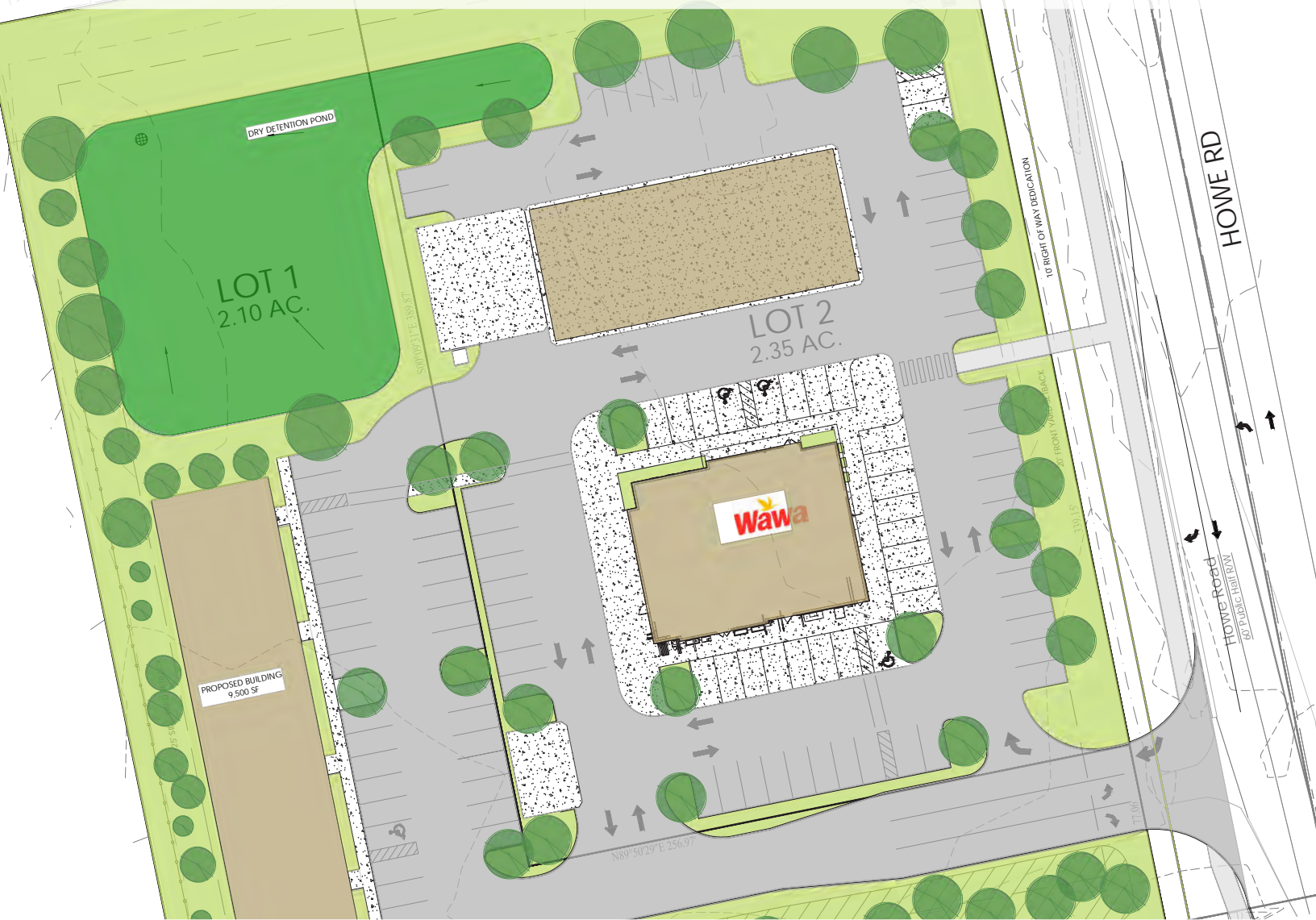


Howe Campus Corner Planned Development



Plan Commission Meeting | June 17, 2024

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HOWE CAMPUS CORNER PD



JDF Greenfield LLC:

Joseph D. Farr,
Chief Executive Officer
14542 Integrity Ct.
Carmel, IN 46033

Wawa, Inc.:

Patrick Moone, PE,
Real Estate Project Engineer
260 W. Baltimore Pike
Wawa, PA 19063

Terra Site Development:

Greg Dempsey,
Director of Civil Engineering
16102 Spring Mill Rd.
Westfield, IN 46074

Context Design:

Brian McNerney, PLA, ASLA, AFO,
CLARB
Principal
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Lawrence, IN 46216

Curran Architecture:

Melissa D. Garrison,
Principal & Registered Architect
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Lawrence, IN 46216

Faegre Drinker Biddle & Reath LLP:

Andrew B. Buroker, Senior Counsel
Mark R. Leach, Land Use Planner
600 East 96th St., Suite 600
Indianapolis, IN 46240
Telephone: (317) 569-9600

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Tab 4	Illustrative Building Elevations
Tab 5	Preliminary Development Plan
Tab 6	Landscaping Plan
Tab 7	Lighting Plan
Tab 8	Proposed Rezone Ordinance
Tab 9	Proposed PD Overlay District Ordinance

TAB 1

EXECUTIVE SUMMARY

HOWE CAMPUS CORNER PD



JDF Greenfield LLC (“JDF”) is pleased to propose the Howe Campus Corner Planned Development consisting of a Wawa Fuel Center and a 10,000-SF garden office building located on the 4.45 +/- acres at the southwest corner of 146th Street and Howe Road (the “Real Estate”) (please see the Aerial Location Maps at Tab 2).

About Howe Campus Corner

The vision includes the introduction of a new Wawa convenience store and a state-of-the-art 10,000-SF garden office building, thoughtfully designed to enrich and elevate the community (please see the Concept Plan at Tab 3 and the Illustrative Building Elevations at Tab 4). The proposed development site would be located at the southwest corner of 146th Street and Howe Road, near the western edge of the Corporate Campus Planned Development District (the “CCPD”) (please see CCPD map on the following page) and directly adjacent to the Woodberry Neighborhood in Fishers, Indiana. JDF has met with, and incorporated feedback from, the Woodberry Homeowners Association Board on multiple occasions, and has received a unanimous endorsement from the Board for the project.

146th Street is a rapidly growing commuter corridor that is under served by high-end gas convenience and food mart options. There are zero convenience stores offering gas located on the south side of 146th Street for the benefit of east bound traffic between SR-37 and I-69. Currently, there are only two convenience stores with gas serving this super regional area of Noblesville that attracts visitors on a consistent basis from as far as Fort Wayne and Muncie. Both locations are positioned on the north side of 146th Street. With Noblesville’s Corporate Campus rapidly growing, adding another convenience store that offers great food, coffee and gas would serve as an essential and very desirable amenity to the surrounding neighborhoods, businesses, and visitors.

About Wawa

Wawa, Inc., a privately held company, began in 1803 as an iron foundry in New Jersey. Toward the end of the 19th Century, owner George Wood took an interest in dairy farming and the family began a small processing plant in Wawa, Pa, in 1902. The milk business was a huge success, due to its quality, cleanliness and “certified” process. As home delivery of milk declined in the early 1960s, Grahame Wood, George’s grandson, opened the first Wawa Food Market in 1964 as an outlet for dairy products.

Today, Wawa is your all day, every day stop for fresh, built-to-order foods, beverages, coffee, fuel services, and surcharge-free ATMs, and Boundless Convenience™. Wawa has more than 1,058 convenience retail stores in the USA. The stores offer a large fresh food service selection, including Wawa brands such as built-to-order hoagies, freshly brewed coffee, hot breakfast sandwiches, built-to-order specialty beverages, and an assortment of soups, sides and snacks .

