TRIM
FCC	FIBER CEMENT CORNICE
FB-1	FACE BRICK #1 - LIGHT
FB-2	FACE BRICK #2 - DARK
SC	BRICK SOLDIER COURSING
CSS	CAST STONE SILL
AS	ASPHALT SHINGLES
MR	PREFINISHED STANDING SEAM METAL ROOF
SP	STRUCTURAL POST EQUAL TO WOODTONE REALPOST. PAINTED TO MATCH TRIM.
VN	VINYL FRAME SINGLE HUNG WINDOW
GV	DECORATIVE GABLE VENT, PAINTED TO MATCH TRIM
PMC	PREFABRICATED METAL CANOPY
HB	HERRINGBONE BRICK PATTERN
BY	DASHED AREA FOR PROPOSED FENCED BACKYARD
TSV	THIN STONE VENEER



01 Townhome Type C6
Front Elevation
Scale: 3/32" = 1'-0"

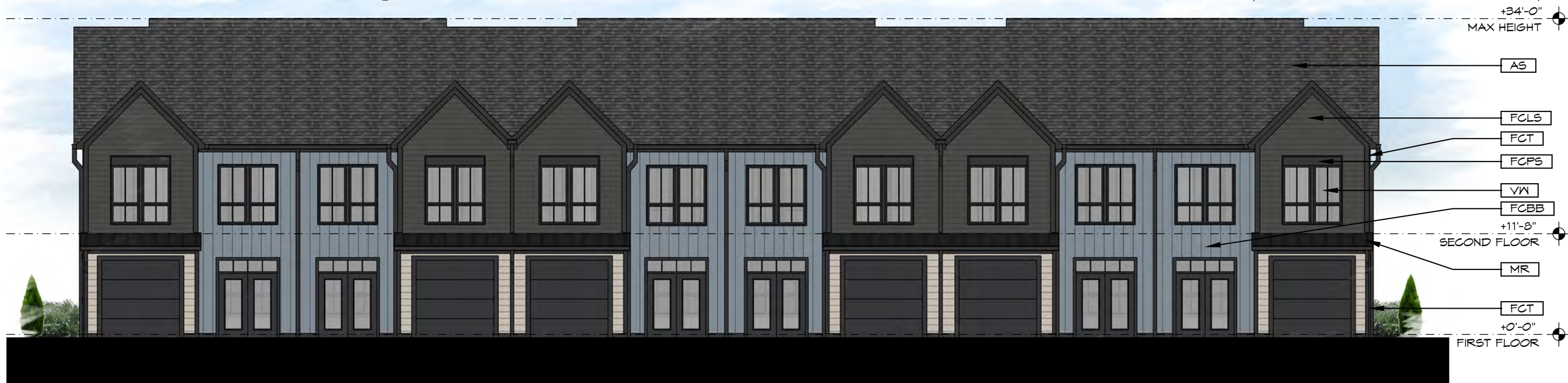
Townhome Building Type C6 ((6) 3 Bedroom Units w/ Rear Garages)											
Elevation	Masonry (Sq. Ft.)	Fiber Cement Lap Siding (Sq. Ft.)	Fiber Cement Board & Batten Siding (Sq. Ft.)	Fiber Cement Panel Siding (Sq. Ft.)	Windows & Doors (Sq. Ft.)	Garage Door (Sq. Ft.)	Total (Sq. Ft.)	Total - Windows & Doors (Sq. Ft.)	Masonry (%)	Fiber Cement (%)	Garage Door (%)
Front	634	512	800	0	665	0	2611	1946	33%	67%	0%
Rear	0	618	651	32	785	450	2536	1751	0%	74%	18%
Left Side	487	490	61	0	34	0	1072	1038	47%	53%	0%
Right Side	487	490	61	0	34	0	1072	1038	47%	53%	0%

Trinitas at Hyde Park
 Noblesville, IN 46060
 Townhome Building Type C6 Elevations



02 Townhome Type C6
Right Elevation
Scale: 3/32" = 1'-0"

MATERIAL LEGEND	
FCLS	FIBER CEMENT LAP SIDING, SMOOTH FINISH, 6" EXPOSURE, COLOR AS SCHEDULED
FCBB	BOARD AND BATTEN VERTICAL FIBER CEMENT SIDING, COLOR AS SCHEDULED, BATTENS SPACED 1'-0" O.C.
FCPS	FIBER CEMENT PANEL SIDING, SMOOTH FINISH, COLOR AS SCHEDULED
FCT	FIBER CEMENT TRIM
FCC	FIBER CEMENT CORNICE
FB-1	FACE BRICK #1 - LIGHT
FB-2	FACE BRICK #2 - DARK
SC	BRICK SOLDIER COURSING
CSS	CAST STONE SILL
AS	ASPHALT SHINGLES
MR	PREFINISHED STANDING SEAM METAL ROOF
SP	STRUCTURAL POST EQUAL TO WOODTONE REALPOST. PAINTED TO MATCH TRIM.
VN	VINYL FRAME SINGLE HUNG WINDOW
GV	DECORATIVE GABLE VENT, PAINTED TO MATCH TRIM
PMC	PREFABRICATED METAL CANOPY
HB	HERRINGBONE BRICK PATTERN
BY	DASHED AREA FOR PROPOSED FENCED BACKYARD
TSV	THIN STONE VENEER



01 Townhome Type C6
Rear Elevation
Scale: 3/32" = 1'-0"

Trinitas at Hyde Park
Noblesville, IN 46060
Townhome Building Type C6 Elevations

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ARCHITECTURE & PLANNING

Architect



TRINITAS
Owner

PD Submission

April 25, 2024

A16



02 Clubhouse Rear Elevation
Scale: 3/32" = 1'-0"

MATERIAL LEGEND	
FCLS	FIBER CEMENT LAP SIDING, SMOOTH FINISH, 6" EXPOSURE, COLOR AS SCHEDULED
FCBB	BOARD AND BATTEN VERTICAL FIBER CEMENT SIDING, COLOR AS SCHEDULED, BATTENS SPACED 1'-0" O.C.
FCPS	FIBER CEMENT PANEL SIDING, SMOOTH FINISH, COLOR AS SCHEDULED
FCT	FIBER CEMENT TRIM
FCG	FIBER CEMENT CORNICE
FB-1	FACE BRICK #1 - LIGHT
FB-2	FACE BRICK #2 - DARK
SC	BRICK SOLDIER COURSING
CSS	CAST STONE SILL
AS	ASPHALT SHINGLES
MR	PREFINISHED STANDING SEAM METAL ROOF
SP	STRUCTURAL POST EQUAL TO WOODTONE REALPOST, PAINTED TO MATCH TRIM.
VN	VINYL FRAME SINGLE HUNG WINDOW
GV	DECORATIVE GABLE VENT, PAINTED TO MATCH TRIM
PMC	PREFABRICATED METAL CANOPY
HB	HERRINGBONE BRICK PATTERN
BY	DASHED AREA FOR PROPOSED FENCED BACKYARD
TSV	THIN STONE VENEER



01 Clubhouse Front Elevation
Scale: 3/32" = 1'-0"

Clubhouse Building											
Elevation	Masonry (Sq. Ft.)	Fiber Cement Lap Siding (Sq. Ft.)	Fiber Cement Board & Batten Siding (Sq. Ft.)	Fiber Cement Panel Siding (Sq. Ft.)	Windows & Doors (Sq. Ft.)	Garage Door (Sq. Ft.)	Total (Sq. Ft.)	Total - Windows & Doors (Sq. Ft.)	Masonry (%)	Fiber Cement (%)	Garage Door (%)
Front	326	0	334	0	301	0	961	660	49%	51%	n/a
Rear	247	0	460	0	416	0	1123	707	35%	65%	n/a
Left Side	163	0	381	13	45	0	602	557	29%	71%	n/a
Right Side	163	0	381	13	45	0	602	557	29%	71%	n/a

Trinitas at Hyde Park
Noblesville, IN 46060
Clubhouse Building Elevations

A17



02 Clubhouse
Right Elevation
Scale: 3/32" = 1'-0"



01 Clubhouse
Left Elevation
Scale: 3/32" = 1'-0"

MATERIAL LEGEND	
FCLS	FIBER CEMENT LAP SIDING, SMOOTH FINISH, 6" EXPOSURE, COLOR AS SCHEDULED
FCBB	BOARD AND BATTEN VERTICAL FIBER CEMENT SIDING, COLOR AS SCHEDULED, BATTENS SPACED 1'-0" O.C.
FCPS	FIBER CEMENT PANEL SIDING, SMOOTH FINISH, COLOR AS SCHEDULED
FCT	FIBER CEMENT TRIM
FCC	FIBER CEMENT CORNICE
FB-1	FACE BRICK #1 - LIGHT
FB-2	FACE BRICK #2 - DARK
SC	BRICK SOLDIER COURSING
CSS	CAST STONE SILL
AS	ASPHALT SHINGLES
MR	PREFINISHED STANDING SEAM METAL ROOF
SP	STRUCTURAL POST EQUAL TO WOODTONE REALPOST, PAINTED TO MATCH TRIM.
VN	VINYL FRAME SINGLE HUNG WINDOW
GV	DECORATIVE GABLE VENT, PAINTED TO MATCH TRIM
PMC	PREFABRICATED METAL CANOPY
HB	HERRINGBONE BRICK PATTERN
BY	DASHED AREA FOR PROPOSED FENCED BACKYARD
TSV	THIN STONE VENEER


 Architect

 Owner

PD Submission
 April 25, 2024

Trinitas at Hyde Park
 Noblesville, IN 46060
 Clubhouse Building Elevations



02
 Fitness
 Rear Elevation
 Scale: 3/32" = 1'-0"

MATERIAL LEGEND	
FCLS	FIBER CEMENT LAP SIDING, SMOOTH FINISH, 6" EXPOSURE, COLOR AS SCHEDULED
FCBB	BOARD AND BATTEN VERTICAL FIBER CEMENT SIDING, COLOR AS SCHEDULED, BATTENS SPACED 1'-0" O.C.
FCPS	FIBER CEMENT PANEL SIDING, SMOOTH FINISH, COLOR AS SCHEDULED
FCT	FIBER CEMENT TRIM
FCG	FIBER CEMENT CORNICE
FB-1	FACE BRICK #1 - LIGHT
FB-2	FACE BRICK #2 - DARK
SC	BRICK SOLDIER COURSING
CSS	CAST STONE SILL
AS	ASPHALT SHINGLES
MR	PREFINISHED STANDING SEAM METAL ROOF
SP	STRUCTURAL POST EQUAL TO WOODTONE REALPOST. PAINTED TO MATCH TRIM.
VN	VINYL FRAME SINGLE HUNG WINDOW
GV	DECORATIVE GABLE VENT, PAINTED TO MATCH TRIM
PMC	PREFABRICATED METAL CANOPY
HB	HERRINGBONE BRICK PATTERN
BY	DASHED AREA FOR PROPOSED FENCED BACKYARD
TSV	THIN STONE VENEER



01
 Fitness
 Front Elevation
 Scale: 3/32" = 1'-0"

Fitness Building											
Elevation	Masonry (Sq. Ft.)	Fiber Cement Lap Siding (Sq. Ft.)	Fiber Cement Board & Batten Siding (Sq. Ft.)	Fiber Cement Panel Siding (Sq. Ft.)	Windows & Doors (Sq. Ft.)	Garage Door (Sq. Ft.)	Total (Sq. Ft.)	Total - Windows & Doors (Sq. Ft.)	Masonry (%)	Fiber Cement (%)	Garage Door (%)
Front	219	0	424	36	142	0	821	679	32%	68%	n/a
Rear	100	0	534	106	67	0	807	740	14%	86%	n/a
Left Side	135	0	484	0	294	0	913	619	22%	78%	n/a
Right Side	151	0	325.5	185.5	88	0	750	662	23%	77%	n/a

Trinitas at Hyde Park
 Noblesville, IN 46060
 Fitness Building Elevations

A19



02 Fitness Right Elevation
Scale: 3/32" = 1'-0"



01 Fitness Left Elevation
Scale: 3/32" = 1'-0"

MATERIAL LEGEND

FCLS	FIBER CEMENT LAP SIDING, SMOOTH FINISH, 6" EXPOSURE, COLOR AS SCHEDULED
FCBB	BOARD AND BATTEN VERTICAL FIBER CEMENT SIDING, COLOR AS SCHEDULED, BATTENS SPACED 1'-0" O.C.
FCPS	FIBER CEMENT PANEL SIDING, SMOOTH FINISH, COLOR AS SCHEDULED
FCT	FIBER CEMENT TRIM
FCC	FIBER CEMENT CORNICE
FB-1	FACE BRICK #1 - LIGHT
FB-2	FACE BRICK #2 - DARK
SC	BRICK SOLDIER COURSING
CSS	CAST STONE SILL
AS	ASPHALT SHINGLES
MR	PREFINISHED STANDING SEAM METAL ROOF
SP	STRUCTURAL POST EQUAL TO WOODTONE REALPOST. PAINTED TO MATCH TRIM.
VN	VINYL FRAME SINGLE HUNG WINDOW
GV	DECORATIVE GABLE VENT, PAINTED TO MATCH TRIM
PMC	PREFABRICATED METAL CANOPY
HB	HERRINGBONE BRICK PATTERN
BY	DASHED AREA FOR PROPOSED FENCED BACKYARD
TSV	THIN STONE VENEER
OHD	OVERHEAD DOOR

STUDIO M
ARCHITECTURE & PLANNING

Architect

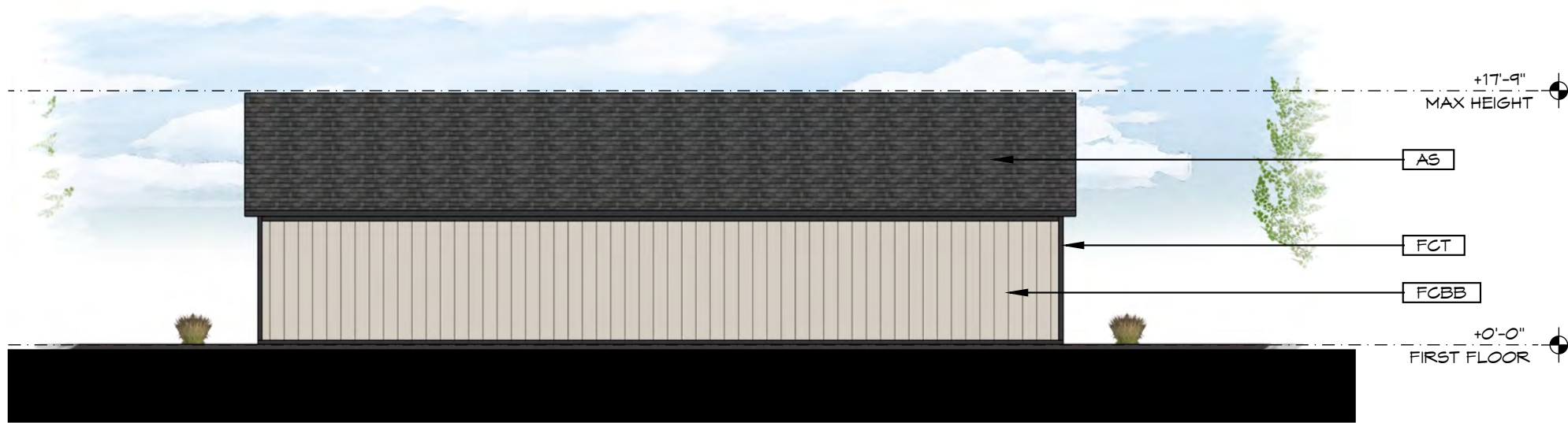


TRINITAS
Owner

PD Submission

April 25, 2024

Trinitas at Hyde Park
Noblesville, IN 46060
Fitness Building Elevations



02 Detached Garage Rear Elevation
Scale: 3/32" = 1'-0"



01 Detached Garage Front Elevation
Scale: 3/32" = 1'-0"

MATERIAL LEGEND	
FCLS	FIBER CEMENT LAP SIDING, SMOOTH FINISH, 6" EXPOSURE, COLOR AS SCHEDULED
FCBB	BOARD AND BATTEN VERTICAL FIBER CEMENT SIDING, COLOR AS SCHEDULED, BATTENS SPACED 1'-0" O.C.
FCPS	FIBER CEMENT PANEL SIDING, SMOOTH FINISH, COLOR AS SCHEDULED
FCT	FIBER CEMENT TRIM
FCG	FIBER CEMENT CORNICE
FB-1	FACE BRICK #1 - LIGHT
FB-2	FACE BRICK #2 - DARK
SC	BRICK SOLDIER COURSING
CSS	CAST STONE SILL
AS	ASPHALT SHINGLES
MR	PREFINISHED STANDING SEAM METAL ROOF
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VN	VINYL FRAME SINGLE HUNG WINDOW
GV	DECORATIVE GABLE VENT, PAINTED TO MATCH TRIM
PMC	PREFABRICATED METAL CANOPY
HB	HERRINGBONE BRICK PATTERN
BY	DASHED AREA FOR PROPOSED FENCED BACKYARD
TSV	THIN STONE VENEER

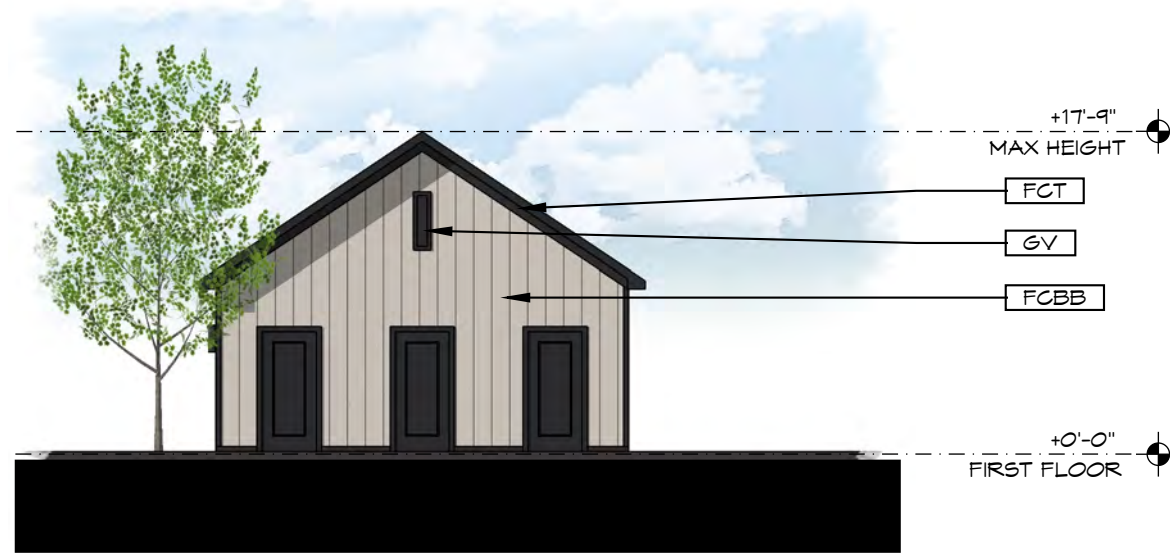
Trinitas at Hyde Park
Noblesville, IN 46060
Detached Garage Building Elevations



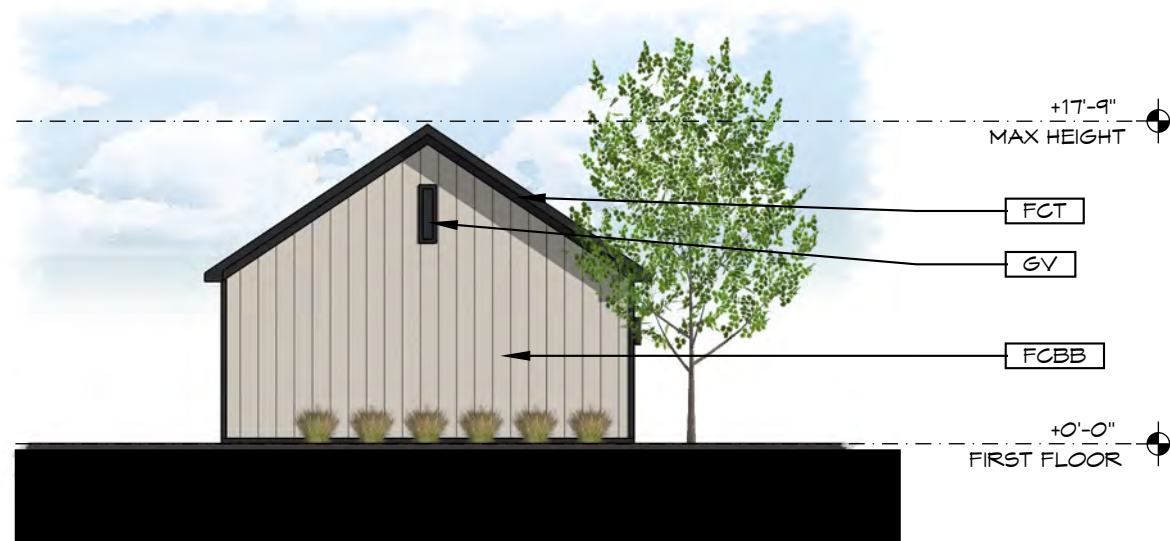
PD Submission
April 25, 2024

Detached Garage Building											
Elevation	Masonry (Sq. Ft.)	Fiber Cement Lap Siding (Sq. Ft.)	Fiber Cement Board & Batten Siding (Sq. Ft.)	Fiber Cement Panel Siding (Sq. Ft.)	Windows & Doors (Sq. Ft.)	Garage Door (Sq. Ft.)	Total (Sq. Ft.)	Total - Windows & Doors (Sq. Ft.)	Masonry (%)	Fiber Cement (%)	Garage Door (%)
Front	0	0	177	0	0	296	473	473	0%	37%	63%
Rear	0	0	473	0	0	0	473	473	0%	100%	0%
Left Side	0	0	207	0	75	0	282	207	0%	100%	0%
Right Side	0	0	282	0	0	0	282	282	0%	100%	0%

A21



02 Detached Garage
Right Elevation
Scale: 3/32" = 1'-0"



01 Detached Garage
Left Elevation
Scale: 3/32" = 1'-0"

MATERIAL LEGEND

FCLS	FIBER CEMENT LAP SIDING, SMOOTH FINISH, 6" EXPOSURE, COLOR AS SCHEDULED
FCBB	BOARD AND BATTEN VERTICAL FIBER CEMENT SIDING, COLOR AS SCHEDULED, BATTENS SPACED 1'-0" O.C.
FCPS	FIBER CEMENT PANEL SIDING, SMOOTH FINISH, COLOR AS SCHEDULED
FCT	FIBER CEMENT TRIM
FCG	FIBER CEMENT CORNICE
FB-1	FACE BRICK #1 - LIGHT
FB-2	FACE BRICK #2 - DARK
SC	BRICK SOLDIER COURSING
CSS	CAST STONE SILL
AS	ASPHALT SHINGLES
MR	PREFINISHED STANDING SEAM METAL ROOF
SP	STRUCTURAL POST EQUAL TO WOODTONE REALPOST, PAINTED TO MATCH TRIM.
VN	VINYL FRAME SINGLE HUNG WINDOW
GV	DECORATIVE GABLE VENT, PAINTED TO MATCH TRIM
PMC	PREFABRICATED METAL CANOPY
HB	HERRINGBONE BRICK PATTERN
BY	DASHED AREA FOR PROPOSED FENCED BACKYARD
TSV	THIN STONE VENEER

MATERIAL LEGEND

FCLS	FIBER CEMENT LAP SIDING, SMOOTH FINISH, 6" EXPOSURE, COLOR AS SCHEDULED
FCBB	BOARD AND BATTEN VERTICAL FIBER CEMENT SIDING, COLOR AS SCHEDULED, BATTENS SPACED 1'-0" O.C.
FCPS	FIBER CEMENT PANEL SIDING, SMOOTH FINISH, COLOR AS SCHEDULED
FCT	FIBER CEMENT TRIM
FCC	FIBER CEMENT CORNICE
FB-1	FACE BRICK #1 - LIGHT
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SC	BRICK SOLDIER COURSING
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MR	PREFINISHED STANDING SEAM METAL ROOF
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GV	DECORATIVE GABLE VENT, PAINTED TO MATCH TRIM
PMC	PREFABRICATED METAL CANOPY
HB	HERRINGBONE BRICK PATTERN
BY	DASHED AREA FOR PROPOSED FENCED BACKYARD
TSV	THIN STONE VENEER



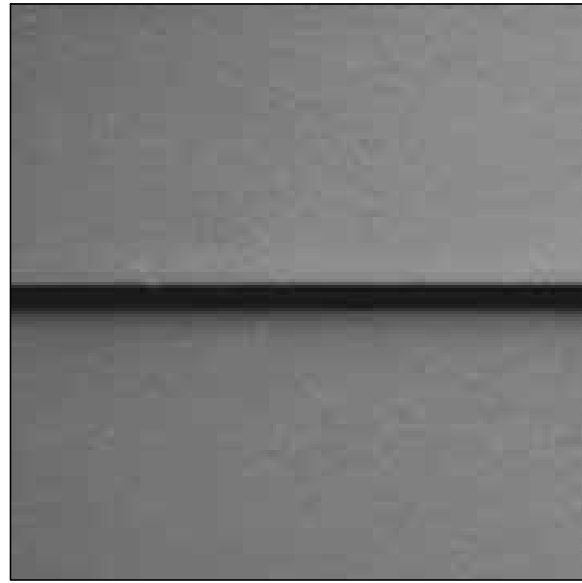
04 Trash Enclosure Right Elevation
Scale: 3/32" = 1'-0"

03 Trash Enclosure Rear Elevation
Scale: 3/32" = 1'-0"



02 Trash Enclosure Left Elevation
Scale: 3/32" = 1'-0"

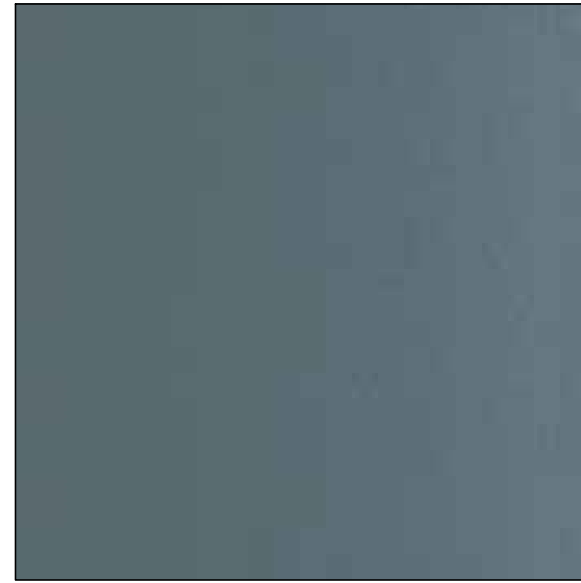
01 Trash Enclosure Front Elevation
Scale: 3/32" = 1'-0"



FIBER CEMENT
LAP SIDING,
PAINT COLORS
VARY



FIBER CEMENT
BOARD & BATTEN
SIDING,
PAINT COLORS VARY



FIBER CEMENT
PANEL SIDING,
PAINT COLORS
VARY



FACE BRICK,
COLOR & PATTERN
SELECTIONS VARY



ASPHALT SHINGLES



PREFINISHED
STANDING SEAM
METAL ROOF



VINYL FRAME
SINGLE HUNG
WINDOW



PREFABRICATED
METAL
CANOPY/ENTRY
AWNING

TAB 5

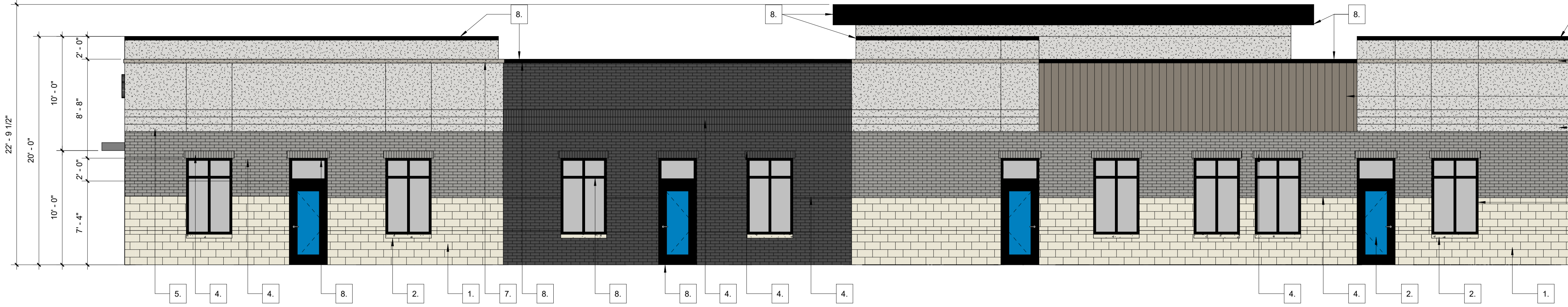


SIGNAGE

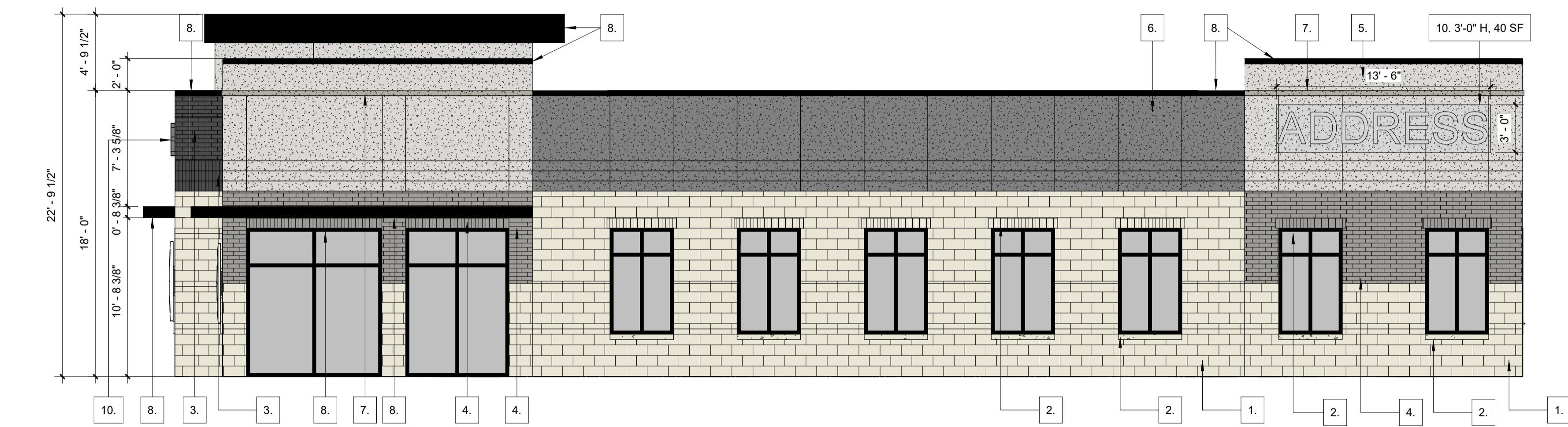
SIGNAGE

SIGNAGE

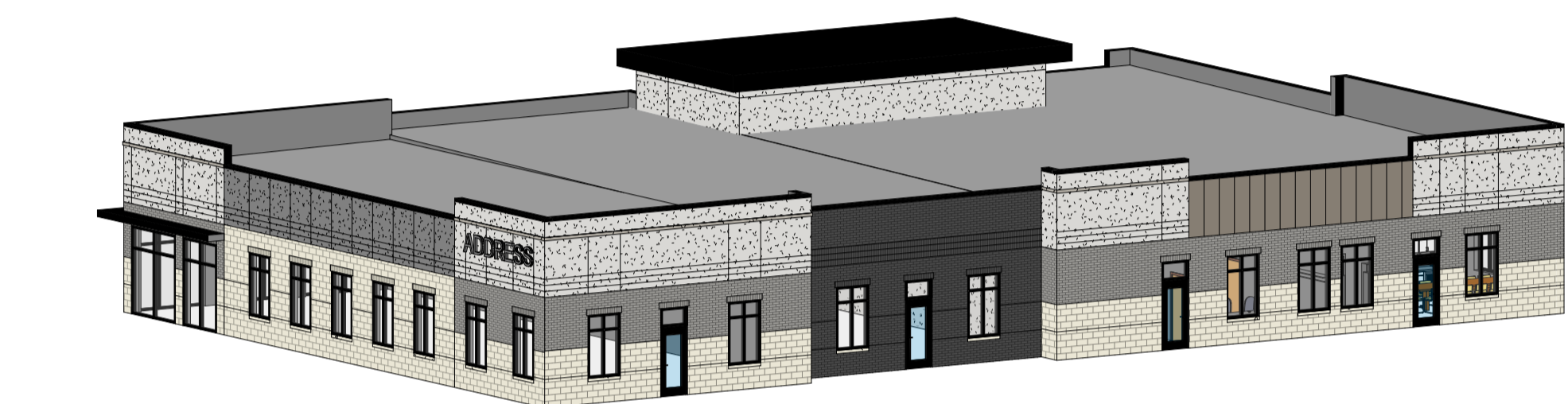
EXTERIOR FINISHES	SPEC. / MANUFACTURER
1. CMU UNITS	ECHOLON MASONRY, FRANKLIN STONE, MONUMENT WHITE SMOOTH
2. STONE SILL	CONSUMERS CONCRETE CORPORATION, ARCHITECTURAL BLOCK, WHITE SANDS W
3. DARK BRICK	GLEN-GERY, SIOUX CITY BRICK, CARBON BLACK, MODULAR
4. LIGHT GRAY BRICK	GLEN-GERY, SIOUX CITY BRICK, BELGIAN GREY WIRECUT, MODULAR
5. LIGHT GRAY EIFS	DRYVIT, 104, DOVER SKY, SAND PEBBLE FINISH
6. DARK GRAY EIFS	DRYVIT, 616, KING'S GRAY, SAND PEBBLE FINISH
7. MEDIUM GRAY EIFS	DRYVIT, 614, SMOKE SIGNAL, SAND PEBBLE FINISH
8. STOREFRONT/ METAL COPING	ALUMINUM, BLACK MATTE FINISH
9. EXTERIOR WOOD-LOOK COMPOSITE CLADDING	NICHIHA FIBER CEMENT, VINTAGEWOOD WOOD SERIES - SPRUCE COLORWAY
10. SIGNAGE	INTERNALLY ILLUMINATED, SEE MAN. FOR SPECIFICS
11. SIGNAGE (ADDRESS)	INTERNALLY ILLUMINATED, SEE MAN. FOR SPECIFICS - ADDRESS LETTERING