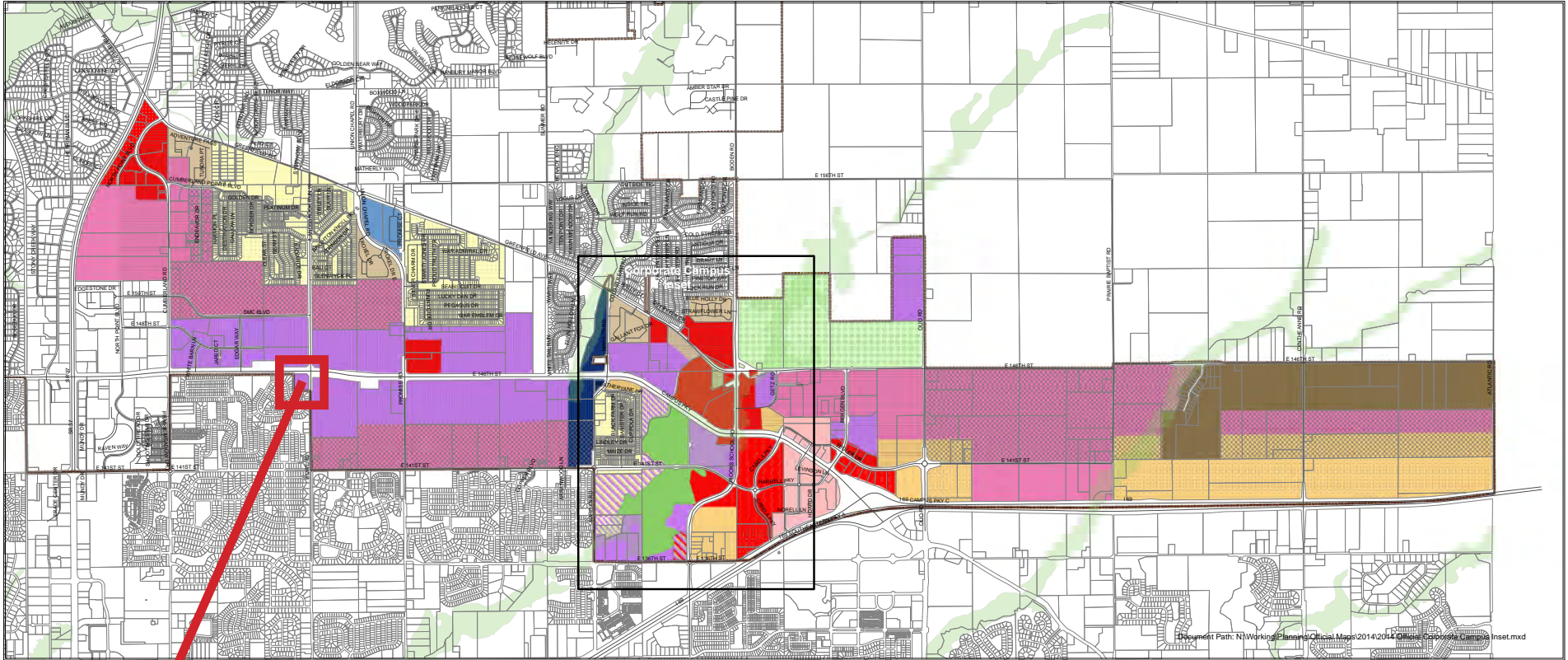
Wawa Isn’t Just a Convenience Store, It’s a Lifestyle – Food & Wine

Total project costs will represent an investment of approximately \$8-\$10M in the Noblesville community. If approved, JDF expects development activities to begin in summer of 2024.

Thank you for your consideration.

EXECUTIVE SUMMARY

HOWE CAMPUS CORNER PD



Document Path: N:\Working Plans\Official Maps\2014\2014 Official Corporate Campus Inset.mxd



Official Zoning Map Corporate Campus Land Use & Subdistricts

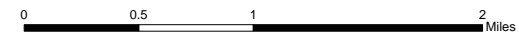
Prepared by the City of Noblesville Planning Department
Updated: September 11, 2015

Map 3 of 6

Every effort has been made to ensure the accuracy, correctness and timeliness of the materials presented. The City of Noblesville assumes no liability for damages incurred directly or indirectly as a result of incomplete, incorrect or omitted information, even if the City has advised of the possibility that the information may not be accurate. The user of this information assumes all liability for their dependence on this information and assumes responsibility for the information. Areas depicted by these digital products are approximate, and are not necessarily accurate to mapping, surveying, or engineering standards. Hard copy maps are updated and recorded annually. Current zoning information can be found on the City of Noblesville Flex Viewer. Detailed questions should be directed to the City of Noblesville, Planning Department at (317) 776-6325.

Legend

<ul style="list-style-type: none"> — Street Centerline ▭ Parcels ■ FH ▭ Noblesville Planning Jurisdiction 	Subdistrict Type <ul style="list-style-type: none"> ▨ 148th Street Corridor ▨ Agricultural/O ▨ Interchange ▨ Interchange Flex ▨ Internal ▨ Mixed Residential ▨ Regional Recreation/Entertainment ▨ Secondary Corridor ▨ View Corridor 	Land Use Type <ul style="list-style-type: none"> ■ FH-Flood Hazard ▨ Single-Family/Multi-Family/Office/Flex ▨ Multi-Family/Commercial/Office/Flex ▨ Multi-Family/Commercial ▨ Single-Family/Office/Flex ▨ Industrial/Office ▨ Noblesville Zoning ▨ Single Family Residential ▨ Multi-Family Residential ■ Office ■ Office/Flex ■ Commercial ■ Commercial/Office ■ Community ■ Regional Recreation ■ Agricultural/O ■ Village Center ■ Noblesville Zoning
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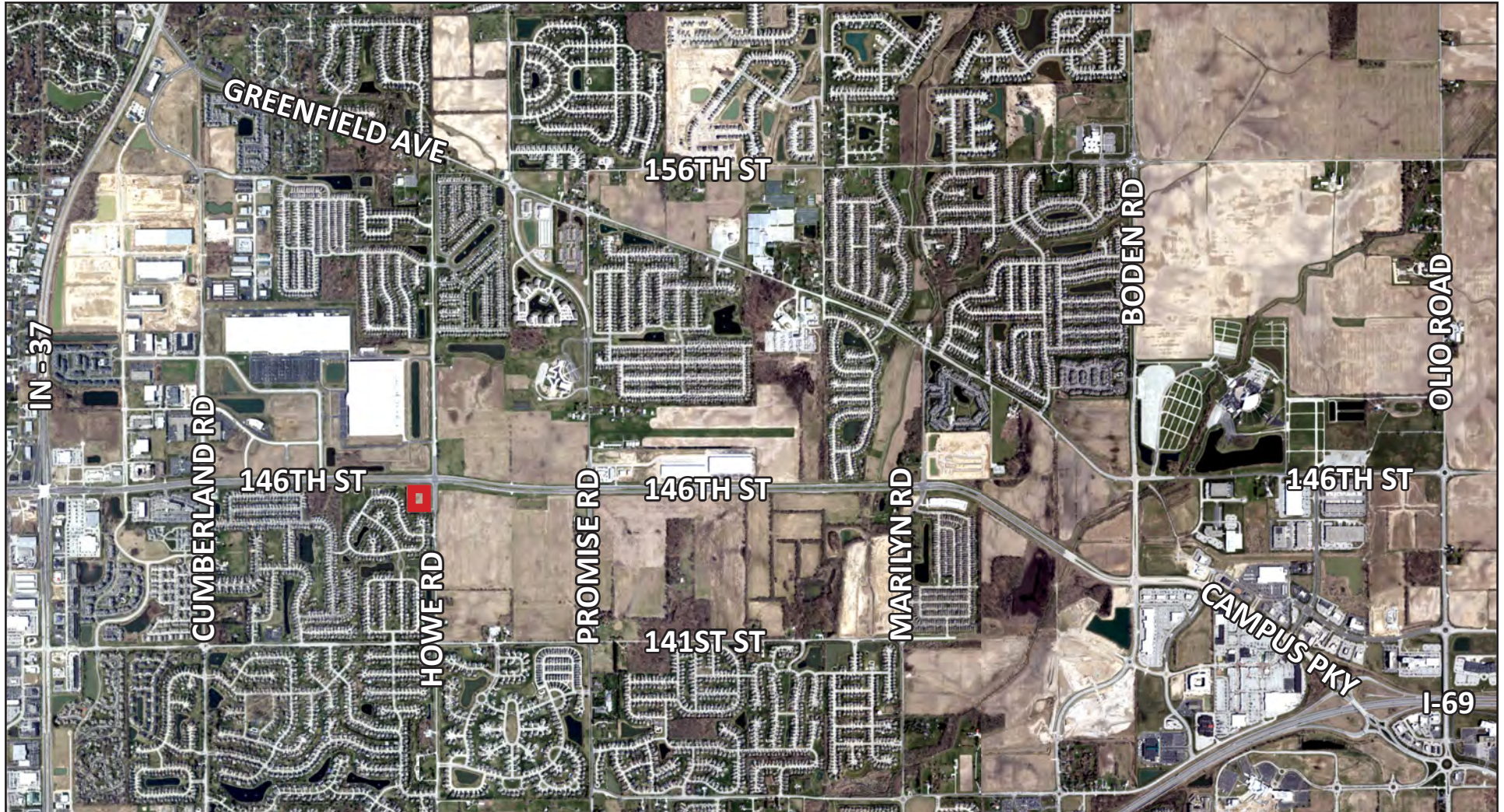
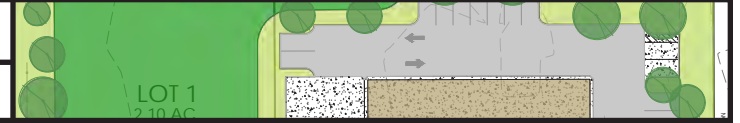