1 WEST ELEV. A201
3/16" = 1'-0"



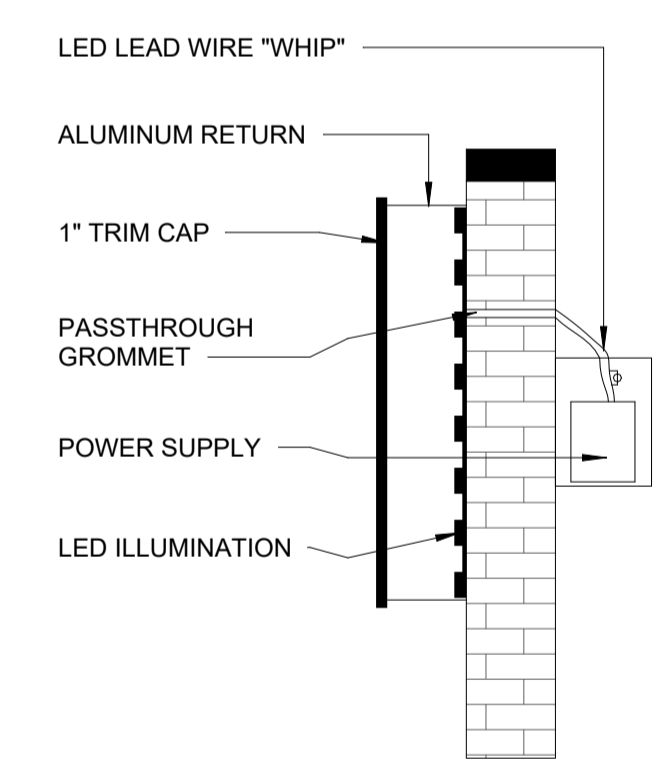
2 NORTH ELEV. A201
3/16" = 1'-0"



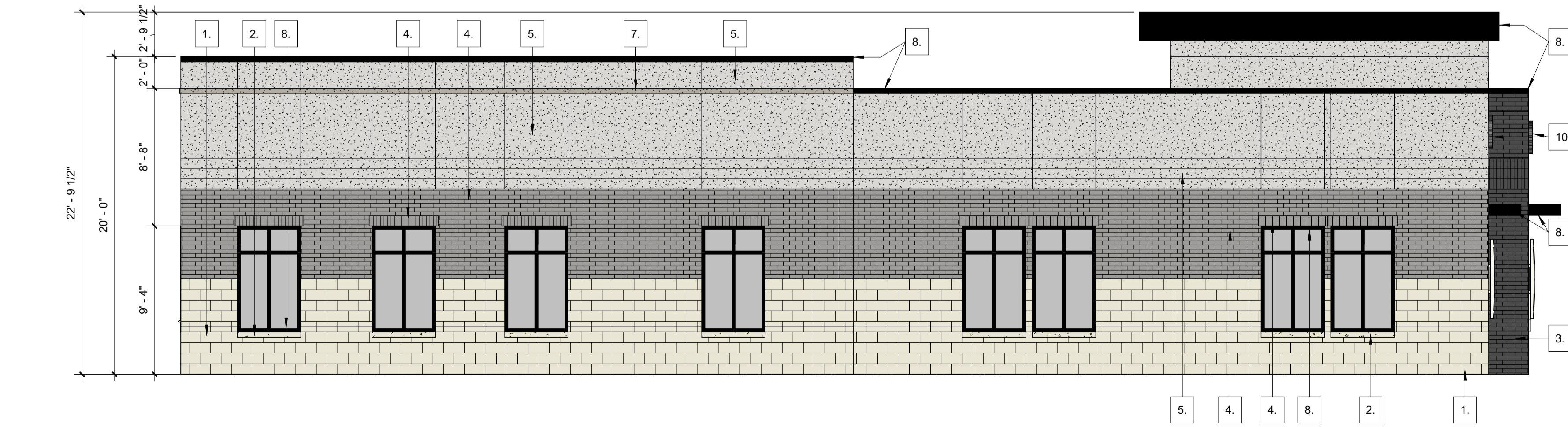
5 NW VIEW



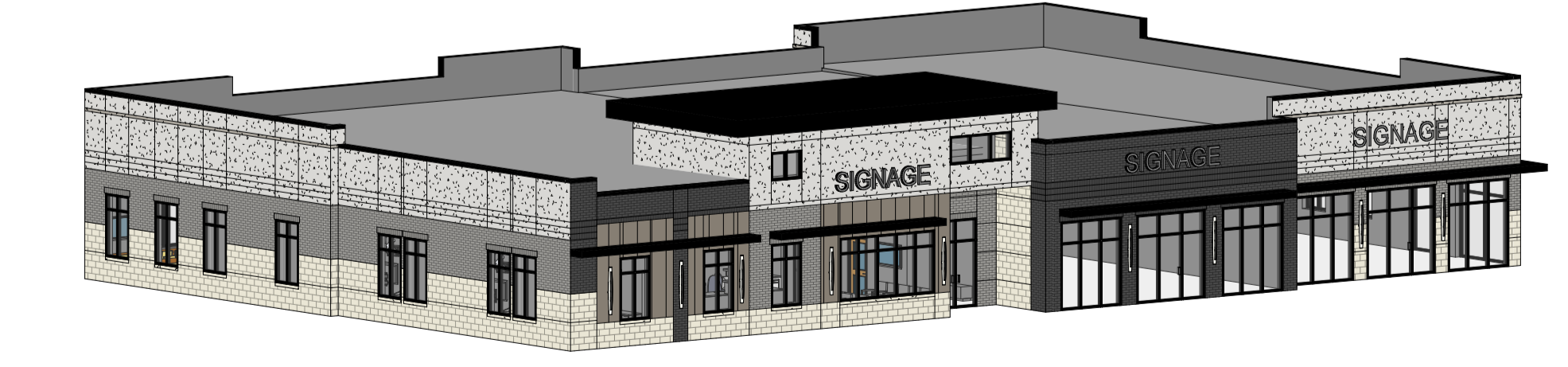
3 EAST ELEV. A201
3/16" = 1'-0"



7 SIDE VIEW FLUSH MOUNT (NOT TO SCALE)
1/2" = 1'-0"



4 SOUTH ELEV. A201
3/16" = 1'-0"



6 SE VIEW

PREPARED FOR

Owner

ADDRESS
CITY, STATE, ZIP

PROJECT

DR. GREG HOPKINSON

ADDRESS
CITY, STATE, ZIP

CERTIFICATION

NO.	DATE	DESCRIPTION

DRAWN BY: KM
REVIEWED BY: JL

PROJECT NUMBER 23021

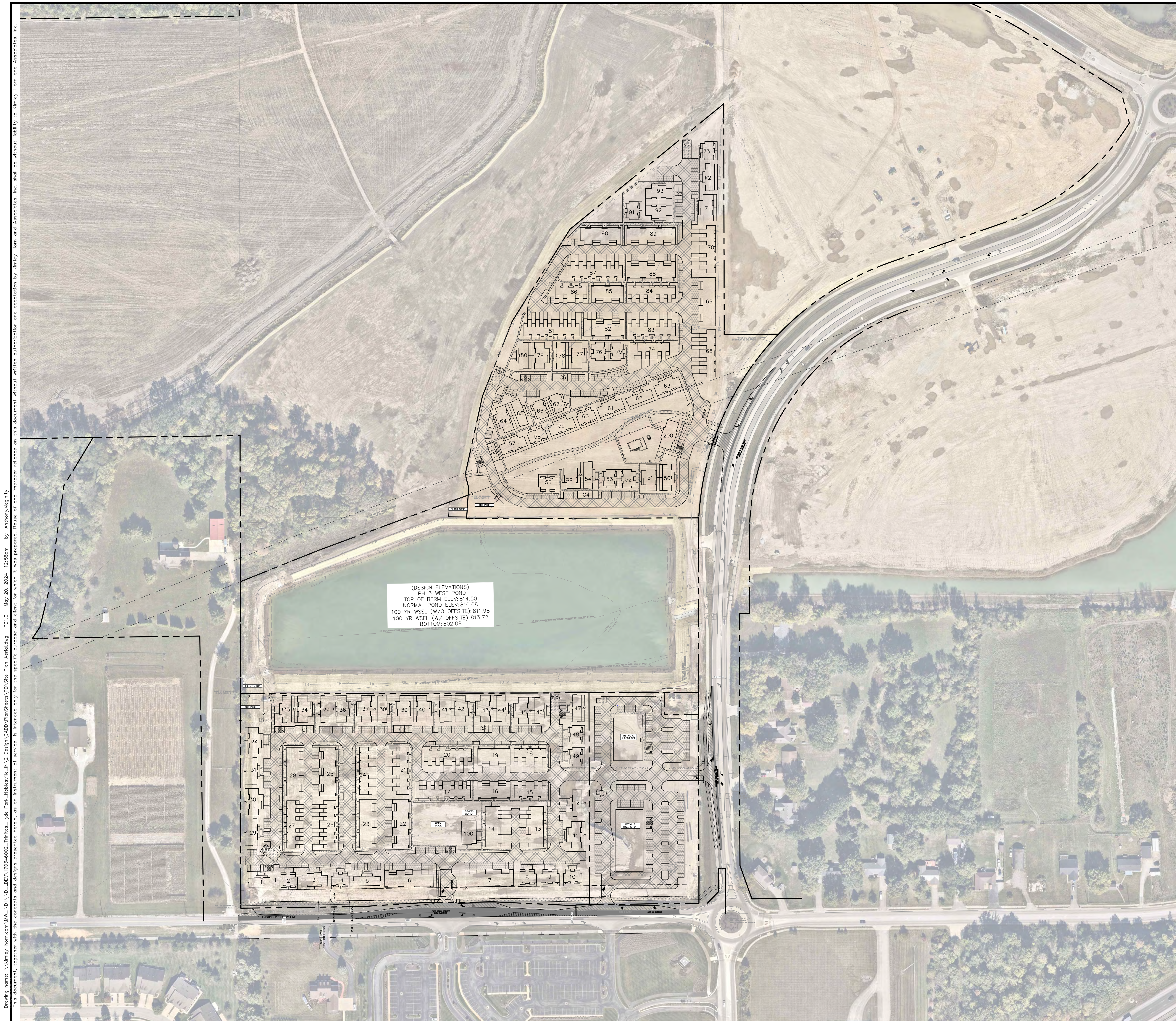
SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A201

TAB 6

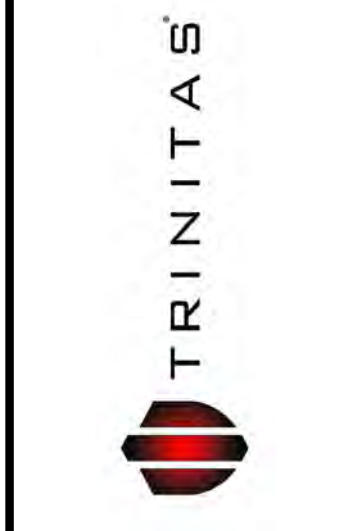
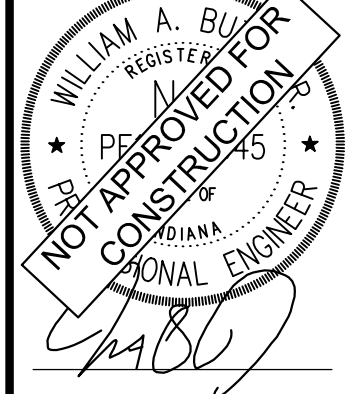


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 DESIGNED BY: ###
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 CHECKED BY: ###
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 INDIANAPOLIS, IN 46240
 WWW.KIMLEY-HORN.COM



AERIAL OVERLAY

**KINGSLEY AT
 HYDE PARK
 NOBLESVILLE,
 IN 46060**

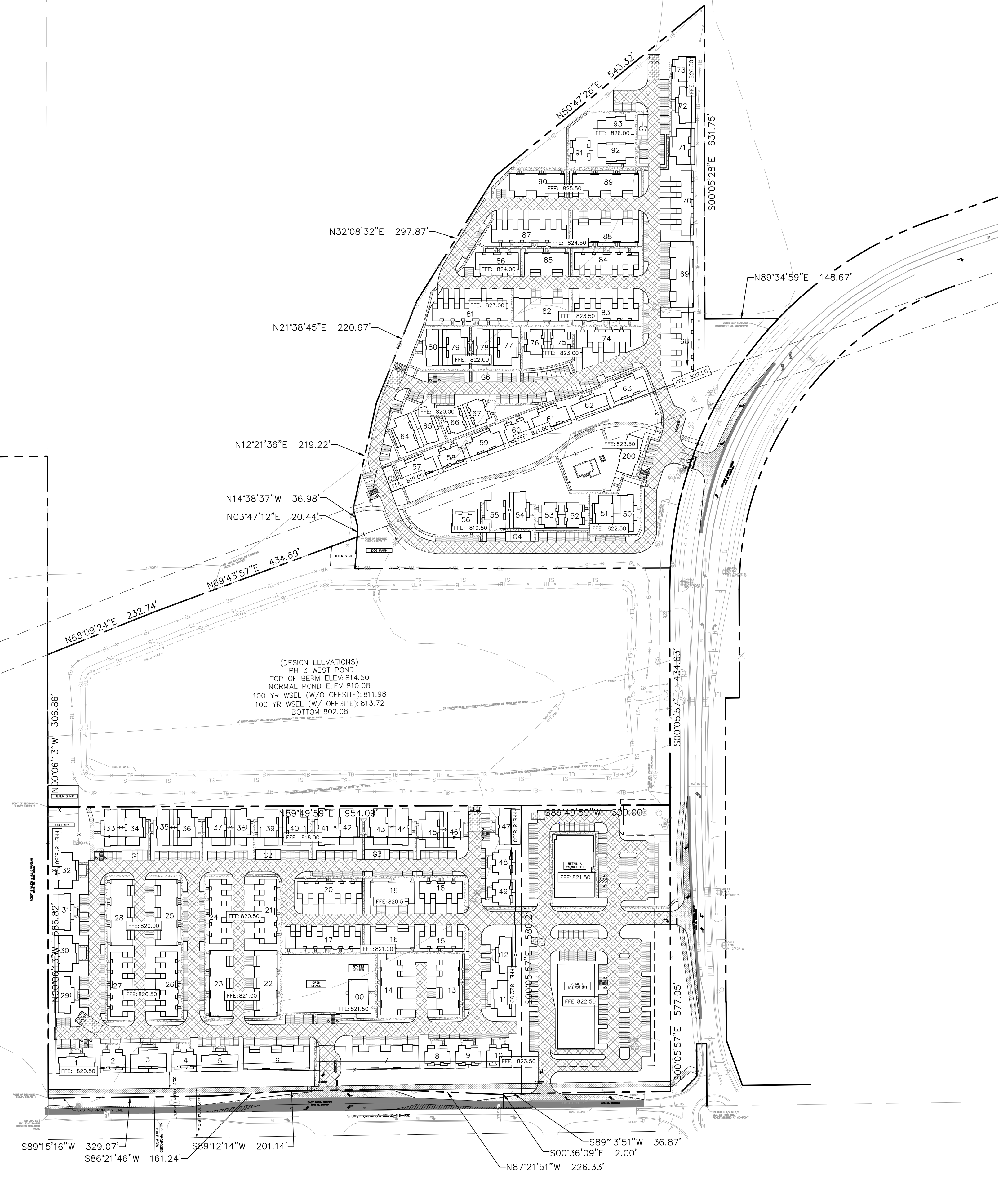
ORIGINAL ISSUE:
 03/20/2024
 KHA PROJECT NO.
 170346002
 SHEET NUMBER
AERIAL

Drawing name: \\kimley-horn.com\KIM\IND\DEV\170346002\Trinitas\JLH\Site\170346002_Preliminary Overall Development Site Planning_PD1.1_May 20, 2024_12:58pm.dwg by: Anthony Magity
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GRAPHIC SCALE IN FEET
0 60' 120' 240'



(DESIGN ELEVATIONS)
 5' WEST POND
 TOP OF BERM ELEV: 814.50
 NORMAL POND ELEV: 810.08
 100 YR WSEL (W/O OFFSITE): 811.98
 100 YR WSEL (W/ OFFSITE): 813.72
 BOTTOM: 802.08

PAVING LEGEND

	STANDARD DUTY ASPHALT PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	HEAVY DUTY ASPHALT PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	RIGHT OF WAY PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	CONCRETE SIDEWALK SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	HEAVY DUTY CONCRETE PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	ASPHALT TRAIL SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	1.5" MILL AND OVERLAY

- ### SITE NOTES
- ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
 - REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS, DOOR LOCATIONS, PRIOR TO ORDERING MATERIALS.
 - RADI ADJACENT TO PARKING STALL AND NOT DIMENSIONED ON THIS PLAN SHALL BE 3- FEET, TYPICAL.
 - REFER TO ARCHITECTURAL PLANS FOR MONUMENT SIGN DETAILS. SEE MEP PLANS FOR SITE ELECTRICAL DRAWINGS.
 - ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED UNLESS OTHERWISE NOTED.

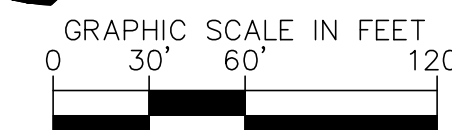
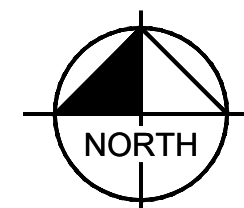
BUILDING UNIT SUMMARY

	NORTH LOT	SOUTH LOT	TOTAL
VILLAS - 1 BEDROOM	22	14	36
VILLAS - 2 BEDROOM	24	24	48
VILLAS - 3 BEDROOM	14	24	38
TOWNHOME - 2 BEDROOM	52	45	97
TOWNHOME - 3 BEDROOM	27	54	81
TOTAL	138	156	300

PARKING

PARKING #	NORTH LOT COUNT	SOUTH LOT COUNT	RETAIL COUNT
PARKING SPACES (ACCESSIBLE) PROVIDED	6	8	4
PARKING SPACES (GARAGE) PROVIDED	99	113	
PARKING SPACES (PARALLEL) PROVIDED	24	75	
PARKING SPACES (STANDARD) PROVIDED	120	124	138
PARKING SPACES (STREET) PROVIDED	52	60	
TOTAL	301	380	142

 2024 KIMLEY-HORN AND ASSOCIATES, INC. 500 EAST 96TH STREET, SUITE 300, INDIANAPOLIS, IN 46240 WWW.KIMLEY-HORN.COM	SCALE: AS NOTED DESIGNED BY: ### DRAWN BY: ### CHECKED BY: ###
 WILLIAM A. BULLOCK REGISTERED PROFESSIONAL ENGINEER STATE OF INDIANA NO. 42480	TRINITAS
PRELIMINARY OVERALL DEVELOPMENT SITE PLAN	
KINGSLEY AT HYDE PARK NOBLESVILLE, IN 46060	
ORIGINAL ISSUE: 03/20/2024 KHA PROJECT NO. 170346002 SHEET NUMBER	
PD1.1	



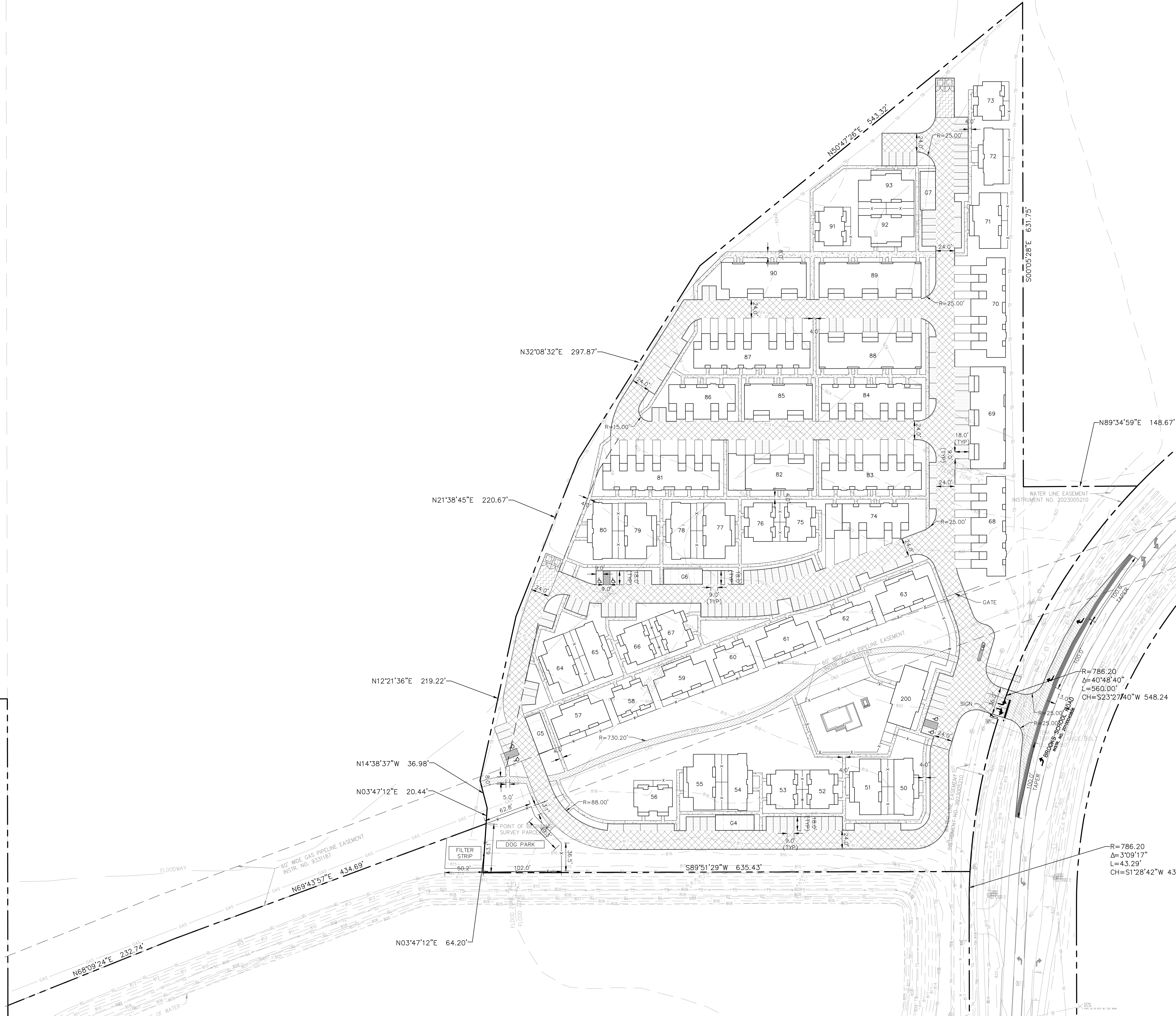
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	HEAVY DUTY ASPHALT PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	RIGHT OF WAY PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	CONCRETE SIDEWALK SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	HEAVY DUTY CONCRETE PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	ASPHALT TRAIL SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	1.5" MILL AND OVERLAY

SITE NOTES

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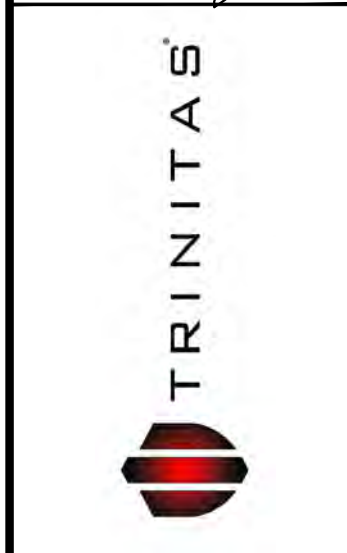
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 DRAWN BY: ###
 CHECKED BY: ###
WILLIAM A. BULL
 REGISTERED PROFESSIONAL ENGINEER
 NOTED FOR CONSTRUCTION

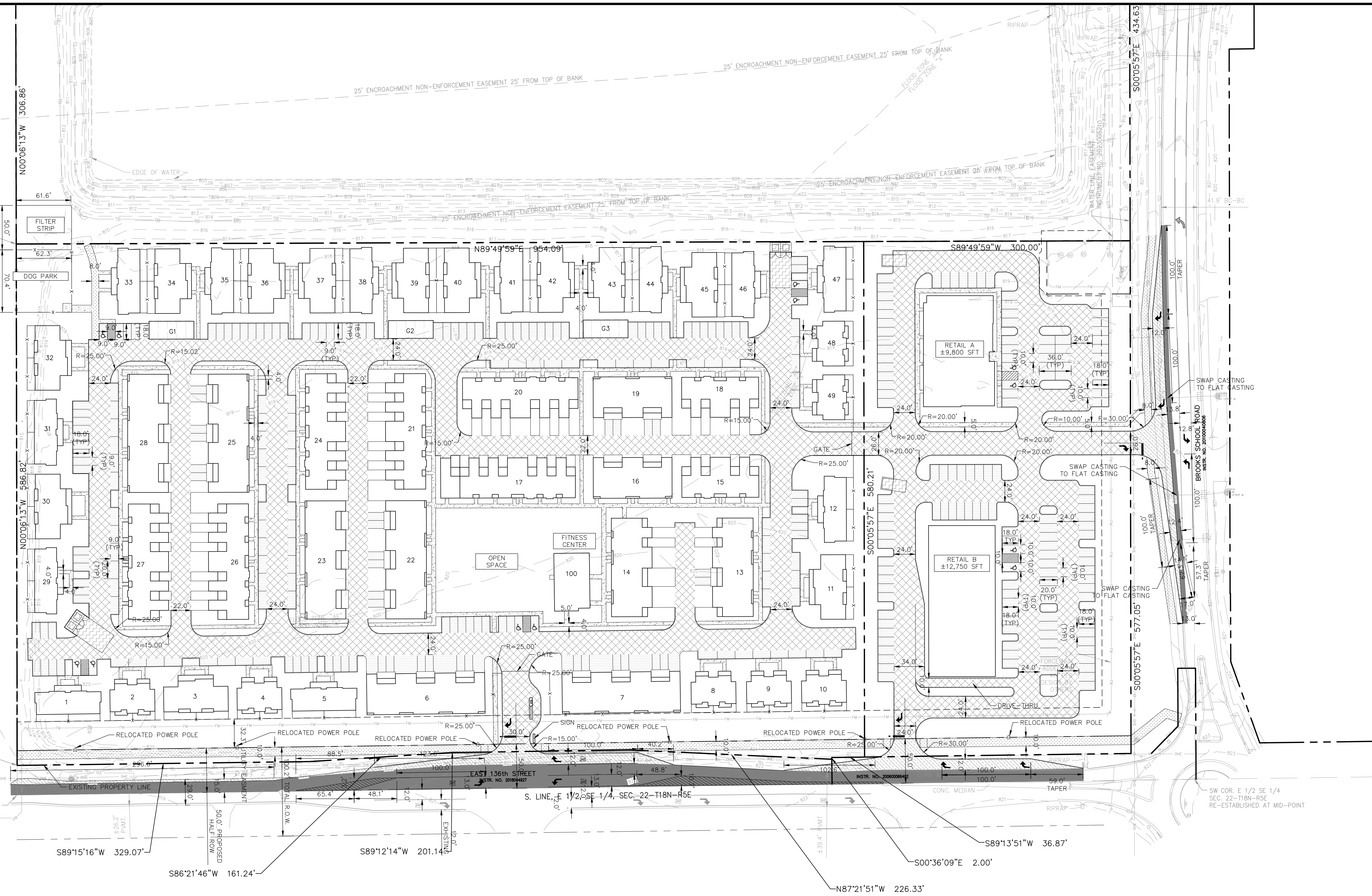


PRELIMINARY DEVELOPMENT SITE PLAN

KINGSLEY AT HYDE PARK NOBLESVILLE, IN 46060

ORIGINAL ISSUE: 03/20/2024
 KHA PROJECT NO. 170346002
 SHEET NUMBER PD1.2

Drawing name: \\kimley-horn.com\KIM\IND\DEV\170346002\Trinitas\Hyde Park\Noblesville\IND\3 Design\CADD\PlanSheets\PD1-1 PRELIMINARY DEVELOPMENT SITE PLAN.dwg PD1.1 May 20, 2024 12:59pm by: AnthonyMagnify
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GRAPHIC SCALE IN FEET
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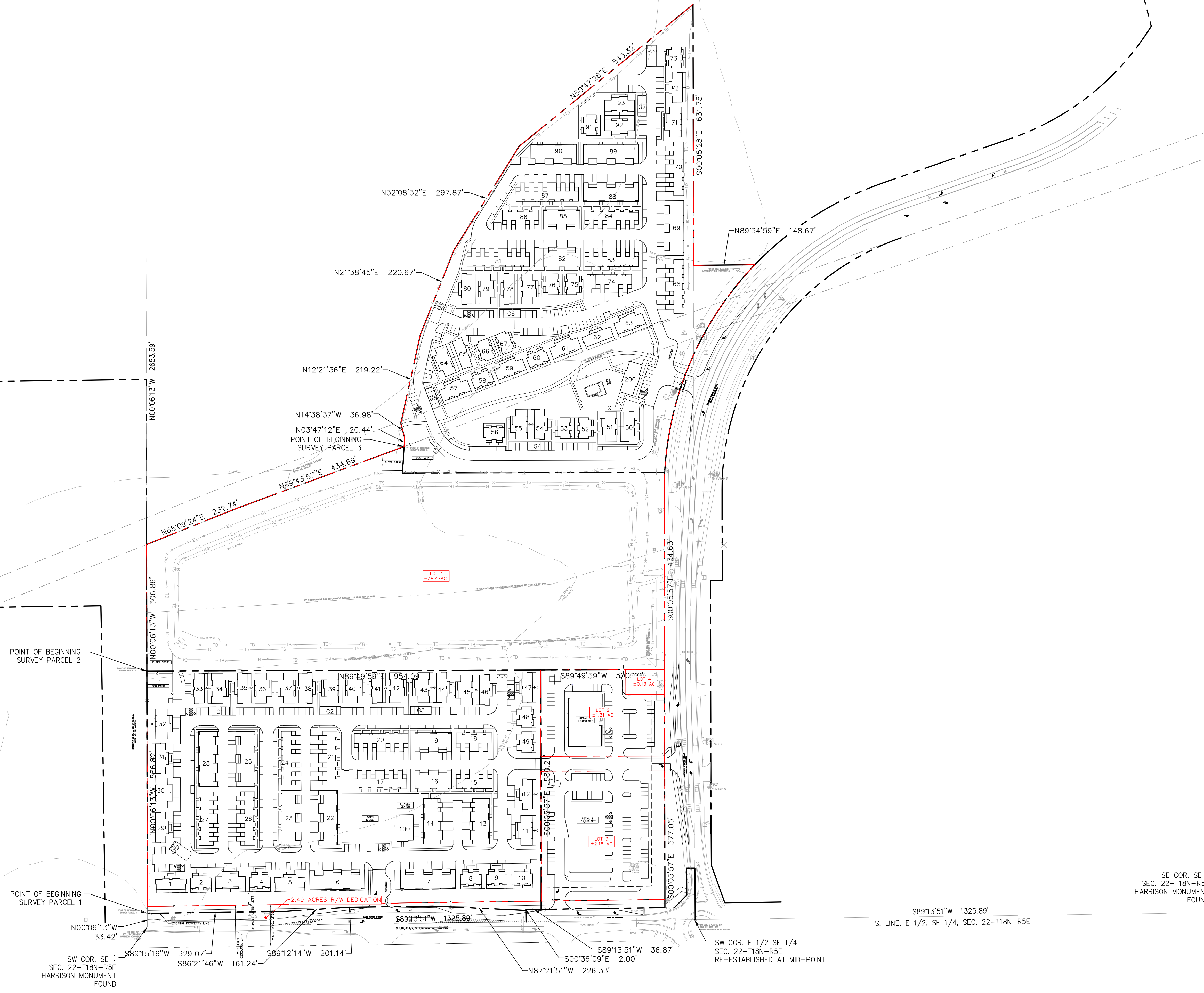
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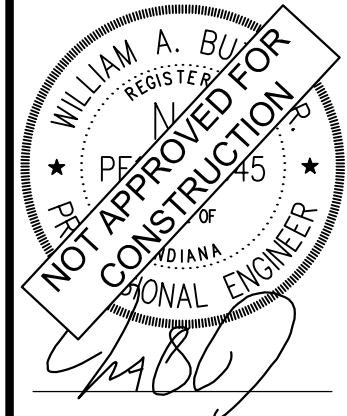
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<p>0224 KIMLEY-HORN AND ASSOCIATES, INC. 500 EAST 96TH STREET, SUITE 300, INDIANAPOLIS, IN 46240 WWW.KIMLEY-HORN.COM</p>	
<p>PRELIMINARY DEVELOPMENT SITE PLAN</p>	
<p>KINGSLEY AT HYDE PARK NOBLESVILLE, IN 46060</p>	
<p>ORIGINAL ISSUE: 03/20/2024 KHA PROJECT NO. 170346002 SHEET NUMBER PD1.3</p>	