REAL ESTATE

TAB 2

AERIAL LOCATION MAPS (4.45 +/- ACRES)

HOWE CAMPUS CORNER PD



AERIAL LOCATION MAPS (4.45 +/- ACRES)

HOWE CAMPUS CORNER PD

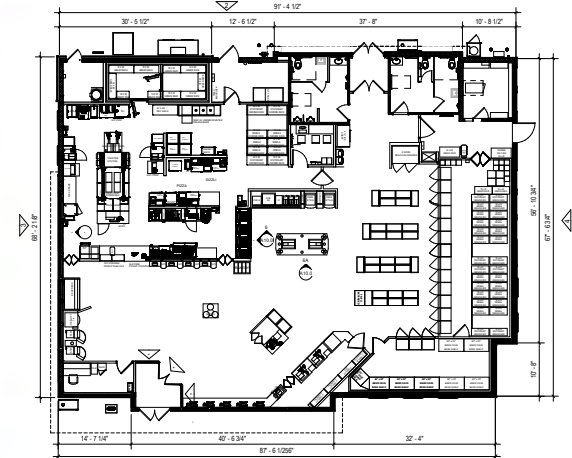
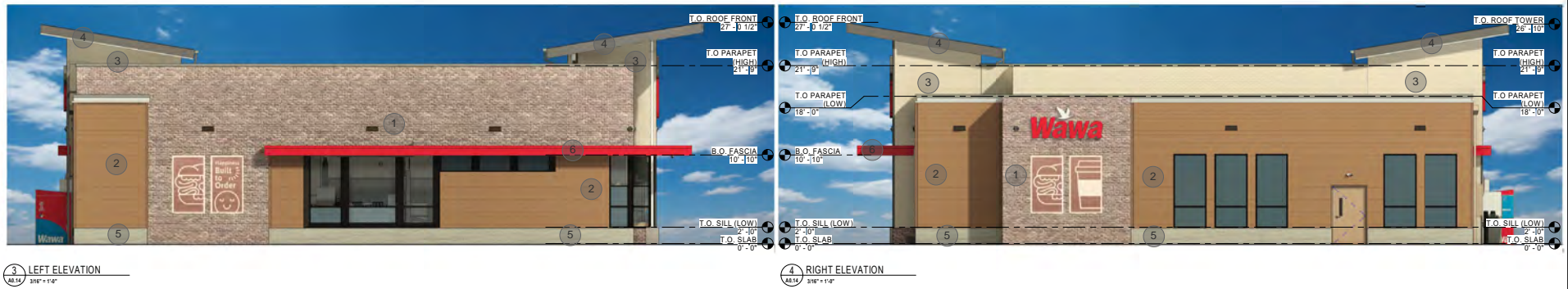
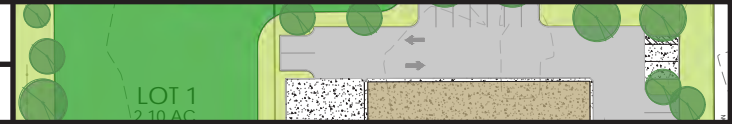


TAB 3

TAB 4

ILLUSTRATIVE BUILDING ELEVATIONS

HOWE CAMPUS CORNER PD



MATERIALS:

- 1 BRICK
- 2 COMPOSITE SIDING
- 3 BRICK - 03
- 4 ROOF: SLATE
- 5 TILE
- 6 METAL OVERHANG WHITE RED

Elevations meet code.



U63FB - STORE 7417

HOWE RD & E 146TH ST.
NOBLESVILLE, IN 46038

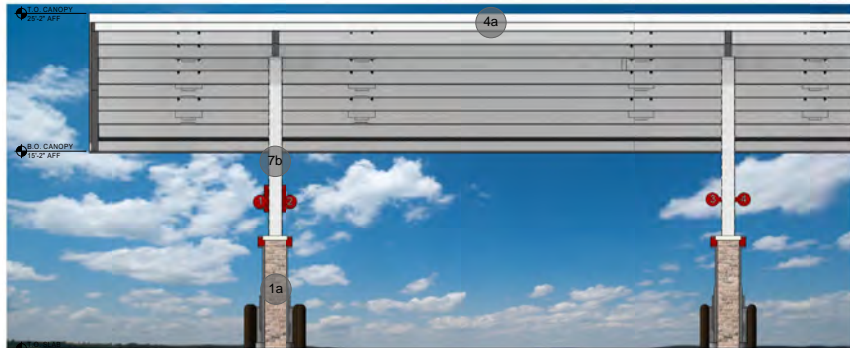


ILLUSTRATIVE BUILDING ELEVATIONS

HOWE CAMPUS CORNER PD



③ FUEL CANOPY ELEVATION
1/4" = 1'-0"



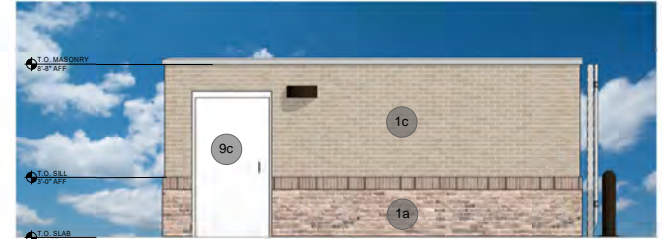
② FUEL CANOPY ELEVATION - LONG
1/4" = 1'-0"



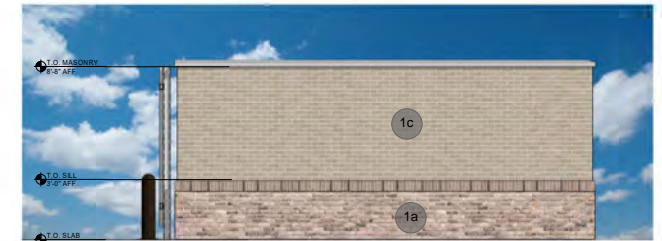
① FUEL CANOPY PERSPECTIVE
Elevations meet code.

MATERIALS:

- 1a BRICK-1
- 7b METAL: WHITE
- 4a ROOF: TITANIUM
- 1a BRICK-1
- 1c BRICK-3
- PAINT: CEILING BRIGHT WHITE
- 9c



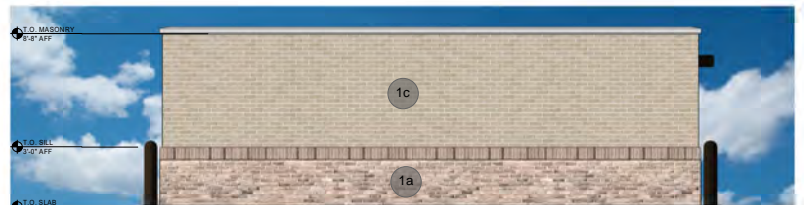
④ TRASH COMPACTOR SIDE ELEVATION
3/8" = 1'-0"



⑤ TRASH COMPACTOR SIDE ELEVATION
3/8" = 1'-0"



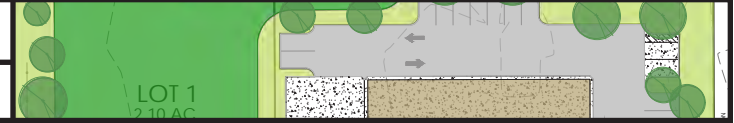
⑥ TRASH COMPACTOR FRONT ELEVATION
3/8" = 1'-0"



⑦ TRASH COMPACTOR REAR ELEVATION
3/8" = 1'-0"

ILLUSTRATIVE BUILDING ELEVATIONS

HOWE CAMPUS CORNER PD



- Asphalt Shingles
- Manufactured Stone Veneer
- Hardiplank Fiber Cement Siding
- Aluminum Storefront Glazing System