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**PRELIMINARY
 OVERALL
 DEVELOPMENT
 LOT PLAN**

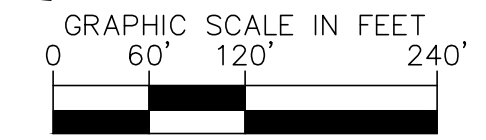
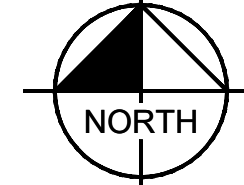
**KINGSLEY AT
 HYDE PARK
 NOBLESVILLE,
 IN 46060**

ORIGINAL ISSUE:
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 KHA PROJECT NO.
 170346002

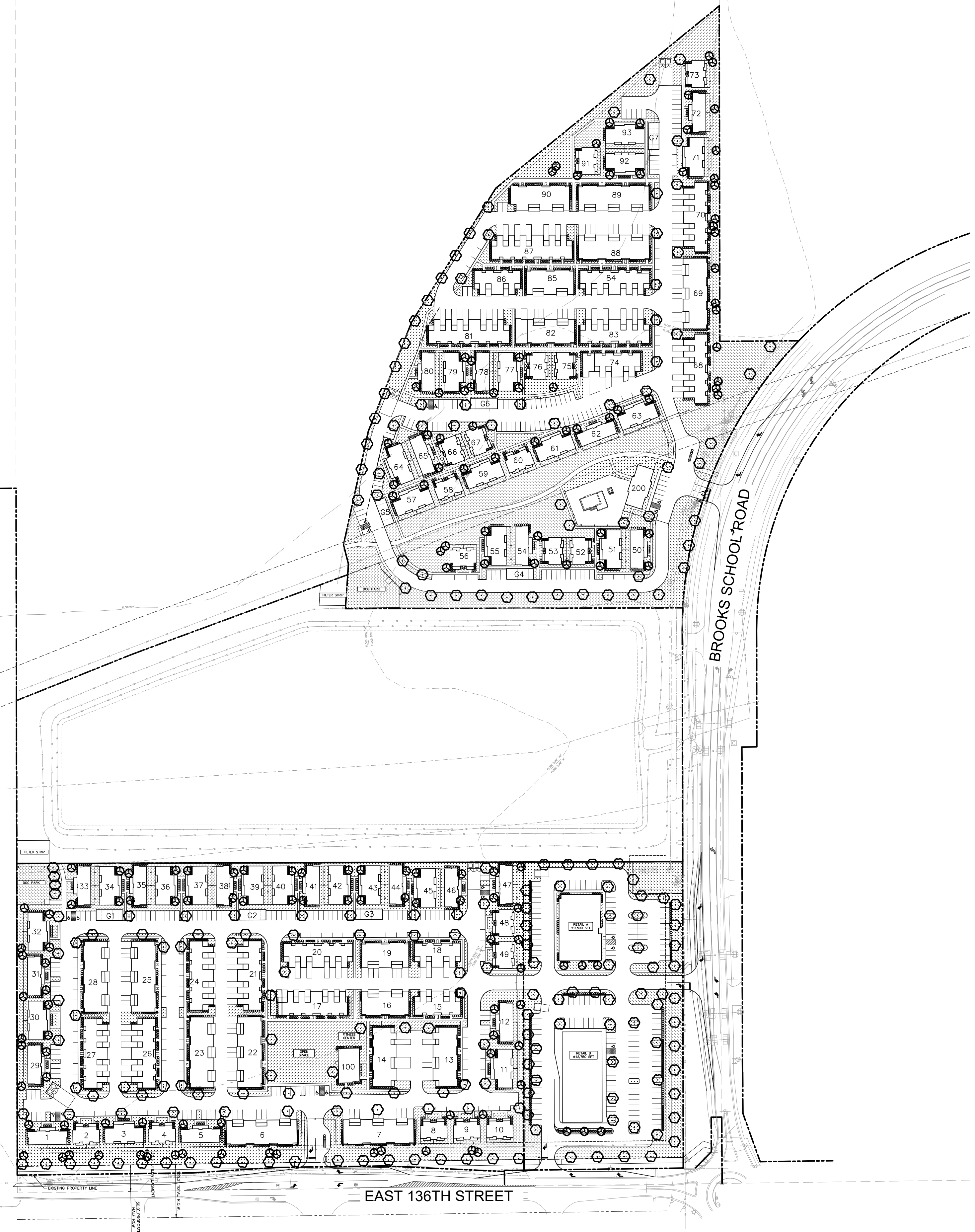
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Drawing name: \\kimley-horn.com\MK\170346002\Trinitas_Lyde_Park_Noblesville_IN\3_Design\CADD\plan sheets\PD5.0-PRELIMINARY OVERALL DEVELOPMENT LANDSCAPE PLAN May 20, 2024 1:07pm by Anthony Maglino
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PRELIMINARY
DEVELOPMENT
OVERALL
LANDSCAPE PLAN

KINGSLEY AT
HYDE PARK
NOBLESVILLE,
IN 46060

ORIGINAL ISSUE:
03/20/2024
KHA PROJECT NO.
170346002
SHEET NUMBER
PD5.0



NOT APPROVED FOR
CONSTRUCTION
MICHELLE C. ROYER
ARCHITECT

SCALE: AS NOTED
DESIGNED BY: ###
DRAWN BY: ###
CHECKED BY: ###
Kimley-Horn
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Drawing name: \\kimley-horn.com\KIM\IND\DEV\170346002\Trinitas\Hyde Park\Noblesville\IND\2 Design\CADD\PlantSchedules\PD5.1 - PRELIMINARY DEVELOPMENT LANDSCAPE PLAN May 20, 2024 1:02pm by Anthony Magarity
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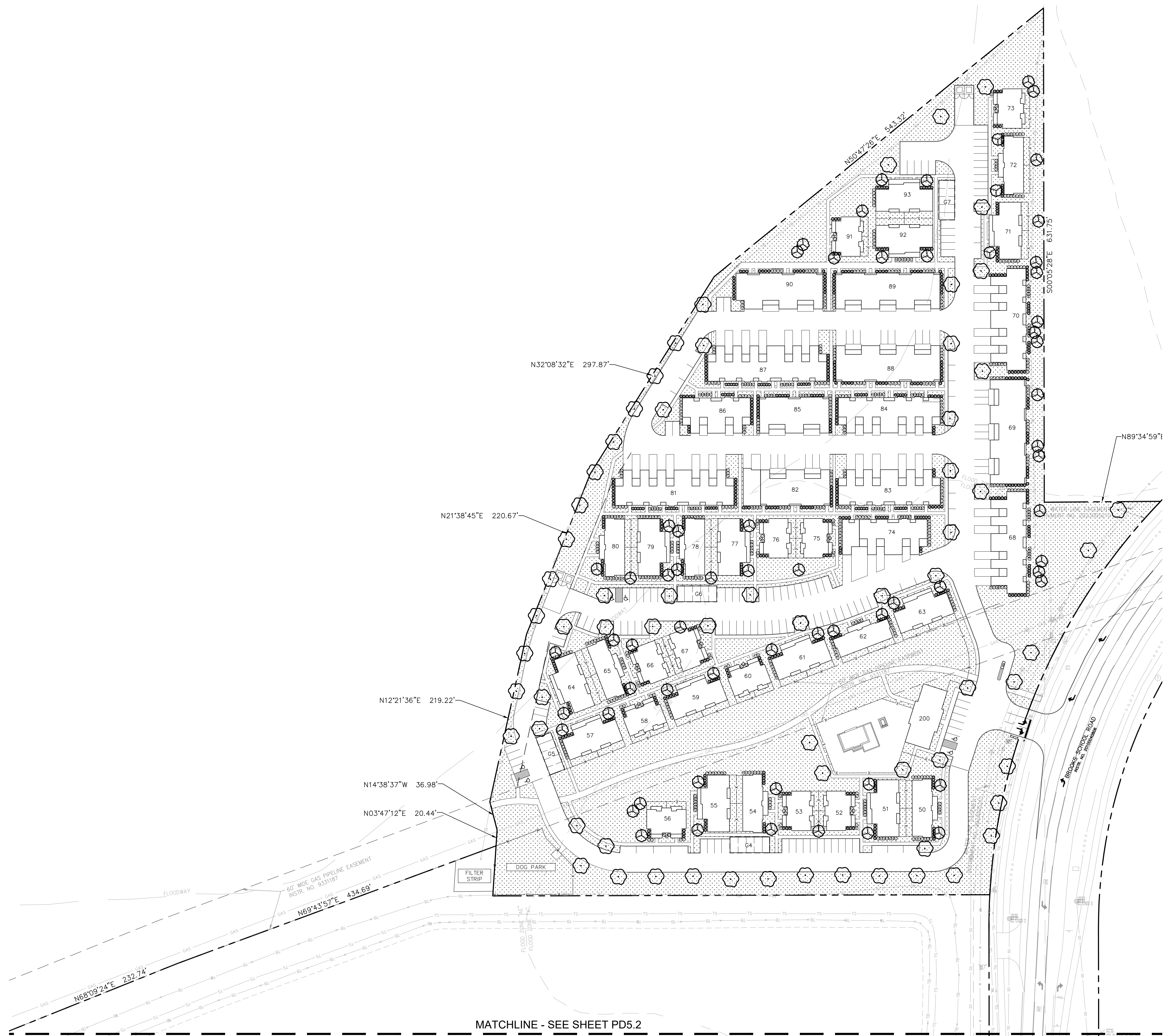
before you dig

NORTH

GRAPHIC SCALE IN FEET
0 30 60 120'

PRELIMINARY PLANT SCHEDULE - NORTH

	SHADE TREE	65
	ORNAMENTAL TREE	65
	DECIDUOUS SHRUB	631
	EVERGREEN SHRUB	624

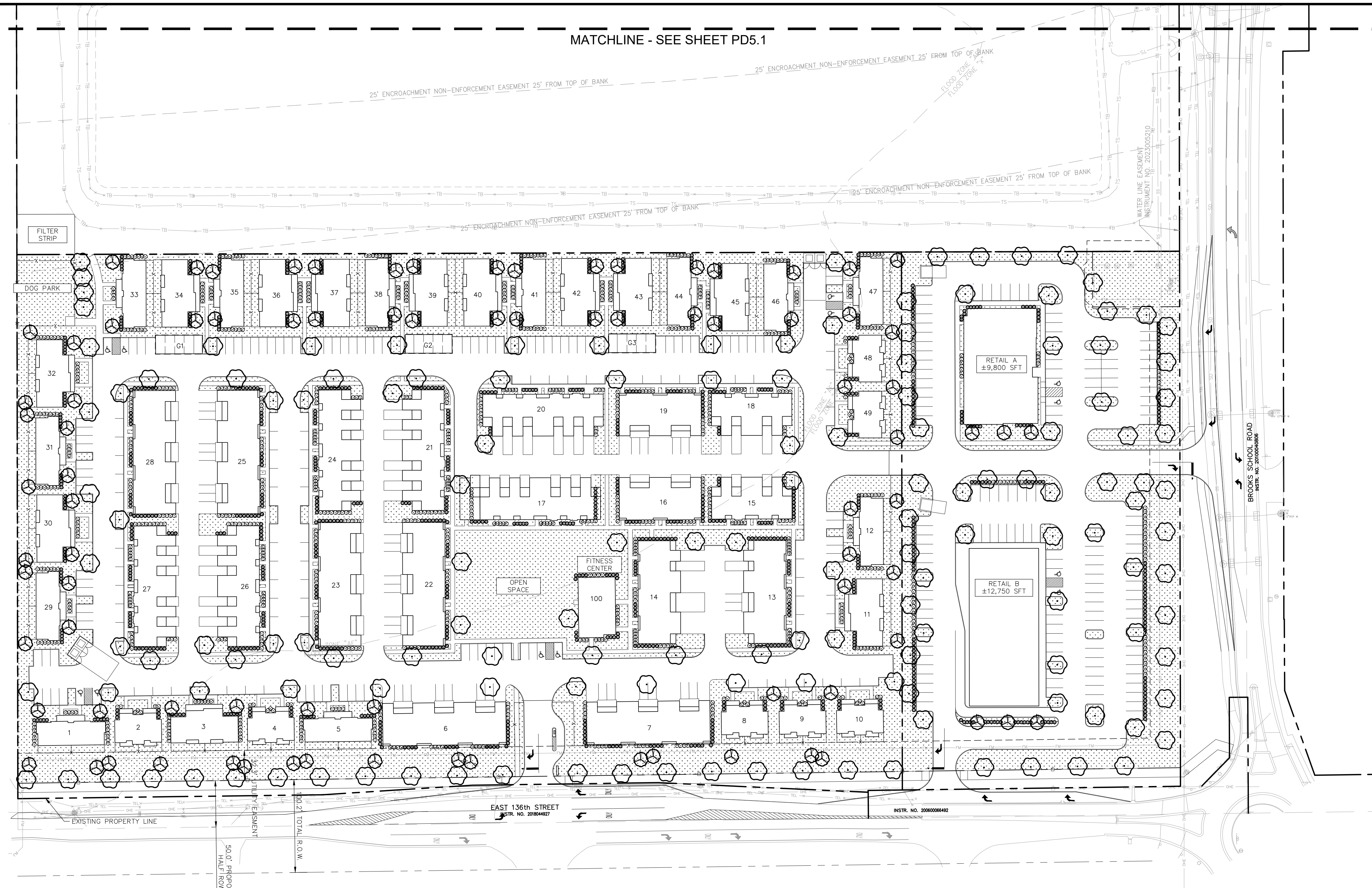
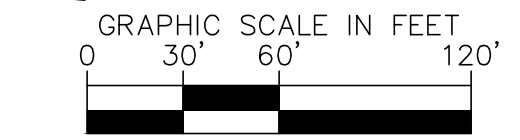
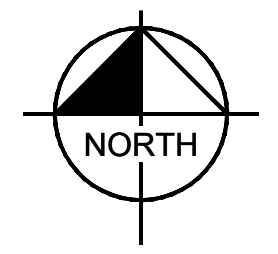


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 NOT APPROVED FOR CONSTRUCTION MICHELE C. RYAN ARCHITECT	
 TRINITAS	
PRELIMINARY DEVELOPMENT LANDSCAPE PLAN	
KINGSLEY AT HYDE PARK NOBLESVILLE, IN 46060	
ORIGINAL ISSUE: 03/20/2024 KHA PROJECT NO. 170346002 SHEET NUMBER PD5.1	

Drawing name: \\kimley-horn.com\KHA\170346002\170346002\Trinitas_Lyise Park_Noblesville_IN\3 Design\CADD\PlantSheets\PD5.1 - PRELIMINARY DEVELOPMENT LANDSCAPE PLAN.dwg PD5.2 PRELIMINARY DEVELOPMENT LANDSCAPE PLAN May 20, 2024 1:02pm by Anthony Magarity
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MATCHLINE - SEE SHEET PD5.1

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PRELIMINARY PLANT SCHEDULE - SOUTH

	SHADE TREE	147
	ORNAMENTAL TREE	86
	DECIDUOUS SHRUB	889
	EVERGREEN SHRUB	928

 DESIGNED BY: ### DRAWN BY: ### CHECKED BY: ###	SCALE: AS NOTED MICHELLE C. CANNON ARCHITECT NOT APPROVED FOR CONSTRUCTION Michele Kopy
	PRELIMINARY DEVELOPMENT LANDSCAPE PLAN
KINGSLEY AT HYDE PARK NOBLESVILLE, IN 46060	ORIGINAL ISSUE: 03/20/2024 KHA PROJECT NO. 170346002 SHEET NUMBER PD5.2

TAB 7

ORDINANCE NO. 0 -0 -24

AN ORDINANCE TO AMEND THE UNIFIED DEVELOPMENT ORDINANCE AND OFFICIAL ZONING MAP, ALL PART OF THE COMPREHENSIVE PLAN OF THE CITY OF NOBLESVILLE, HAMILTON COUNTY, INDIANA

Document Cross Reference Nos. _____ and _____

This Ordinance amends the Unified Development Ordinance for the City of Noblesville, Hamilton County, Indiana (the “UDO”), enacted by the City of Noblesville (the “City”) under authority of Indiana Code § 36-7-4-600, et seq., as amended.

WHEREAS, the Plan Commission of the City of Noblesville (the “Plan Commission”) conducted a public hearing on Docket Number LEGP-0077-2024 at its May 20, 2024 meeting as required by law concerning a change of zoning of certain property described in **Exhibit A** attached hereto (the “Real Estate”) containing 42.52 acres, and depicted in **Exhibit B** attached hereto; and,

WHEREAS, the Plan Commission has sent a _____ recommendation for adoption of said amendment with a vote of ____ () AYES and ____ () NAYS to the Common Council of the City of Noblesville Hamilton County, Indiana (the “Common Council”);

NOW, THEREFORE, BE IT ORDAINED by the Common Council, at its meeting in regular session, that the Unified Development Ordinance and Official Zoning Map, are hereby amended as follows:

Section 1. The Official Zone Map is hereby amended, as it pertains to the Real Estate, as follows:

- A. To change the zoning of the property legally described in **Exhibit C** and visually depicted with a yellow outline in **Exhibit E** from (i) the Corporate Campus Planned Development (“CCPD”) Interchange Flex Subdistrict and Office/Flex Land Use Type and (ii) the CCPD Interchange Flex Subdistrict and Multi-family/Commercial/Office/Flex Land Use Type to the CCPD Mixed Residential Subdistrict and Multi-family/Commercial/Office/Flex Land Use Type, and
- B. To change the zoning of the property legally described in **Exhibit D** and visually depicted with an orange outline in **Exhibit E** from the CCPD Interchange Flex Subdistrict and Multi-family/Commercial/Office/Flex

Land Use Type to the CCPD Secondary Corridor Subdistrict and Commercial / Commercial/Office Land Use Type.

Section 2. That the Zoning map shall be updated concurrently to reflect the changes referred to in Section 1.

- A. The resulting CCPD Mixed Residential Subdistrict and Multi-family/ Commercial/Office/Flex Land Use Type is legally described in **Exhibit C** attached hereto containing 38.78 acres, and visually depicted with a yellow outline in **Exhibit E** attached hereto.
- B. The resulting CCPD Secondary Corridor Subdistrict and Commercial / Commercial/Office Land Use Type is legally described in **Exhibit D** attached hereto containing 1.44 acres, and visually depicted with an orange outline in **Exhibit G**.

Section 3. This Ordinance shall be in full force and effect from and upon its adoption and publication in accordance with the law.

[The remainder of this page intentionally left blank; signature page follows.]

Approved on this _____ day of _____, 2024 by the Common Council of the City of Noblesville, Indiana:

AYE		NAY	ABSTAIN
	Mark Boice		
	Michael J. Davis		
	Evan Elliott		
	David M. Johnson		
	Darren Peterson		
	Pete Schwartz		
	Aaron Smith		
	Todd Thurston		
	Megan G. Wiles		

ATTEST: _____
 Evelyn L. Lees, City Clerk

Presented by me to the Mayor of the City of Noblesville, Indiana, this _____ day of _____, 2024 at _____ .M.

 Evelyn L. Lees, City Clerk

MAYOR'S APPROVAL

Chris Jensen, Mayor

Date

MAYOR'S VETO

Chris Jensen, Mayor

Date

ATTEST: _____
Evelyn L. Lees, City Clerk

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security Number in this document, unless required by law: Jon C. Dobosiewicz

Prepared by: James E. Shinaver, attorney at law, NELSON & FRANKENBERGER and Jon C. Dobosiewicz, land use professional, NELSON & FRANKENBERGER. 550 Congressional Blvd, Suite 210, Carmel, IN 46032 (317) 844-0106.

Kingsley at Hyde Park - Rezone Ordinance 3 042524

EXHIBIT A

Legal Description
(Page 1 of 1)

PART OF THE SOUTHEAST QUARTER OF SECTION 22, TOWNSHIP 18 NORTH, RANGE 5 EAST OF THE SECOND PRINCIPAL MERIDIAN, HAMILTON COUNTY, INDIANA, DESCRIBED AS FOLLOWS:

COMMENCING AT A HARRISON MONUMENT MARKING THE SOUTHWEST CORNER OF THE SOUTHEAST QUARTER OF SAID SECTION 22; THENCE ALONG THE WEST LINE OF SAID SOUTHEAST QUARTER NORTH 00 DEGREES 06 MINUTES 13 SECONDS WEST (BASIS OF BEARINGS) 33.42 FEET TO THE NORTH LINE OF THE LAND OF CITY OF NOBLESVILLE AS DESCRIBED IN INSTRUMENT NO. 2018044927 IN THE OFFICE OF THE RECORDER OF HAMILTON COUNTY, INDIANA AND THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID WEST LINE NORTH 00 DEGREES 06 MINUTES 13 SECONDS WEST 893.68 FEET TO THE SOUTH LINE OF A 60' WIDE GAS PIPELINE EASEMENT AS DESCRIBED IN INSTRUMENT NO. 9331187 IN SAID RECORDER'S OFFICE; THENCE ALONG THE SOUTH LINE OF SAID INSTRUMENT NO. 9331187 NORTH 68 DEGREES 09 MINUTES 24 SECONDS EAST 232.74 FEET; THENCE CONTINUING ALONG THE SOUTH LINE OF SAID INSTRUMENT NO. 9331187 NORTH 69 DEGREES 43 MINUTES 57 SECONDS EAST 434.69 FEET; THENCE NORTH 03 DEGREES 47 MINUTES 12 SECONDS EAST 20.44 FEET; THENCE NORTH 14 DEGREES 38 MINUTES 37 SECONDS WEST 36.98 FEET; THENCE NORTH 12 DEGREES 21 MINUTES 36 SECONDS EAST 219.22 FEET; THENCE NORTH 21 DEGREES 38 MINUTES 45 SECONDS EAST 220.67 FEET; THENCE NORTH 32 DEGREES 08 MINUTES 32 SECONDS EAST 297.87 FEET; THENCE NORTH 50 DEGREES 47 MINUTES 26 SECONDS EAST 543.32 FEET TO THE WEST LINE OF THE EAST HALF OF SAID SOUTHEAST QUARTER; THENCE ALONG SAID WEST LINE SOUTH 00 DEGREES 05 MINUTES 28 SECONDS EAST 631.75 FEET TO THE SOUTHWEST CORNER OF THE LAND OF MAB CAPITAL INVESTMENTS LLC AS DESCRIBED IN INSTRUMENT NO. 2022024621 IN SAID RECORDER'S OFFICE; THENCE ALONG THE SOUTH LINE THEREOF NORTH 89 DEGREES 34 MINUTES 59 SECONDS EAST 148.67 FEET TO THE WEST LINE OF THE LAND OF CITY OF NOBLESVILLE AS DESCRIBED IN INSTRUMENT NO. 20100040806 IN SAID RECORDER'S OFFICE, SAID POINT BEING ON A CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 786.20 FEET AND A CHORD BEARING SOUTH 21 DEGREES 53 MINUTES 02 SECONDS WEST 588.60 FEET; THENCE SOUTHWESTERLY ALONG SAID WEST LINE AND SAID CURVE 603.29 FEET; THENCE CONTINUING ALONG SAID WEST LINE SOUTH 00 DEGREES 05 MINUTES 57 SECONDS EAST 1011.69 FEET TO THE NORTH LINE OF THE LAND OF CITY OF NOBLESVILLE AS DESCRIBED IN INSTRUMENT NO. 2006066492; THENCE ALONG SAID NORTH LINE SOUTH 89 DEGREES 13 MINUTES 51 SECONDS WEST 336.90 FEET TO THE NORTHWEST CORNER OF THE LAND DESCRIBED IN SAID INSTRUMENT NO. 2006066492; THENCE ALONG THE WEST LINE THEREOF SOUTH 00 DEGREES 36 MINUTES 09 SECONDS EAST 2.00 FEET TO THE NORTHEAST CORNER OF THE LAND OF CITY OF NOBLESVILLE AS DESCRIBED IN THE AFORESAID INSTRUMENT NO. 2018044927; THENCE THE FOLLOWING FOUR (4) COURSES ALONG THE NORTH LINE THEREOF; (1) NORTH 87 DEGREES 21 MINUTES 51 SECONDS WEST 226.33 FEET; (2) SOUTH 89 DEGREES 12 MINUTES 14 SECONDS WEST 201.14 FEET; (3) SOUTH 86 DEGREES 21 MINUTES 46 SECONDS WEST 161.24 FEET; (4) SOUTH 89 DEGREES 15 MINUTES 16 SECONDS WEST 329.07 FEET TO THE POINT OF BEGINNING, CONTAINING 42.52 ACRES, MORE OR LESS.

EXHIBIT B

Visual Depiction of Real Estate
(Page 1 of 1)



EXHIBIT C

Legal Description - CCPD Mixed Residential Subdistrict and Multi-family/Commercial/
Office/Flex Land Use Type
(Page 1 of 1)

PART OF THE SOUTHEAST QUARTER OF SECTION 22, TOWNSHIP 18 NORTH, RANGE 5 EAST OF THE SECOND PRINCIPAL MERIDIAN, HAMILTON COUNTY, INDIANA, DESCRIBED AS FOLLOWS:

COMMENCING AT A HARRISON MONUMENT MARKING THE SOUTHWEST CORNER OF THE SOUTHEAST QUARTER OF SAID SECTION 22; THENCE ALONG THE WEST LINE OF SAID SOUTHEAST QUARTER NORTH 00 DEGREES 06 MINUTES 13 SECONDS WEST (BASIS OF BEARINGS) 33.42 FEET TO THE NORTH LINE OF THE LAND OF CITY OF NOBLESVILLE AS DESCRIBED IN INSTRUMENT NO. 2018044927 IN THE OFFICE OF THE RECORDER OF HAMILTON COUNTY, INDIANA AND THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID WEST LINE NORTH 00 DEGREES 06 MINUTES 13 SECONDS WEST 893.68 FEET TO THE SOUTH LINE OF A 60' WIDE GAS PIPELINE EASEMENT AS DESCRIBED IN INSTRUMENT NO. 9331187 IN SAID RECORDER'S OFFICE; THENCE ALONG THE SOUTH LINE OF SAID INSTRUMENT NO. 9331187 NORTH 68 DEGREES 09 MINUTES 24 SECONDS EAST 232.74 FEET; THENCE CONTINUING ALONG THE SOUTH LINE OF SAID INSTRUMENT NO. 9331187 NORTH 69 DEGREES 43 MINUTES 57 SECONDS EAST 434.69 FEET; THENCE NORTH 03 DEGREES 47 MINUTES 12 SECONDS EAST 20.44 FEET; THENCE NORTH 14 DEGREES 38 MINUTES 37 SECONDS WEST 36.98 FEET; THENCE NORTH 12 DEGREES 21 MINUTES 36 SECONDS EAST 219.22 FEET; THENCE NORTH 21 DEGREES 38 MINUTES 45 SECONDS EAST 220.67 FEET; THENCE NORTH 32 DEGREES 08 MINUTES 32 SECONDS EAST 297.87 FEET; THENCE NORTH 50 DEGREES 47 MINUTES 26 SECONDS EAST 543.32 FEET TO THE WEST LINE OF THE EAST HALF OF SAID SOUTHEAST QUARTER; THENCE ALONG SAID WEST LINE SOUTH 00 DEGREES 05 MINUTES 28 SECONDS EAST 631.75 FEET TO THE SOUTHWEST CORNER OF THE LAND OF MAB CAPITAL INVESTMENTS LLC AS DESCRIBED IN INSTRUMENT NO. 2022024621 IN SAID RECORDER'S OFFICE; THENCE ALONG THE SOUTH LINE THEREOF NORTH 89 DEGREES 34 MINUTES 59 SECONDS EAST 148.67 FEET TO THE WEST LINE OF THE LAND OF CITY OF NOBLESVILLE AS DESCRIBED IN INSTRUMENT NO. 20100040806 IN SAID RECORDER'S OFFICE, SAID POINT BEING ON A CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 786.20 FEET AND A CHORD BEARING SOUTH 21 DEGREES 53 MINUTES 02 SECONDS WEST 588.60 FEET; THENCE SOUTHWESTERLY ALONG SAID WEST LINE AND SAID CURVE 603.29 FEET; THENCE CONTINUING ALONG SAID WEST LINE SOUTH 00 DEGREES 05 MINUTES 57 SECONDS EAST 434.63 FEET; THENCE SOUTH 89 DEGREES 49 MINUTES 59 SECONDS WEST 300.00 FEET; THENCE SOUTH 00 DEGREES 05 MINUTES 57 SECONDS EAST 209.41 FEET; THENCE NORTH 89 DEGREES 52 MINUTES 27 SECONDS EAST 300.00 FEET TO THE WEST LINE OF THE LAND OF CITY OF NOBLESVILLE AS DESCRIBED IN INSTRUMENT NO. 20100040806 IN SAID RECORDER'S OFFICE; THENCE ALONG THE WEST LINE THEREOF SOUTH 00 DEGREES 05 MINUTES 57 SECONDS EAST 36.00 FEET; THENCE SOUTH 89 DEGREES 52 MINUTES 27 SECONDS WEST 300.00 FEET; THENCE SOUTH 00 DEGREES 05 MINUTES 57 SECONDS EAST 334.80 FEET TO THE NORTH LINE OF THE LAND OF CITY OF NOBLESVILLE AS DESCRIBED IN INSTRUMENT NO. 2006066492; THENCE ALONG SAID NORTH LINE SOUTH 89 DEGREES 13 MINUTES 51 SECONDS WEST 36.87 FEET TO THE NORTHWEST CORNER OF THE LAND DESCRIBED IN SAID INSTRUMENT NO. 2006066492; THENCE ALONG THE WEST LINE THEREOF SOUTH 00 DEGREES 36 MINUTES 09 SECONDS EAST 2.00 FEET TO THE NORTHEAST CORNER OF THE LAND OF CITY OF NOBLESVILLE AS DESCRIBED IN THE AFORESAID INSTRUMENT NO. 2018044927; THENCE THE FOLLOWING FOUR (4) COURSES ALONG THE NORTH LINE THEREOF; (1) NORTH 87 DEGREES 21 MINUTES 51 SECONDS WEST 226.33 FEET; (2) SOUTH 89 DEGREES 12 MINUTES 14 SECONDS WEST 201.14 FEET; (3) SOUTH 86 DEGREES 21 MINUTES 46 SECONDS WEST 161.24 FEET; (4) SOUTH 89 DEGREES 15 MINUTES 16 SECONDS WEST 329.07 FEET TO THE POINT OF BEGINNING, CONTAINING 38.78 ACRES, MORE OR LESS.