Howe Campus Corner PUD Submittal

JDF Development

02.15.24



TAB 5

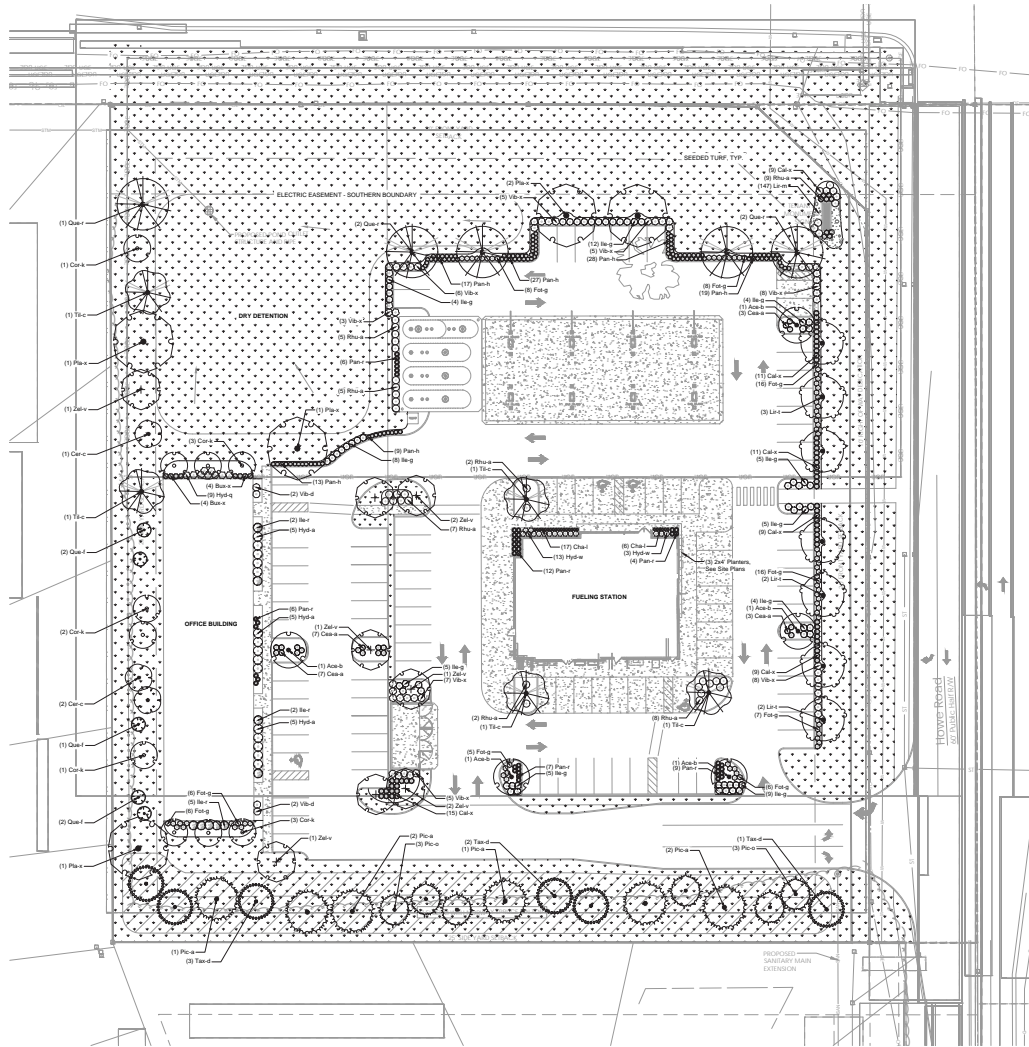
TAB 6

LANDSCAPING PLAN

HOWE CAMPUS CORNER PD



5825 Lawton Loop E. Dr. | Henderson, NV 89216
317-485-6900 | www.context-design.com



GENERAL LANDSCAPE AND PLANTING NOTES

- Refer to Project Manual for Planting Specifications and Topsoil requirements. Refer to Plant Schedule and Planting Details for additional information.
- All materials are subject to the approval of the Landscape Architect and Owner at any time. Landscape Architect to inspect all plant locations and plant bed conditions prior to installation. On-site adjustments may be required.
- Rootballs shall meet or exceed size standards as set forth in 'American Standards for Nursery Stock'. MAIN LEADERS OF ALL TREES SHALL REMAIN INTACT.
- Remove from the site any plant material that turns brown or desfoliates within five (5) days after planting. Replace immediately with approved, specified material.
- Plant counts indicated on drawings are for Landscape Architect's use only. Contractor shall make own plant quantity takeoffs using drawings, specifications, and plant schedule requirements (i.e., spacing), unless otherwise directed by Landscape Architect. Additional material may be needed to meet spacing requirements and field conditions.
- Seed all areas disturbed by construction activities that are not otherwise noted to receive pavement, planting bed, or sod treatment.
- The Contractor shall install and/or amend topsoil in all proposed bed areas to meet Specifications. Contractor shall coordinate quantity and placement of topsoil. Landscaper shall verify depth of topsoil prior to plant installation. (Refer to specifications for topsoil source and placement requirements)
- All tree locations shall be marked with 2x2" stakes prior to planting for review and approval by the Landscape Architect. Any plant material installed in an incorrect location, by the judgment of the Landscape Architect, shall be reinstalled at the Contractor's expense.
- Verify all utility locations in the field prior to beginning work. Repair all damaged utilities to Owner's satisfaction at no additional cost.
- The Contractor shall maintain all plant material and trees until the project is fully accepted by the Landscape Architect, unless otherwise noted.
- All workmanship and materials shall be guaranteed by the Contractor for a period of one calendar year after Final Acceptance.
- Install all plant material in accordance with all local codes and ordinances. Coordinate with the Owner to obtain any required permits necessary to complete work.
- Contractor shall test all tree pits for drainage. Any tree pit that holds water for more than 24 hours shall be installed using tree pit drainage.

ORDINANCE CHART

ZONING: CCOP
ZONING NORTH: CCOP
ZONING EAST: CCOP
ZONING SOUTH: R4
ZONING WEST: R4

PARKING LOT INTERIOR:
Requirements: 10% of all paved vehicular areas, 7' High
Provided: 3250 sq ft of area in curbed islands
Requirements: (1) Shade Tree per 100 sq ft of Interior Landscaping Area and
(1) Large Shrub per 25 sq ft
Required: 27 Shade Trees and 100 Large Shrubs
Provided: 15 Shade Trees and 130 Large Shrubs

BUILDING FOUNDATION - FUELING STATION:
Requirements: (1) Ornamental Tree per 20 L.F. of building facade, and 1 Large Shrub per 3 L.F. of building facade.
North: 0
East: 71 ft
South: 0
West: 71 ft

Required:
North: 0 Ornamental Trees and 31 Large Shrubs
East: 4 Ornamental Trees and 24 Large Shrubs
South: 5 Ornamental Trees and 31 Large Shrubs
West: 4 Ornamental Trees and 24 Large Shrubs

Provided:
North: 0 Ornamental Trees, 31 Large Shrubs
East: 0 Ornamental Trees, See Sheet L110 for Planter Details
South: None, Owner to Coordinate with City
West: None, Owner to Coordinate with City

BUILDING FOUNDATION - OFFICE BUILDING:
Requirements: (1) Ornamental Tree per 20 L.F. of building facade, and 1 Large Shrub per 3 L.F. of building facade.
North: 0
East: 190 ft
South: 0
West: 190 ft

Required:
North: 0 Ornamental Trees and 17 Large Shrubs
East: 10 Ornamental Trees and 29 Large Shrubs
South: 3 Ornamental Trees and 17 Large Shrubs
West: 10 Ornamental Trees and 29 Large Shrubs

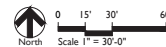
Provided:
North: 0 Ornamental Trees and 17 Large Shrubs
East: 0 Ornamental Trees, See Parking Lot Perimeter and Interior Parking Lot Plantings and 20 Large Shrubs
South: 3 Ornamental Trees and 17 Large Shrubs
West: None, Owner to Coordinate with City

STREET TREES:
Requirements: Refer to Article 13 Section 4 (B), Design Standards and to Duplicate Planting Requirements, and Article 6 (Part M)
North: 498 L.F.
East: 498 L.F.