EXHIBIT D

Legal Description – Secondary Corridor Subdistrict and Commercial / Commercial/Office Land
Use Type
(Page 1 of 2)

PARCEL 1

PART OF THE SOUTHEAST QUARTER OF SECTION 22, TOWNSHIP 18 NORTH, RANGE 5 EAST OF THE SECOND PRINCIPAL MERIDIAN, HAMILTON COUNTY, INDIANA, DESCRIBED AS FOLLOWS:

COMMENCING AT A HARRISON MONUMENT MARKING THE SOUTHWEST CORNER OF THE SOUTHEAST QUARTER OF SAID SECTION 22; THENCE ALONG THE WEST LINE OF SAID SOUTHEAST QUARTER NORTH 00 DEGREES 06 MINUTES 13 SECONDS WEST (BASIS OF BEARINGS) 33.42 FEET TO THE NORTH LINE OF THE LAND OF CITY OF NOBLESVILLE AS DESCRIBED IN INSTRUMENT NO. 2018044927 IN THE OFFICE OF THE RECORDER OF HAMILTON COUNTY, INDIANA; THENCE THE FOLLOWING FOUR (4) COURSES ALONG THE NORTH LINE THEREOF; (1) NORTH 89 DEGREES 15 MINUTES 16 SECONDS EAST 329.07 FEET; (2) NORTH 86 DEGREES 21 MINUTES 46 SECONDS EAST 161.24 FEET; (3) NORTH 89 DEGREES 12 MINUTES 14 SECONDS EAST 201.14 FEET; (4) SOUTH 87 DEGREES 21 MINUTES 51 SECONDS EAST 226.33 FEET TO THE WEST LINE OF THE LAND OF CITY OF NOBLESVILLE AS DESCRIBED IN INSTRUMENT NO. 2006066492; THENCE ALONG SAID WEST LINE NORTH 00 DEGREES 36 MINUTES 09 SECONDS WEST 2.00 FEET TO THE NORTHWEST CORNER OF THE LAND DESCRIBED IN SAID INSTRUMENT NO. 2006066492; THENCE ALONG THE NORTH LINE THEREOF NORTH 89 DEGREES 13 MINUTES 51 SECONDS EAST 36.87 FEET TO THE POINT OF BEGINNING; THENCE NORTH 00 DEGREES 05 MINUTES 56 SECONDS WEST 334.80 FEET; THENCE NORTH 89 DEGREES 52 MINUTES 27 SECONDS EAST 300.00 FEET TO THE WEST LINE OF THE LAND OF CITY OF NOBLESVILLE AS DESCRIBED IN INSTRUMENT NO. 20100040806 IN SAID RECORDER'S OFFICE; THENCE ALONG THE WEST LINE THEREOF SOUTH 00 DEGREES 05 MINUTES 56 SECONDS EAST 331.43 FEET TO THE NORTH LINE OF THE LAND OF CITY OF NOBLESVILLE AS DESCRIBED IN INSTRUMENT NO. 2006066492; THENCE ALONG SAID NORTH LINE SOUTH 89 DEGREES 13 MINUTES 51 SECONDS WEST 300.02 FEET TO THE POINT OF BEGINNING, CONTAINING 2.29 ACRES MORE OR LESS

ALSO:

PARCEL 2

PART OF THE SOUTHEAST QUARTER OF SECTION 22, TOWNSHIP 18 NORTH, RANGE 5 EAST OF THE SECOND PRINCIPAL MERIDIAN, HAMILTON COUNTY, INDIANA, DESCRIBED AS FOLLOWS:

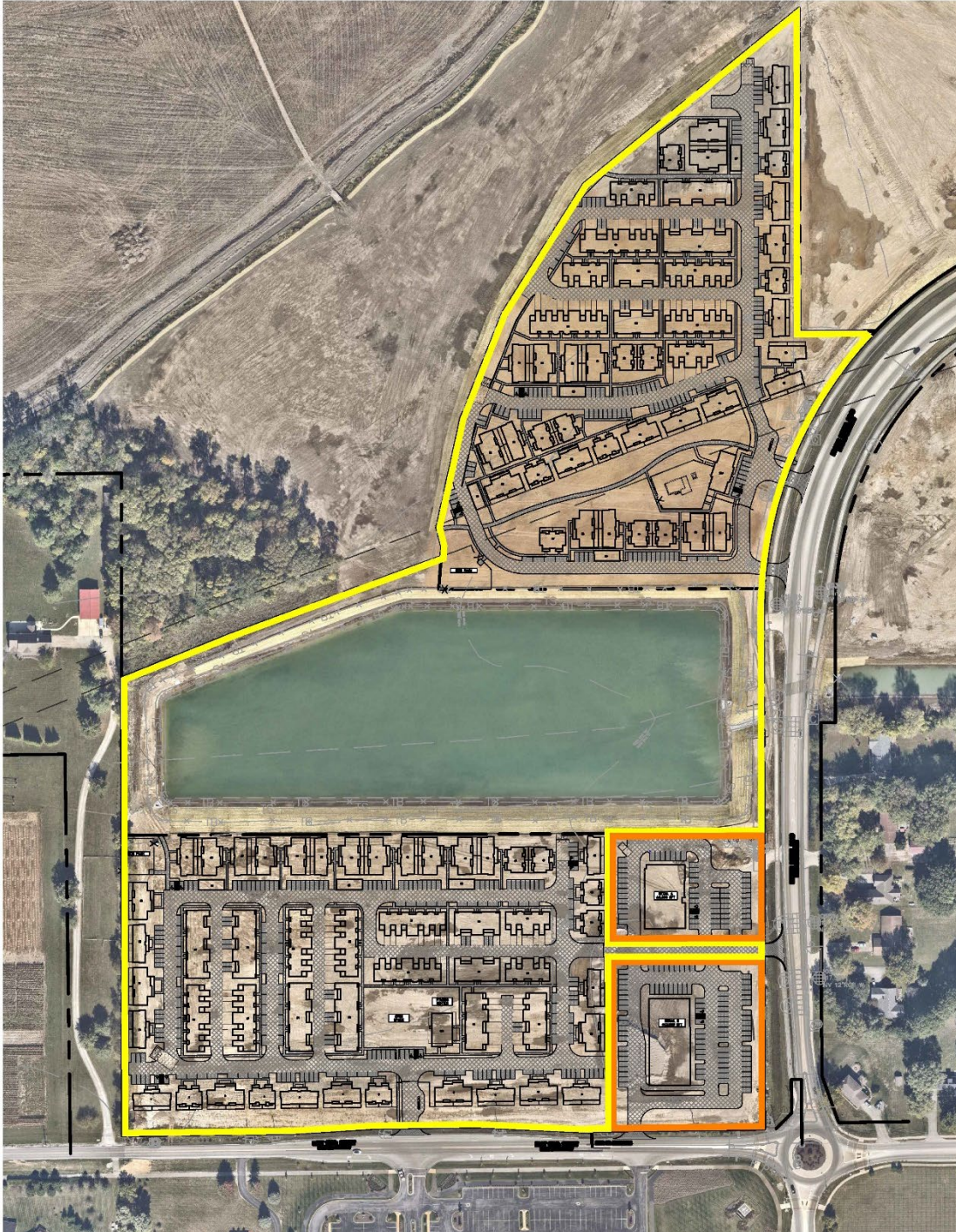
COMMENCING AT A HARRISON MONUMENT MARKING THE SOUTHWEST CORNER OF THE SOUTHEAST QUARTER OF SAID SECTION 22; THENCE ALONG THE WEST LINE OF SAID SOUTHEAST QUARTER NORTH 00 DEGREES 06 MINUTES 13 SECONDS WEST (BASIS OF BEARINGS) 33.42 FEET TO THE NORTH LINE OF THE LAND OF CITY OF NOBLESVILLE AS DESCRIBED IN INSTRUMENT NO. 2018044927 IN THE OFFICE OF THE RECORDER OF HAMILTON COUNTY, INDIANA; THENCE THE FOLLOWING FOUR (4) COURSES ALONG THE NORTH LINE THEREOF; (1) NORTH 89 DEGREES 15 MINUTES 16 SECONDS EAST 329.07 FEET; (2) NORTH 86 DEGREES 21 MINUTES 46 SECONDS EAST 161.24 FEET; (3) NORTH 89 DEGREES 12 MINUTES 14 SECONDS EAST 201.14 FEET; (4) SOUTH 87 DEGREES 21 MINUTES 51 SECONDS EAST 226.33 FEET TO THE WEST LINE OF THE LAND OF CITY OF NOBLESVILLE AS DESCRIBED IN INSTRUMENT NO. 2006066492; THENCE ALONG SAID WEST LINE NORTH 00 DEGREES 36 MINUTES 09 SECONDS WEST 2.00 FEET TO THE NORTHWEST CORNER OF THE LAND DESCRIBED IN SAID INSTRUMENT NO. 2006066492; THENCE ALONG THE NORTH LINE THEREOF NORTH 89 DEGREES 13 MINUTES 51 SECONDS EAST 336.90 FEET TO THE WEST LINE OF THE LAND OF CITY OF NOBLESVILLE AS DESCRIBED IN INSTRUMENT NO. 20100040806 IN SAID RECORDER'S OFFICE; THENCE ALONG THE WEST LINE THEREOF NORTH 00 DEGREES 05 MINUTES

57 SECONDS WEST 367.43 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 89 DEGREES 52 MINUTES 27 SECONDS WEST 300.00 FEET; THENCE NORTH 00 DEGREES 05 MINUTES 57 SECONDS WEST 209.41 FEET; THENCE NORTH 89 DEGREES 49 MINUTES 59 SECONDS EAST 300.00 FEET TO THE WEST LINE OF THE LAND OF CITY OF NOBLESVILLE AS DESCRIBED IN SAID INSTRUMENT NO. 20100040806; THENCE SOUTH 00 DEGREES 05 MINUTES 57 SECONDS EAST 209.63 FEET TO THE POINT OF BEGINNING, CONTAINING 1.44 ACRES MORE OR LESS

EXHIBIT E

Graphic Depiction of (i) CCPD Mixed Residential Subdistrict and Multi-family/Commercial/Office/Flex Land Use Type *outlined in yellow* and (ii) Secondary Corridor Subdistrict and Commercial / Commercial/Office Land Use Type *outlined in orange*.

(Page 1 of 1)



TAB 8

ORDINANCE NO. 0 -0 -24

**AN ORDINANCE TO AMEND THE UNIFIED DEVELOPMENT ORDINANCE,
A PART OF THE COMPREHENSIVE PLAN OF THE CITY OF NOBLESVILLE,
HAMILTON COUNTY, INDIANA**

Document Cross Reference Nos. _____ and _____

This is an Ordinance (the “Kingsley at Hyde Park PD Ordinance” or “PD Ordinance”) amends the Unified Development Ordinance for the City of Noblesville, Hamilton County, Indiana (the “UDO”), enacted by the City of Noblesville (the “City”) under authority of Indiana Code § 36-7-4-600, et seq., as amended.

WHEREAS, the Plan Commission of the City of Noblesville (the “Plan Commission”) conducted a public hearing on Docket Number LEGP-0078-2024 at its May 20, 2024 meeting as required by law in regard to the application filed by Trinitas Development, LLC, (the “Developer”) for a request in change of zoning (the "Petition"); concerning a change of zoning of certain property described in **Exhibit A** attached hereto (the “Real Estate” which is also referred to herein as the “District”) and the adoption of a preliminary development plan to be known, collectively with attached Exhibits, as the “Kingsley at Hyde Park Preliminary Development Plan”, as further described in Section 4 below (the “Preliminary Development Plan”); and,

WHEREAS, the Plan Commission has sent a _____ recommendation for adoption of said amendment with a vote of _____ () AYES and _____ () NAYS to the Common Council of the City of Noblesville Hamilton County, Indiana (the “Common Council”);

NOW, THEREFORE, BE IT ORDAINED by the Common Council, meeting in regular session, it hereby adopts this Kingsley at Hyde Park PD Ordinance as an amendment to the UDO and the Official City of Noblesville Zoning Map (the "Zoning Map") to establish this Planned Development Overlay District (the "District") to read as follows:

Section 1. Applicability of Ordinance.

- A. The District’s underlying zoning districts shall be the CCPD Secondary Corridor Subdistrict and Commercial / Commercial/Office Land Use Type for Area A, as shown on **Exhibit B**, and CCPD Mixed Residential Subdistrict and Multi-family/ Commercial/Office/Flex Land Use Type for Area B as shown on **Exhibit B**, and as evidenced by Ordinance No. 0_-0_-24 (the “Underlying Districts”).

- B. The standards of the UDO existing on the date of adoption of this Ordinance applicable to the Underlying District(s) shall apply to the development of the Districts, except as modified, revised, or expressly made inapplicable by this Ordinance. Cross-references to “Article”, “Part”, “Section” and “Subsection” in this Ordinance shall refer to the corresponding Article, Part, Section and Subsection as specified and referenced in the UDO.
- C. All provisions and representations of the UDO that conflict with the provisions of this Ordinance and its exhibits are hereby rescinded as applied to the Real Estate and shall be superseded by the terms of this Ordinance. All previous PD Ordinances, and any amendments thereto, applicable to the Real Estate are hereby repealed with respect to the Real Estate.

Section 2. Definitions.

- A. The general rules of construction set forth in Article 2 of the UDO and the definitions set forth in this Ordinance shall apply to the regulations of this Ordinance. Capitalized terms that are not otherwise defined herein and are defined in the UDO shall have the meaning ascribed to them in the UDO.
- B. “Approved Elevations” shall mean the set of building elevations on file with the City’s Planning and Development Department as submitted on March 20, 2024, as reviewed and approved by the City’s Architectural Review Board (the “Committee”), at its April 17, 2024 meeting and amended and submitted on amended April 25, 2024 in accordance with the conditions of approval by the Committee (the “Approved Elevations”). The elevations and illustrations attached hereto as **Exhibit C** is a sampling and general representation of those approved elevations (collectively, the “Approved Elevations”).
- C. “Area A” shall refer to the area of the Real Estate with an underlying CCPD Secondary Corridor Subdistrict and Commercial / Commercial/Office Land Use Type zoning.
- D. “Area B” shall refer to the residential area of the Real Estate with an underlying CCPD Mixed Residential Subdistrict and Multi-family/ Commercial/Office/Flex Land Use Type zoning.
- E. “Preliminary Development Plan” shall mean the oversized, scaled development plans on file with the City of Noblesville’s Planning and Development Department dated March 20, 2024. The exhibit attached hereto as **Exhibit B** is a general representation of the oversized plans (collectively, the “Preliminary Development Plan”).

Section 3. Permitted Uses.

- A. All uses permitted in the Commercial and Commercial/Office land use categories in Appendix D of the UDO shall be permitted within Area A.
- B. Two-family dwellings and townhome dwellings and associated uses shall be permitted within Area B. However, the maximum number of Dwelling Units shall not exceed three-hundred (300). Townhome dwellings shall be regulated as a permitted Use under Appendix D of the UDO as a “multi-family of 3 or more dwelling units” Use.
- C. Accessory Uses and Accessory Structures customarily incidental to any permitted use including amenity structures/uses, detached garages and dumpster enclosures shall be permitted.

Section 4. Preliminary Development Plan.

- A. The Preliminary Development Plan and waivers listed in **Exhibit B** and **Exhibit D** are hereby incorporated and approved. Pursuant to Article 8 of the UDO, the Preliminary Development Plan is intended to establish the basic goals and policies, bulk standards, variations from the Underlying District and layout of the District.

Section 5. Architectural Standards.

- A. The following standards shall apply to the District:
 - 1. The Approved Elevations are hereby incorporated and approved. All buildings shall be substantially consistent with the Approved Elevations. The Director of Planning and Development, including his or her designees, shall review for compliance and approve building elevations at the time of filing of the Detailed Development Plan and/or Building Permit.
 - 2. If a building elevation does not comply with Section 5.A.1, then the proposed building elevation(s) shall be submitted for review and approval by the Committee. The Committee’s review of said elevation(s) shall be performed in order to determine its compatibility and consistency with the intended quality and character of the District and the Approved Elevations.

Section 6. Title, Purpose and Effect. The regulations of *ARTICLE 1. TITLE, PURPOSE AND EFFECT* shall apply.

Section 7. Definitions and Rules of Word Usage. The regulations of *ARTICLE 2. DEFINITIONS AND RULES OF WORD USAGE* shall apply.

Section 8. **Administrative Bodies and Officials.** The regulations of *ARTICLE 3. ADMINISTRATIVE BODIES AND OFFICIALS* shall apply.

Section 9. **Zoning Applications and Approvals.** The regulations of *ARTICLE 4. ZONING APPLICATIONS AND APPROVALS* shall apply.

Section 10. **Subdivision Procedure.** The regulations of *ARTICLE 5. SUBDIVISION PROCEDURE* shall apply.

Section 11. **Site Design and Improvement Standards.** The regulations of *ARTICLE 6. SITE DESIGN AND IMPROVEMENT STANDARDS* shall apply.

Section 12. **Plans, Maps, and Zoning Districts.** The regulations of *ARTICLE 7. PLANS, MAPS, AND ZONING DISTRICTS* shall apply.

Section 13. **Zoning Districts.** The regulations of *ARTICLE 8. ZONING DISTRICTS* shall apply, except as modified below:

- A. **Table 8(E)(4) Bulk Requirements for Corporate Campus Non-Residential Subdistricts.** For Area A, the bulk standards set forth in Table 8(E)(4) of the UDO shall apply, except as modified below:

Minimum Lot Area	Not Applicable
Minimum Lot Width	Not Applicable
Maximum Building Height	50'
Minimum Building Setback from Brooks School Road	45'(building), 15' (parking)
Minimum Building Setback from 136th Street	45'(building), 15' (parking)
Minimum Building Setback from Area B	20'(building)
Minimum Building Size	1,500 sf
Maximum Impervious Surface	85%

Note: Accessory structures such as dumpster enclosures, fences and entry monument signs shall be permitted within the building setbacks subject to the City Engineering Department's approval where adjacent to public right of way. Drive-thru windows may face 136th Street.

- B. **Table 8.B. Summary of Residential Bulk Requirements and Article 8(E)(4)(B) and (C) (Mixed Residential Subdistrict Regulations):** Shall not apply. Instead, the following requirements shall apply:

Minimum Lot Area	Not Applicable
Minimum Lot Width	Not Applicable

Maximum Building Height	35'
Brooks School Road Building Setback	45'
136th Street Building Setback	30'
North, and West Boundary Building Setbacks (side and rear yard)	5' (North); 15' (West)
Floor Area Ratio	Not Applicable
Minimum Floor Area	600 SF/Unit
Maximum Lot Coverage	Not Applicable

Note: Accessory Structures such as, but not limited to, dumpsters, dog park, benches, entry monument signs, walls and fences shall be permitted within the building setbacks, subject to the City Engineering Department's approval where adjacent to public right of way.

- C. **Article 8, Part E, Section 4(A)(11). Access:** Shall apply, except that access shall be permitted as shown on the Preliminary Development Plan.
- D. **Article 8, Part E, Section 5(b)(8). Roofs:** With respect to Area A, the standards set forth in Article 8(E)(5) of the UDO shall apply, except pitched roofs shall not be required.
- E. **Article 8, Part E, Section 6. Parking/Loading:** Shall apply, except that, with respect to Area A, parking may be located as shown on the Preliminary Development Plan.
- F. **Article 8, Part H, Section 3.F.1.b. Establishment of Site Development Intensity:** Shall not apply. Instead, the maximum number of Dwelling Units within the District shall not exceed three hundred (300).
- G. **Article 8, Part H, Section 3.F.2. Establishment of Peripheral Yard:** Shall not apply. Instead, perimeter landscaping shall be as shown on the approved Preliminary Development Plan.
- H. **Article 8, Part H, Section 3.H. Designation of Permanent Common Open Space:** Shall not apply in light of the District's inclusion within the overall Hyde Park master plan.

Section 14. General Regulations. The regulations of *ARTICLE 9. GENERAL REGULATIONS* shall apply.

Section 15. Off-Street Parking and Loading. The regulations of *ARTICLE 10. OFF-STREET PARKING AND LOADING* shall apply, except as modified below:

- A. **Article 10, Table 10.D.3.B. Required Parking Spaces:** Shall not apply; instead, the number of off-street parking spaces shall be identified on the approved Preliminary Development Plan. The number of parking spaces in Area A may be

reduced depending on the final site configuration shown on the Detailed Development Plan.

- B. **Article 10, Section 4.B.1. Dimensions and Layout:** Shall apply; except that the vehicle projection for ninety (90)-degree parking shall be eighteen (18) feet. Nine (9) foot by eighteen (18) foot parking spaces shall be permitted.
- C. **Article 10, Section 4.C.2. Driveways:** Shall not apply; instead, the entrances and exits shall be as generally *shown* on the approved Preliminary Development Plan.
- D. **Article 10, Section 4.C.4. Location of Parking and Loading Behind Required Setback:** Shall not apply; instead, the parking and loading shall be as generally shown on the approved Preliminary Development Plan.
- E. **Article 10, Section 4.D.3. Marking of Parking:** Shall apply, except bumper guards or wheel guards shall not be required and a part of a parked vehicles may extend beyond the boundary of the established parking area into any minimum required yard.
- F. **Article 10, Section 4.D.4. Parking Lot Lighting:** Shall not apply; instead, interior parking lot lighting shall be substantially consistent with the lighting plan.
- G. **Article 10, Section 6.A.3. Pedestrian Access Along Building Facades Not Adjacent to a Public Sidewalk:** Shall not apply. Instead, the pedestrian walkways shall be as shown generally on the approved Preliminary Development Plan.
- H. **Article 10, Section 6.B.2. Pedestrian Walkway Standards – Along Facades Not Adjacent to Sidewalks:** Shall not apply. Instead, the pedestrian walkways shall be as shown generally on the approved Preliminary Development Plan.
- I. **Article 10, Section 6.B.2. Pedestrian Walkway Standards – Through Parking Areas:** Shall not apply. Instead, the pedestrian walkways shall be as shown generally on the approved Preliminary Development Plan.
- J. **Article 10, Section 9.E. Design and Improvement Standards:** Shall not apply.
- K. **Article 10, Section 9. Required Off-Street Loading Standards:** Shall not apply.

Section 16. **Signs.** The regulations of *ARTICLE 11. SIGNS* shall apply, except as modified below:

- A. **Article 11, Part B, Section 3.A.4. Design:** Shall not apply.

- B. *Article 11, Part C, Section 1.B. Single-Family, Two-Family or Multi-family Subdivisions* shall not apply to Area B.
- C. Monument Signs, Subdivision Signs, wayfinding, directional, informational, traffic control, incidental and similar signage shall be permitted in Area B.
- D. A comprehensive sign package may be submitted for review and approval to the Committee, that may vary from the UDO’s sign regulations as long as it is in keeping with the quality and character of the proposed development.

Section 17. **Landscaping and Screening.** The regulations of *ARTICLE 12. LANDSCAPING AND SCREENING* shall not apply. Instead, landscaping and screening shall be as shown generally on the approved Preliminary Development Plan.

Section 18. **Environmental Performance Standards.** The regulations of *ARTICLE 13. ENVIRONMENTAL PERFORMANCE STANDARDS* shall apply.

Section 19. **Nonconforming Uses and Structures.** The regulations of *ARTICLE 14. NONCONFORMING USES AND STRUCTURES* shall apply.

Section 20. **Enforcement.** The regulations of *ARTICLE 15. ENFORCEMENT* shall apply.

Section 21. **Procedures:**

- A. **Detailed Development Plan:** Approval of any Detailed Development Plan (“DDP”) shall follow the procedures set out in Article 8 of the UDO, subject to the following clarification:
 1. The Director of Planning and Zoning shall approve a Minor Change; and
 2. If a DDP includes a Major Change from the approved Preliminary Development Plan, then, prior to approval of the DDP, The Major Change shall be reviewed and approved by the Technical Advisory Committee and the Plan Commission based upon compliance with the Governing Standards set forth herein and shall be compatible and consistent with the intended quality and character of the District.
- B. **Secondary Plat:** A Secondary Plat shall be submitted for review and approval as part of any approved DDP.
- C. **Major Change.** For purposes of this PD Ordinance, a “Major Change” shall mean: (i) a substantial change to the location of a perimeter entrance as shown on the Preliminary Development Plan; and (ii) significant changes to the drainage management systems, including, but not limited to, BMP’s and legal drains.
- D. **Minor Change.** For purposes of this PD Ordinance, a “Minor Change” shall mean any change that: (i) is not a Major Change; and (ii) is consistent with the intent of

this Ordinance and consistent with the quality and character represented in this Ordinance for the District.

Section 22. **Effective Date.** This Kingsley at Hyde Park PD Ordinance shall be in full force and effect from and upon its adoption and publication in accordance with the law.

[The remainder of this page intentionally left blank; signature page follows.]

Approved on this _____ day of _____, 2024 by the Common Council of the City of Noblesville, Indiana:

AYE		NAY	ABSTAIN
	Mark Boice		
	Michael J. Davis		
	Evan Elliott		
	David M. Johnson		
	Darren Peterson		
	Pete Schwartz		
	Aaron Smith		
	Todd Thurston		
	Megan G. Wiles		

ATTEST: _____
 Evelyn L. Lees, City Clerk

Presented by me to the Mayor of the City of Noblesville, Indiana, this _____ day of _____, 2024 at _____ .M.

 Evelyn L. Lees, City Clerk

MAYOR'S APPROVAL

Chris Jensen, Mayor

Date

MAYOR'S VETO

Chris Jensen, Mayor

Date

ATTEST: _____
Evelyn L. Lees, City Clerk

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security Number in this document, unless required by law: Jon C. Dobosiewicz

Prepared by: James E. Shinaver, attorney at law, NELSON & FRANKENBERGER and Jon C. Dobosiewicz, land use professional, NELSON & FRANKENBERGER. 550 Congressional Blvd, Suite 210, Carmel, IN 46032 (317) 844-0106.

Kingsley at Hyde Park - PD Ordinance 5 052024

EXHIBIT A

Legal Description

(Page 1 of 2)

PART OF THE SOUTHEAST QUARTER OF SECTION 22, TOWNSHIP 18 NORTH, RANGE 5 EAST OF THE SECOND PRINCIPAL MERIDIAN, HAMILTON COUNTY, INDIANA, DESCRIBED AS FOLLOWS:

COMMENCING AT A HARRISON MONUMENT MARKING THE SOUTHWEST CORNER OF THE SOUTHEAST QUARTER OF SAID SECTION 22; THENCE ALONG THE WEST LINE OF SAID SOUTHEAST QUARTER NORTH 00 DEGREES 06 MINUTES 13 SECONDS WEST (BASIS OF BEARINGS) 33.42 FEET TO THE NORTH LINE OF THE LAND OF CITY OF NOBLESVILLE AS DESCRIBED IN INSTRUMENT NO. 2018044927 IN THE OFFICE OF THE RECORDER OF HAMILTON COUNTY, INDIANA AND THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID WEST LINE NORTH 00 DEGREES 06 MINUTES 13 SECONDS WEST 893.68 FEET TO THE SOUTH LINE OF A 60' WIDE GAS PIPELINE EASEMENT AS DESCRIBED IN INSTRUMENT NO. 9331187 IN SAID RECORDER'S OFFICE; THENCE ALONG THE SOUTH LINE OF SAID INSTRUMENT NO. 9331187 NORTH 68 DEGREES 09 MINUTES 24 SECONDS EAST 232.74 FEET; THENCE CONTINUING ALONG THE SOUTH LINE OF SAID INSTRUMENT NO. 9331187 NORTH 69 DEGREES 43 MINUTES 57 SECONDS EAST 434.69 FEET; THENCE NORTH 03 DEGREES 47 MINUTES 12 SECONDS EAST 20.44 FEET; THENCE NORTH 14 DEGREES 38 MINUTES 37 SECONDS WEST 36.98 FEET; THENCE NORTH 12 DEGREES 21 MINUTES 36 SECONDS EAST 219.22 FEET; THENCE NORTH 21 DEGREES 38 MINUTES 45 SECONDS EAST 220.67 FEET; THENCE NORTH 32 DEGREES 08 MINUTES 32 SECONDS EAST 297.87 FEET; THENCE NORTH 50 DEGREES 47 MINUTES 26 SECONDS EAST 543.32 FEET TO THE WEST LINE OF THE EAST HALF OF SAID SOUTHEAST QUARTER; THENCE ALONG SAID WEST LINE SOUTH 00 DEGREES 05 MINUTES 28 SECONDS EAST 631.75 FEET TO THE SOUTHWEST CORNER OF THE LAND OF MAB CAPITAL INVESTMENTS LLC AS DESCRIBED IN INSTRUMENT NO. 2022024621 IN SAID RECORDER'S OFFICE; THENCE ALONG THE SOUTH LINE THEREOF NORTH 89 DEGREES 34 MINUTES 59 SECONDS EAST 148.67 FEET TO THE WEST LINE OF THE LAND OF CITY OF NOBLESVILLE AS DESCRIBED IN INSTRUMENT NO. 20100040806 IN SAID RECORDER'S OFFICE, SAID POINT BEING ON A CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 786.20 FEET AND A CHORD BEARING SOUTH 21 DEGREES 53 MINUTES 02 SECONDS WEST 588.60 FEET; THENCE SOUTHWESTERLY ALONG SAID WEST LINE AND SAID CURVE 603.29 FEET; THENCE CONTINUING ALONG SAID WEST LINE SOUTH 00 DEGREES 05 MINUTES 57 SECONDS EAST 1011.69 FEET TO THE NORTH LINE OF THE LAND OF CITY OF NOBLESVILLE AS DESCRIBED IN INSTRUMENT NO. 2006066492; THENCE ALONG SAID NORTH LINE SOUTH 89 DEGREES 13 MINUTES 51 SECONDS WEST 336.90 FEET TO THE NORTHWEST CORNER OF THE LAND DESCRIBED IN SAID INSTRUMENT NO. 2006066492; THENCE ALONG THE WEST LINE THEREOF SOUTH 00 DEGREES 36 MINUTES 09 SECONDS EAST 2.00 FEET TO THE NORTHEAST CORNER OF THE LAND OF CITY OF NOBLESVILLE AS DESCRIBED IN THE AFORESAID INSTRUMENT NO. 2018044927; THENCE THE FOLLOWING FOUR (4) COURSES ALONG THE NORTH LINE THEREOF; (1) NORTH 87 DEGREES 21 MINUTES 51 SECONDS WEST 226.33 FEET; (2) SOUTH 89 DEGREES 12 MINUTES 14 SECONDS WEST 201.14 FEET; (3) SOUTH 86 DEGREES 21 MINUTES 46 SECONDS WEST 161.24 FEET; (4) SOUTH 89 DEGREES 15 MINUTES 16 SECONDS WEST 329.07 FEET TO THE POINT OF BEGINNING, CONTAINING 42.52 ACRES, MORE OR LESS.

EXHIBIT A

Visual Depiction of Real Estate
(Page 2 of 2)



EXHIBIT B

PRELIMINARY DEVELOPMENT PLAN
(Pages 1 of 1)

Add post Plan Commission – See Tab 3 of information Booklet

EXHIBIT C

**SAMPLING AND GENERAL REPRESENTATION
OF THE APPROVED ELEVATIONS - RESIDENTIAL**
(See following 24 pages)

Add post Plan Commission – See Tab 4 of information Booklet

EXHIBIT C

SAMPLING AND GENERAL REPRESENTATION OF THE APPROVED ELEVATIONS - COMMERCIAL (See below)



	<table border="1"> <thead> <tr> <th>CONTRACTOR</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>PROGRESS STUDIO</td> <td>2024.05.24</td> </tr> <tr> <td>OWNER</td> <td>DR. GREG HOPKINSON</td> </tr> <tr> <td>PROJECT</td> <td>DR. GREG HOPKINSON</td> </tr> <tr> <td>ADDRESS</td> <td>1234 MAIN ST, SUITE 200</td> </tr> <tr> <td>CITY</td> <td>SPRINGFIELD, IL</td> </tr> <tr> <td>STATE</td> <td>IL</td> </tr> <tr> <td>COUNTY</td> <td>SPRINGFIELD</td> </tr> <tr> <td>PROJECT NO.</td> <td>A201</td> </tr> <tr> <td>DATE</td> <td>2024.05.24</td> </tr> </tbody> </table>	CONTRACTOR	DATE	PROGRESS STUDIO	2024.05.24	OWNER	DR. GREG HOPKINSON	PROJECT	DR. GREG HOPKINSON	ADDRESS	1234 MAIN ST, SUITE 200	CITY	SPRINGFIELD, IL	STATE	IL	COUNTY	SPRINGFIELD	PROJECT NO.	A201	DATE	2024.05.24	<p>PROGRESS STUDIO</p> <p>ARCHITECTS</p> <p>1234 MAIN ST, SUITE 200 SPRINGFIELD, IL 62761 TEL: (618) 555-1234 WWW.PROGRESSSTUDIO.COM</p>
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		<p>EXTERIOR ELEVATIONS</p> <p>A201</p>																				

EXHIBIT D

PRELIMINARY DEVELOPMENT PLAN

(See following 8 pages which are a subset of the full set of plans on file with Noblesville Planning)

Add post Plan Commission – See Tab 6 of information Booklet

Note: The following pages include reduced copies of the Preliminary Development Plan. To scale and electronic copies of the Preliminary Development Plan are on file with the Planning Department under Application No. LEGP-0078-2024.

EXHIBIT E

WAIVERS

The below is a list of Waivers (intended to summarize the text of the PD Ordinance) from the underlying UDO standards.

Commercial Area

- A. Reduction in the minimum out lot area to .25 of an acre (Minimum UDO 1 Acre)
- B. Reduction of minimum lot width to 80 FT (Minimum UDO 200 FT)
- C. Maximum building height 50 FT (35 FT in UDO)
- D. Minimum internal setback from adjacent residential use 20 FT between buildings
- E. Minimum setback from Brooks School Road 45 FT buildings (50 FT required in UDO)
- F. Minimum parking lot setback 15 FT (20 FT required in UDO)

Residential Area

- G. Minimum lot area 4,000 SF (UDO minimum 3,000 multi-family, 6,000 attached residential)
- H. Removal of the minimum lot width
- I. Removal of the maximum permitted floor area ratio per unit
- J. Removal of the maximum lot coverage requirements
- K. Reduction in the landscaping requirements to meet what is indicated on the preliminary development plan
- L. Elimination of pitched roofs

Overall Plan

- M. Reduction in the peripheral buffer yard as per the submitted preliminary development plan
- N. Reduction in the parking size project at a 90-degree parking stall to a length of 18 FT
- O. Reduction of landscaping areas including building base, parking lot, and peripheral buffer yard to the adopted preliminary development plan including numbers and locations