North:
Required: None - Electrical Easement per Survey
Provided: None - See Parking Lot Perimeter Plantings
East: None - See Parking Lot Perimeter Plantings
Required: Per Planning Director's Discretion
Provided: None - See Parking Lot Perimeter Plantings

PERIMETER PARKING LOT:
North: Abutting Public Street
Requirements: (2) Shade Tree per 100 L.F. of lot line, and 33 Large Shrubs per 100 L.F. of lot line
366 L.F.
Required: 7 Trees and 121 Shrubs
Provided: 7 Trees and 121 Shrubs
East: Abutting Public Street
Requirements: (2) Shade Tree per 100 L.F. of lot line, and 33 Large Shrubs per 100 L.F. of lot line
353 L.F.
Required: 7 Trees and 117 Shrubs
Provided: 7 Trees and 117 Shrubs
South: Abutting Residential Area
Requirements: (3) Shade Tree and (2) Ornamental Tree per 100 L.F. of lot line, and 33 Large Shrubs per 100 L.F. of lot line
366 L.F.
Required: 11 Shade Trees, 7 Ornamental Trees, and 121 Shrubs
Provided: 18 Evergreen Trees, and 0 Shrubs (Note: Evergreens per agreement for neighborhood buffer)
West: Abutting Residential Area
Requirements: (3) Shade Tree and (2) Ornamental Tree per 100 L.F. of lot line, and 33 Large Shrubs per 100 L.F. of lot line
353 L.F.
Required: 11 Shade Trees, 7 Ornamental Trees, and 117 Shrubs
Provided: 11 Shade Trees, 7 Ornamental Trees, and 46 Shrubs

BUFFER:
North: Abutting Zoning CCOP
Requirements: (3) Shade Trees and 33 Large Shrubs per 100 L.F.
437 ft
Required: No Plantings Required - Covered by Perimeter Parking Lot
Provided: None
East: Abutting Zoning CCOP
Requirements: (3) Shade Trees and 33 Large Shrubs per 100 L.F.
498 ft
Required: No Plantings Required - Covered by Existing Plant Material
Provided: None
South: Abutting Zoning R4
Requirements: (2) Evergreen Trees, (1) Ornamental Tree, and 16 Large Shrubs per 100 L.F.
437 ft
Required: No Plantings Required - Covered by Existing Plant Material
Provided: None
West: Abutting Zoning R4
Requirements: (2) Evergreen Trees, (1) Ornamental Tree, and 16 Large Shrubs per 100 L.F.
498 ft
Required: No Plantings Required - Covered by Existing Plant Material
Provided: None



NO.	REVISION	DATE

NOT FOR CONSTRUCTION

WAWA - NOBLESVILLE
E:\PROJECTS\WAWA\PD - FERRA\STATE\WEB

PRELIMINARY PLANTING PLAN
JOB DEVELOPMENT

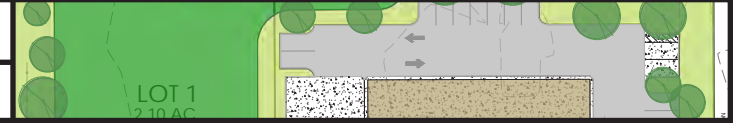
PLANDATE:	05/23/2024
DESIGN:	CDCS
BY:	SPH
CHECKED:	SPM
DATE:	05/23/2024
PROJECT NO.:	1772
SHEET NO.:	L100

REVISED: 05/23/2024 BY: SPH FOR: WAWA - NOBLESVILLE - PRELIMINARY PLANTING PLAN

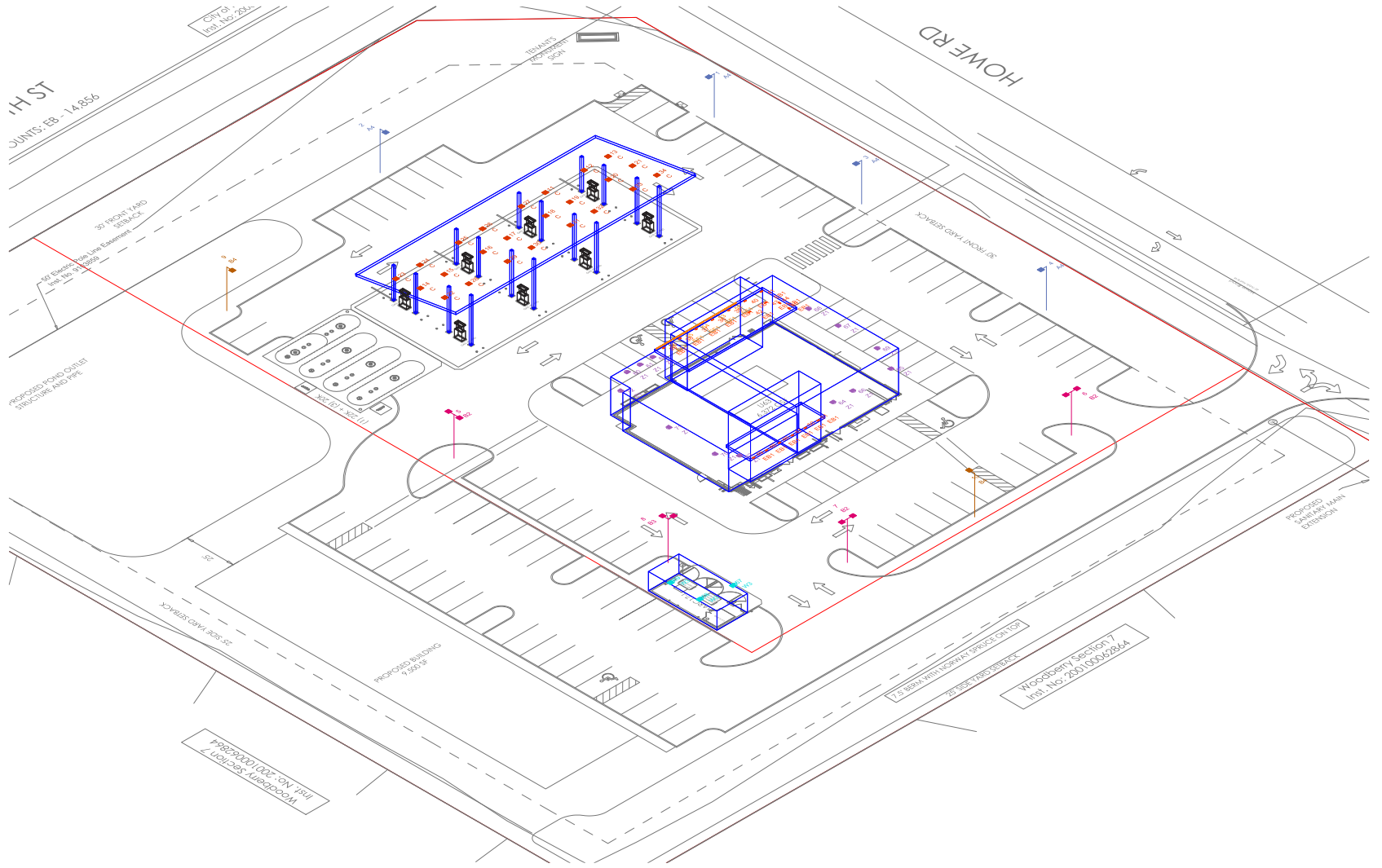
TAB 7

LIGHTING PLAN

HOWE CAMPUS CORNER PD

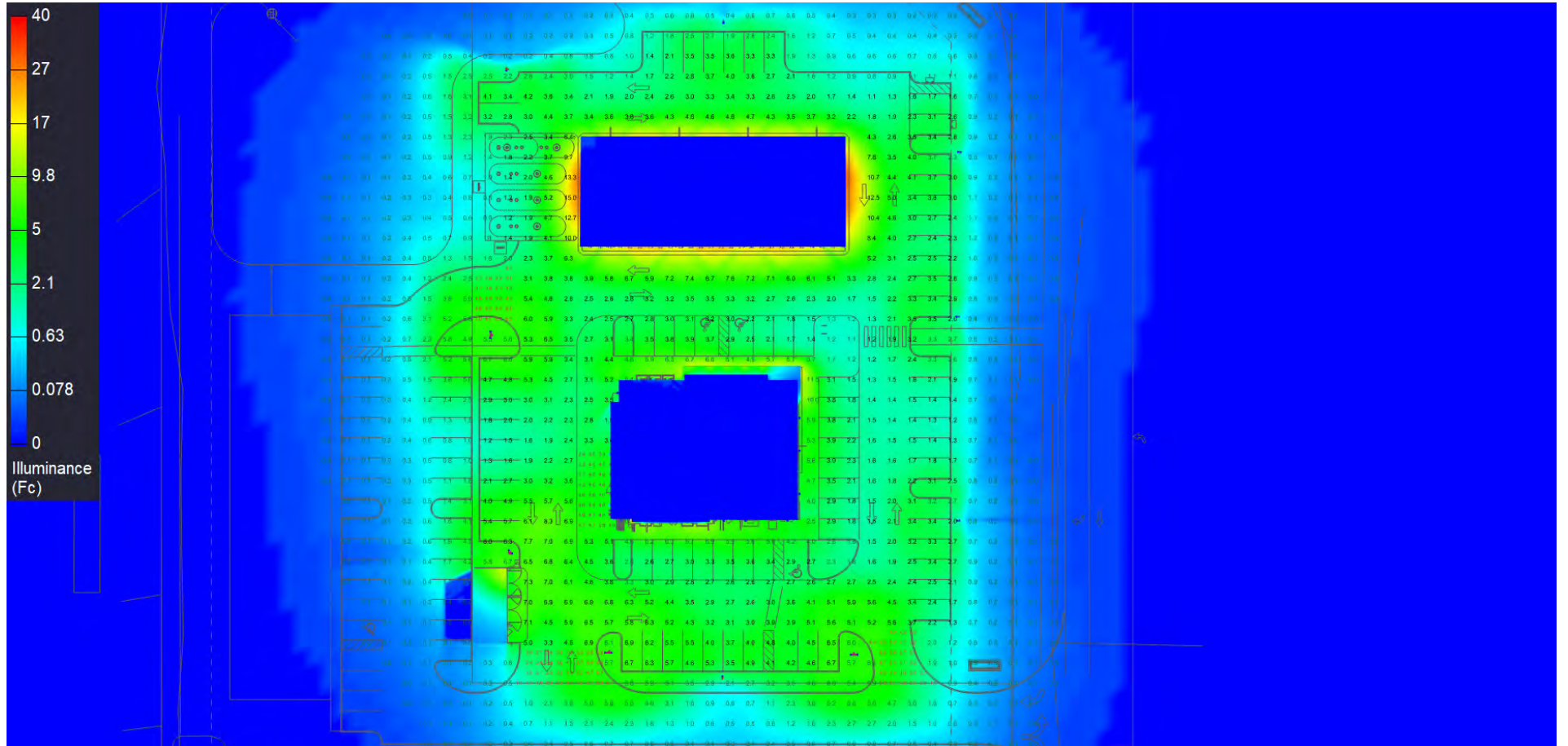


AREA	
CANOPY	
WALL MOUNTED	
COVELINE	
WALL MOUNTED	
WALL MOUNTED	



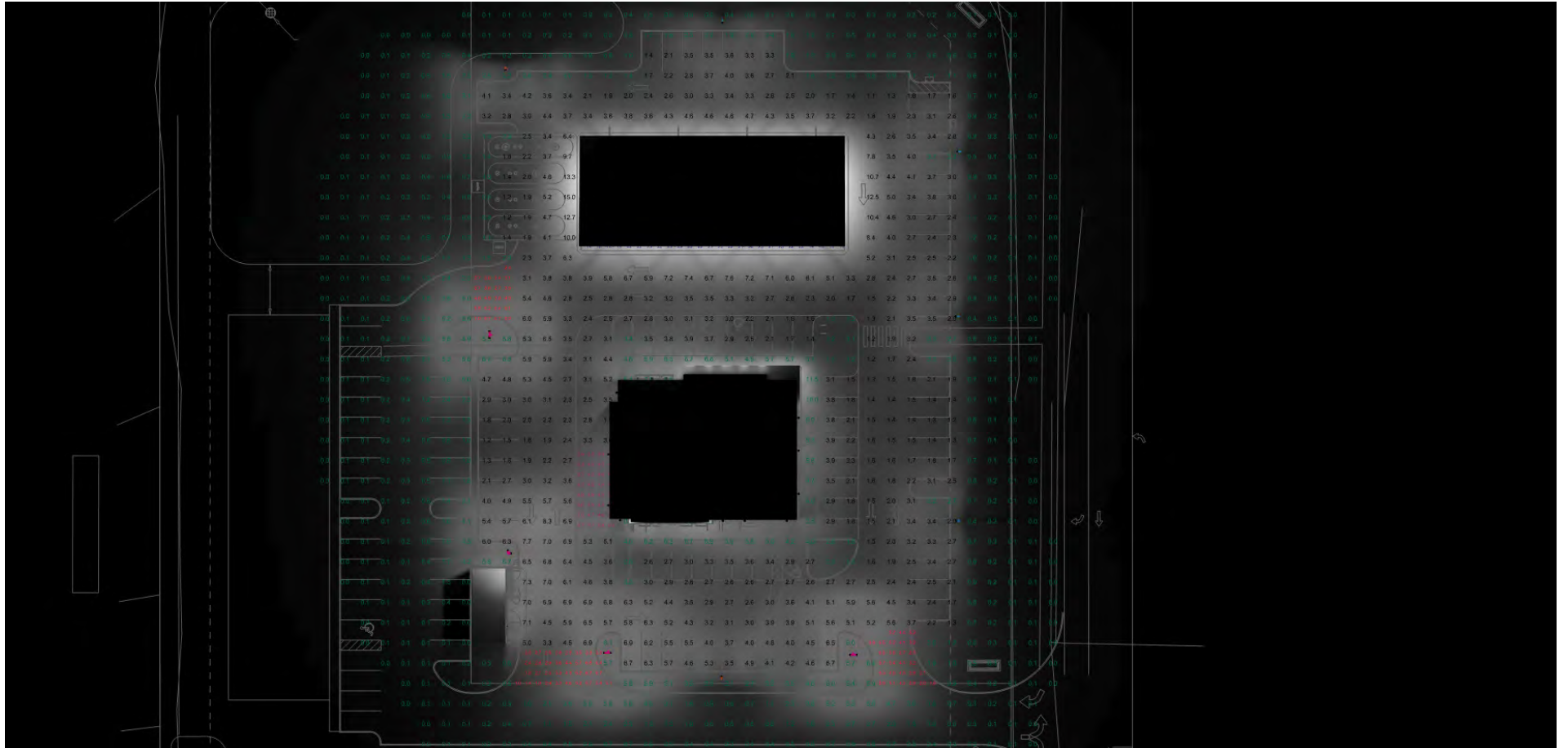
LIGHTING PLAN

HOWE CAMPUS CORNER PD



LIGHTING PLAN

HOWE CAMPUS CORNER PD



TAB 8

ORDINANCE NO. - -

**AN ORDINANCE TO AMEND THE UNIFIED DEVELOPMENT ORDINANCE,
A PART OF THE COMPREHENSIVE PLAN OF THE CITY OF NOBLESVILLE,
HAMILTON COUNTY, INDIANA**

This is an Ordinance to amend the Unified Development Ordinance for the City of Noblesville, Hamilton County, Indiana (the “UDO”), enacted by the City of Noblesville under authority of Indiana Code §36-7-4-600, et seq., as amended.

WHEREAS, the Plan Commission of the City of Noblesville (the “Plan Commission”) conducted a public hearing on application number LEGP 0046-2024 (the “Petition”) at its May 20, 2024 meeting as required by law in regard to the application filed by JDF Greenfield LLC, an Indiana limited liability company (the “Developer”), for a request in change of zoning; and

WHEREAS, the Plan Commission, at its June 17, 2024 meeting, sent a _____ recommendation relating to the Petition to the Common Council of the City of Noblesville, Indiana (the “City Council”), by a vote of ____ () in favor and ____ () opposed.

NOW, THEREFORE, BE IT ORDAINED by the City Council, meeting in regular session, that it hereby adopts this ordinance (the “Ordinance”) as an amendment to the UDO and the Official City of Noblesville Zoning Map (the “Zoning Map”) to read as follows:

Section 1. The subject real estate containing approximately 4.45 acres located generally southwest of the intersection of East 146th Street and Howe Road, Noblesville, Indiana, which real estate is more particularly described on **Exhibit A** attached hereto and incorporated herein by this reference (the “Real Estate”), is hereby affirmed as **Corporate Campus Planned Development District** classification, and the Real Estate’s underlying subdistrict within the Corporate Campus Planned Development District is hereby affirmed as **146th Street Corridor Subdistrict Type**, as designated in the UDO.

Section 2. The Official Zoning Map, referred to in Article 7 of the UDO, shall be updated concurrently to reflect the following: the Real Estate shall be designated as **Commercial/Office Land Use Type** as set forth in the UDO’s Appendix D, Official Schedule of Uses – Corporate Campus Planned Development. A copy of the Zoning Map shall be located in the Office of the Clerk of the City of Noblesville.

Section 3. This Ordinance shall be in full force and effect from and upon its adoption and publication in accordance with the law.

Approved on this _____ day of _____, 2024 by the Common Council of the City of Noblesville, Indiana:

AYE		NAY	ABSTAIN
	Mark Boice		
	Michael J. Davis		
	Evan Elliott		
	David Johnson		
	Darren Peterson		
	Pete Schwartz		
	Aaron Smith		
	Todd Thurston		
	Megan G. Wiles		

ATTEST: _____
 Evelyn L. Lees, City Clerk

Presented by me to the Mayor of the City of Noblesville, Indiana, this _____ day of _____, 2024 at _____ .M.

 Evelyn L. Lees, City Clerk

MAYOR'S APPROVAL

 Chris Jensen, Mayor

 Date

MAYOR'S VETO

 Chris Jensen, Mayor

 Date

ATTEST: _____
 Evelyn L. Lees, City Clerk

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security Number in this document, unless required by law: Mark R. Leach, Land Use Planner.

This instrument prepared by: Andrew B. Buroker, Senior Counsel, Faegre Drinker Biddle & Reath LLP, 600 East 96th Street, Suite 600, Indianapolis, Indiana 46240 | (317) 569-9600.

EXHIBIT A

**REAL ESTATE
LEGAL DESCRIPTION**

The Land referred to herein below is situated in the County of Hamilton, State of Indiana, and is described as follows:

A part of the West half of the Northeast quarter of Section 20, Township 18 North, Range 5 East of the Second Principal Meridian, particularly described as follows:

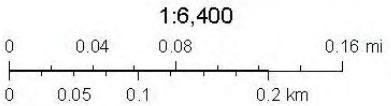
Beginning at the Northeast corner of the West half of the Northeast quarter of said Section 20, which is at the center of the public highway, and running thence North 89 degrees 45 minutes West along the North line of said Section 20, Township 18 North, Range 5 East, a distance of 481 feet to an iron pipe driven in the ground; thence South parallel with the East line of said Section 466 feet to an iron pipe driven in the ground; thence South 89 degrees 45 minutes East 481 feet to the East line of the West half of said Section, which is the center line of a county road; thence North along the East line of the West half of said Quarter section, and the center line of said road 466 feet to the place of beginning, containing 5.145 acres, more or less, in Hamilton County, Indiana.

EXCEPTING those rights of way conveyed to the City of Noblesville in Warranty Deed recorded as Instrument No. 200600016496 and subsequently conveyed to the Noblesville Redevelopment Authority in Quit-Claim Deed recorded as Instrument No. 200643187, in the Office of the Recorder of Hamilton County, Indiana, more particularly described as follows:

A part of the West half of the Northeast quarter of Section 20, Township 18 North, Range 5 East, Hamilton County, Indiana, and being part of the grantor's land, described as follows: Beginning at the Northeast corner of said half-quarter section; thence South 0 degrees 23 minutes 34 seconds East 466.00 feet along the East line of said half-quarter section to the Southeast corner of grantor's land; thence South 89 degrees 49 minutes 15 seconds West 60.00 feet along the South line of grantor's land to a point; thence South 0 degrees 23 minutes West 406.79 feet to a point; thence North 46 degrees 48 minutes 22 seconds West 84.20 feet to a point; thence Westerly 128.12 feet along an arc to the left having a radius of 5,900.00 feet and subtended by a long chord having a bearing of North 89 degrees 33 minutes 25 seconds West and a length 128.12 feet to a point on the North line of said half-quarter section; thence North 89 degrees 49 minutes 15 seconds East 249.10 feet along said North line to the point of beginning and containing 0.686 acres, more or less, inclusive of the presently existing right of way of Howe Road which contains 0.176 acres, more or less, for a net additional taking of 0.510 acres, more or less.



Real Estate



TAB 9

ORDINANCE NO. - -

**AN ORDINANCE TO AMEND THE UNIFIED DEVELOPMENT ORDINANCE,
A PART OF THE COMPREHENSIVE PLAN OF THE CITY OF NOBLESVILLE,
HAMILTON COUNTY, INDIANA**

This is an Ordinance to amend the Unified Development Ordinance for the City of Noblesville, Hamilton County, Indiana (the “UDO”), enacted by the City of Noblesville under authority of Chapter 174 of the Acts of the Indiana General Assembly 1947, as amended.

WHEREAS, the Plan Commission of the City of Noblesville (the “Plan Commission”) conducted a public hearing on application number LEGP 0047-2024 (the “Petition”) at its May 20, 2024 meeting as required by law in regard to the application filed by JDF Greenfield LLC, an Indiana limited liability company (the “Developer”), for a request in change of zoning; and

WHEREAS, the Plan Commission, at its June 17, 2024 meeting, sent a _____ recommendation relating to the Petition to the Common Council of the City of Noblesville, Indiana (the “City Council”) by a vote of ____ () in favor and ____ () opposed.

NOW, THEREFORE, BE IT ORDAINED by the City Council, meeting in regular session, that it hereby adopts this ordinance (the “Ordinance”) as an amendment to the UDO and the Official City of Noblesville Zoning Map (the “Zoning Map”) to establish this Planned Development Overlay District (the “District”) to read as follows:

Section 1. Applicability of Ordinance.

- 1.1 The Zoning Map is hereby changed to designate the subject real estate generally located southwest of the intersection of East 146th Street and Howe Road, Noblesville, Indiana, more particularly described on **Exhibit A** attached hereto (the “Real Estate”), as a Planned Development Overlay District to be known as **Howe Campus Corner Planned Development** (the “District”).

- 1.2 The District's underlying zoning district is hereby affirmed as **Corporate Campus Planned Development District** classification, and the District's underlying subdistrict within the Corporate Campus Planned Development District is hereby affirmed as **146th Street Corridor Subdistrict Type**. The District shall be designated as **Commercial/Office Land Use Type** as set forth in the UDO's Appendix D, Official Schedule of Uses – Corporate Campus Planned Development. The Corporate Campus Planned Development District and the 146th Street Corridor Subdistrict Type hereby collectively are referred to as the “Underlying District”. Development in the Underlying District shall be governed entirely by (i) the provisions of this Ordinance and its exhibits, and (ii) those provisions of the UDO in effect as of the date of adoption of this Ordinance, and applicable to the Underlying District, except as modified, revised, supplemented or expressly made inapplicable by this Ordinance (collectively, the “Governing Standards”).
- 1.3 All provisions and representations of the UDO that conflict with the provisions of this Ordinance and its exhibits are hereby rescinded as applied to the Real Estate and shall be superseded by the terms of this Ordinance.

Section 2. Definitions.

- 2.1 The general rules of construction set forth in Article 2 of the UDO and the definitions set forth in this Ordinance shall apply to the regulations of this Ordinance. Words not defined herein but defined in the UDO shall be interpreted in accordance with the UDO definition.
- 2.2 “Preliminary Development Plan” shall mean the oversized, scaled development plans on file with the City of Noblesville’s Planning and Development Department, dated June 14, 2024. The exhibit attached hereto as **Exhibit B** is a general representation of the oversized plans (collectively, the “Preliminary Development Plan”). A copy of the approved plans is also attached hereto as **Exhibit D**.
- 2.3 “Approved Elevations” shall mean the set of building elevations on file with the City of Noblesville’s Planning and Development Department, as reviewed in prior version by the City’s Technical Advisory Committee at its April 18, 2024, meeting. The exhibit attached hereto as **Exhibit C** is a general representation of those approved elevations (collectively, the “Approved Elevations”).

Section 3. Permitted Uses.

- 3.1 All uses listed in the UDO’s Appendix D Official Schedule of Uses – Corporate Campus Planned Development District as “Permitted Use” or “Special Consideration” in the Commercial/Office Land Use Type shall be allowed in the

District, as generally depicted on the Preliminary Development Plan, except for the uses identified as prohibited uses on **Exhibit E**, attached hereto. An automobile fuel station shall be allowed to operate 24 hours per day.

- 3.2 Accessory Uses and Accessory Buildings customarily incidental to any of the permitted uses shall be allowed.

Section 4. Preliminary Development Plan.

- 4.1 The Preliminary Development Plan and the stipulations and waivers listed on **Exhibit F**, attached hereto, are hereby incorporated and approved. Pursuant to Article 8 of the UDO, the Preliminary Development Plan is intended to establish the basic goals and policies, bulk standards, and variations/waivers from the Underlying District and layout of the District.

Section 5. Architectural Standards. The following standards shall apply.

- 5.1 The Approved Elevations are hereby incorporated and approved. The buildings shall be substantially consistent with the Approved Elevations.
- 5.2 The Director of Planning and Development, including his/her designees, shall review and approve final plans at the time of filing of the Detailed Development Plan and/or Building Permit for compliance.
- 5.3 If a building does not comply with Section 5.1, then the proposed elevations shall be submitted for review and approval by the Director. The Director's review of the elevations shall be performed in order to determine its compatibility and consistency with the intended quality and character of the District and/or the Approved Elevations.

Section 6. Title, Purpose and Effect. The regulations of *ARTICLE 1. TITLE, PURPOSE AND EFFECT* shall apply.

Section 7. Definitions and Rules of Word Usage. The regulations of *ARTICLE 2. DEFINITIONS AND RULES OF WORD USAGE* shall apply.

Section 8. Administrative Bodies and Officials. The regulations of *ARTICLE 3. ADMINISTRATIVE BODIES AND OFFICIALS* shall apply.

Section 9. Zoning Applications and Approvals. The regulations of *ARTICLE 4. ZONING APPLICATIONS AND APPROVALS* shall apply.

Section 10. Subdivision Procedure. The regulations of *ARTICLE 5. SUBDIVISION PROCEDURE* shall apply.

Section 11. Site Design and Improvement Standards. The regulations of *ARTICLE 6. SITE DESIGN AND IMPROVEMENT STANDARDS* shall apply, except as modified below:

- 11.1 *Article 6, Part C, Section 2.D. Lots, Lot Shape:* Shall apply. However, flag lots shall be permitted.

Section 12. Plans, Maps, and Zoning Districts. The regulations of *ARTICLE 7. PLANS, MAPS, AND ZONING DISTRICTS* shall apply.

Section 13. Zoning Districts. The regulations of *ARTICLE 8. ZONING DISTRICTS* shall apply, except as modified below:

- 13.1 *Table 8.E.4. Bulk Requirements for Corporate Campus Non-Residential Subdistricts:* Shall apply, except as follows:

Requirement	146 th Street Corridor
Minimum Area	2 acres
Minimum Width	75 feet
Minimum Building Height, Office Building	20 feet and single-story with two-story appearance
Minimum Building Height, Retail Building	24 feet and single-story
Minimum Front Yard Setback, Primary Arterial	146 th Street – 50 feet Howe Road – 20 feet
Maximum Front Yard Setback, Arterial	Howe Road – 75 feet for fuel canopy 100 feet for fuel station 335 feet for office 146 th Street – 125 feet for fuel canopy 240 feet for fuel station 210 feet for office
Minimum Building Size	5,000 SF

- 13.2 *Article 8, Part E, Section 5.C.2.c. Architectural Standards, Subdistrict Specific Architecture Requirements, 146th Street Corridor Subdistrict:* Shall apply. However, hardiplank fiber cement siding shall be considered an appropriate building finish material, as shown on Exhibit C.

- 13.3 *Article 8, Part E, Section 6.A.1. Front Setbacks Along Arterials:* Shall not apply. Instead, along arterials, parking, loading, or vehicular use areas may be located

between the building and front property line. Loading facilities shall be screened from all public rights-of-way.

- 13.4 **Article 8, Part E, Section 7.C.2. Signage, Sign Requirements in the Commercial and Commercial/Office Subdistricts, Ground Signs, Location Restrictions:** Shall not apply. Instead, an individual ground sign or designation sign, including a digital price board displaying two gas prices per sign side, shall be allowed.
- 13.5 **Article 8, Part E, Section 8.A.11. Landscaping/Screening:** Shall not apply. Instead, the landscaping/screening shall be provided as shown on **Exhibit D**.
- 13.6 **Article 8, Part E, Section 8.B.2.a. Landscaping/Screening, Interchange, 146th Street Corridor and View Corridor Subdistricts, Interior Parking Lot Landscaping:** Shall not apply. Instead, the interior parking lot landscaping shall be provided as shown on **Exhibit D**.
- 13.7 **Article 8, Part E, Section 8.B.3.a. Landscaping/Screening, Interchange, 146th Street Corridor and View Corridor Subdistricts, Building Foundation Landscaping:** Shall not apply, except on the north and south sides of the office building. Instead, the building foundation landscaping shall be provided as shown on **Exhibit D**.

Section 14. **General Regulations.** The regulations of *ARTICLE 9. GENERAL REGULATIONS* shall apply.

Section 15. **Off-Street Parking and Loading.** The regulations of *ARTICLE 10. OFF-STREET PARKING AND LOADING* shall apply, except as superseded by *ARTICLE 8. ZONING DISTRICTS, PART E. CORPORATE CAMPUS PLANNED DEVELOPMENT DISTRICT (CCPD)* or as modified by this Ordinance:

- 15.1 All references to setback distance of parking lots to streets, parcels and buildings shall not apply; instead, all setbacks shall be as shown on the approved Preliminary Development Plan.

Section 16. **Signs.** The regulations of *ARTICLE 11. SIGNS* shall apply, except as superseded by *ARTICLE 8. ZONING DISTRICTS, PART E. CORPORATE CAMPUS PLANNED DEVELOPMENT DISTRICT (CCPD)* or as modified by this Ordinance:

- 16.1 Businesses within the District may at a later date return to the Plan Commission with a program of signs. Signage may include the use of two digital fuel price

displays per ground sign side or per designation sign side (one digital display for regular fuel and one digital display for diesel fuel per sign side).

Section 17. **Landscaping and Screening.** The regulations of *ARTICLE 12. LANDSCAPING AND SCREENING* shall apply, except as superseded by *ARTICLE 8. ZONING DISTRICTS, PART E. CORPORATE CAMPUS PLANNED DEVELOPMENT DISTRICT (CCPD)* or as modified by this Ordinance.

- 17.1 ***Article 12, Section 5.D.2 Parking Lot Landscaping, Perimeter Parking Lot Landscaping, Area and Configuration:*** Shall not apply. Instead, the perimeter parking lot landscaping shall be provided as shown on **Exhibit D.** Parking lot landscaping between the two lots along the north/south property line shall not be required.

Section 18. **Environmental Performance Standards.** The regulations of *ARTICLE 13. ENVIRONMENTAL PERFORMANCE STANDARDS* shall apply.

Section 19. **Nonconforming Uses and Structures.** The regulations of *ARTICLE 14. NONCONFORMING USES AND STRUCTURES* shall apply.

Section 20. **Enforcement.** The regulations of *ARTICLE 15. ENFORCEMENT* shall apply.

Section 21. **Procedures.**

- 21.1 ***Primary Plat.*** A Primary Plat shall be submitted to the City for review by the Technical Advisory Committee and then for review and approval by the Plan Commission following a public hearing. The Primary Plat shall be reviewed and approved based upon compliance with the development standards set forth herein and shall be compatible and consistent with the intended quality and character of the District.

- 21.2 ***Detailed Development Plan.*** Approval of a Detailed Development Plan (“DDP”) shall follow the procedures set out in Article 8, subject to the following clarification: (i) the Director of the Department of Planning and Development shall approve Minor Changes; and (ii) if a DDP includes a Major Change from the approved Preliminary Development Plan, then, prior to approval of the DDP, an amended Preliminary Development Plan shall be submitted to the City for review by the Technical Advisory Committee and then for review and approval by the Plan Commission following a public hearing. A Major Change from the approved Preliminary Development Plan shall be reviewed and approved by the Technical Advisory Committee and the Plan Commission based upon compliance with the development standards set forth herein and shall be compatible and

consistent with the intended quality and character of the District. A Secondary Plat shall be submitted for review and approval as part of any approved DDP.

- 21.3 **Major Change.** For purposes of this Ordinance, a “Major Change” shall mean: (i) a substantial change to the location of a perimeter entrance as shown on the Preliminary Development Plan; and (ii) significant changes to the drainage management systems, including, but not limited to, BMPs and legal drains.
- 21.4 **Minor Change.** For purposes of this Ordinance, a “Minor Change” shall mean any change that: (i) is not a Major Change; and (ii) is consistent with the intent of this Ordinance and consistent with the quality and character represented in this Ordinance for the District. Specifically, changes to the internal access drive configurations and parking lot configurations are expected and shall be deemed to be Minor Changes for purposes of this Ordinance.

Approved on this _____ day of _____, 2024 by the Common Council of the City of Noblesville, Indiana:

AYE		NAY	ABSTAIN
	Mark Boice		
	Michael J. Davis		
	Evan Elliott		
	David Johnson		
	Darren Peterson		
	Pete Schwartz		
	Aaron Smith		
	Todd Thurston		
	Megan G. Wiles		

ATTEST: _____
 Evelyn L. Lees, City Clerk

Presented by me to the Mayor of the City of Noblesville, Indiana, this _____ day of _____, 2024 at _____ .M.

 Evelyn L. Lees, City Clerk

MAYOR'S APPROVAL

 Chris Jensen, Mayor

 Date

MAYOR'S VETO

 Chris Jensen, Mayor

 Date

ATTEST: _____
 Evelyn L. Lees, City Clerk

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security Number in this document, unless required by law: Mark R. Leach, Land Use Planner.

This instrument prepared by: Andrew B. Buroker, Senior Counsel, Faegre Drinker Biddle & Reath LLP, 600 East 96th Street, Suite 600, Indianapolis, Indiana 46240 | (317) 569-9600.