



To: City of Noblesville Planning Department
From: Brian Smallwood, PE
Date: June 27, 2024
Subject: Meijer #682 Noblesville – Lot 10 – Waivers Request

Meijer is proposing to develop the additional outlots at the 682 Noblesville Grocery Store site near the intersection of Little Chicago Road and Westfield Road (SR 32). As part of that development, Meijer is proposing an amendment to the PUD ordinance to allow more than one drive-through restaurant within the development. Woolpert has identified unique site characteristics for the proposed development that justify relief from additional sections of the UDO. Following is a summary of that review:

- 1. Table 10.0.3.B Required Parking Spaces
a. Requirement:
i. Required number of parking spaces for a free-standing retail store is 1 space per 200 square feet of gross floor area.
b. Waiver Request:
i. Reduce the number of required parking spaces for a free-standing retail store to 1 space per 250 square feet of gross floor area.
c. Waiver Justification:
i. The proposed Lot 10 building will be developed as an 11,900 square foot building that can be divided into multiple tenant spaces for lease. At this time the tenant users have not been fully identified and may include a number of commercial uses including bank/financial offices, medical or dental offices, restaurants, retail, or other commercial uses. The required number of parking spaces can vary greatly depending on the use. At the time of application, it is assumed that at least 2,800 square feet of the building may be developed as a restaurant use. Following is a summary of the number of parking spaces required, calculated based on potential tenant uses:

Table with 3 columns: Use Type, Square Feet, and Parking Spaces. Rows: Restaurant* (2,800 sq ft, 23 spaces), Bank or Medical Office (9,100 sq ft, 37 spaces), Total (11,900 sq ft, 60 spaces).

Table with 3 columns: Use Type, Square Feet, and Parking Spaces. Rows: Restaurant* (2,800 sq ft, 23 spaces), Retail (9,100 sq ft, 46 spaces), Total (11,900 sq ft, 69 spaces).

Table with 3 columns: Use Type, Square Feet, and Parking Spaces. Rows: Restaurant* (2,800 sq ft, 23 spaces), Additional Restaurant* (9,100 sq ft, 73 spaces), Total (11,900 sq ft, 96 spaces).

*Restaurant use assumes approximately 40% of the restaurant space is customer-facing and requires 1 parking space per 50 SF of customer-facing space.

The existing lot configuration is unique for many reasons. The overall shape of the lot, orientation with existing roadways, and existing topography create site constraints that restrict the developable area of the lot. There is an existing drainage ditch along Promenade Shops Boulevard and a portion of Promenade of Noblesville Parkway that must be maintained as part of the overall development’s stormwater management water quality treatment train. The proposed development is able to provide 60 parking spaces with the construction of a retaining wall and additional waivers as described below. Allowing a reduction in the number of parking spaces needed for a retail use to more closely align with the number of parking spaces needed for a bank or medical office would allow the flexibility for future tenant uses while also minimizing the number of additional waivers being sought for the development.

2. 10.4.B.1 Parking Lot Setbacks

- a. Requirement:
 - i. All parking lots shall be setback a minimum of 20 feet from the property line abutting any street.
- b. Waiver Request:
 - i. Reduce the required parking lot setback from the property line abutting a private street or drive to 10 feet.
- c. Waiver Justification:
 - i. It is the opinion of the applicant that the drive located north of Lot 10 is a private access drive into the Meijer Grocery store and is not intended to be a street used by anyone but Meijer and Lot 10 customers, employees, or deliveries. To provide the minimum 20-foot setback, at least 2 parking spaces would be eliminated which may bring the overall site further out of compliance with UDO requirements for the minimum number of parking spaces.

3. Table 10.0.4.A Off-Street Parking Dimensions

- a. Requirement:
 - i. Required off-street parking stall dimensions for 90-degree parking spaces is 9 feet by 20 feet.
- b. Waiver Request:
 - i. Reduce the required off-street parking stall dimensions for 90-degree parking spaces to 9 feet by 18 feet.
- c. Waiver Justification:
 - i. The existing lot configuration of Lot 10 is unique for many reasons. The overall shape of the lot, orientation with existing roadways, and existing topography create site constraints that restrict the developable area of the lot. To meet the required parking space length as stated in the UDO, the building would have to shift north by 4 feet, reducing the width of the north access drive and drive-through lane, also eliminating at least 1 parking space on the north side of the building. The drive width reduction would impact emergency vehicle access around the building. The reduction in parking spaces could bring the overall site further out of compliance with UDO requirements for the minimum number of parking spaces.

4. 10.4.C.2 Driveways

- a. Requirement:
 - i. (a) Non-residential driveway entrances or exits shall be at least 10 feet from an adjoining non-residential property.
 - ii. (c) No single non-residential driveway shall exceed a width of 30 feet at the right-of-way line.
- b. Waiver Request:
 - i. (a) Reduce the minimum distance of a commercial driveway from an adjoining non-residential property line to 3 feet.
 - ii. (c) Increase the maximum width of a commercial driveway at the right-of-way line to 42'.
- c. Waiver Justification:

spaces would be eliminated which would bring the overall site further out of compliance with UDO requirements for the minimum number of parking spaces.

- ii. The number of required tree and shrub plantings is provided within the reduced perimeter parking lot landscaping areas in locations where existing site constraints allow. No reduction in plantings is requested.

7. 12.6 Building Base Landscaping

a. Requirement:

- i. The entire base of each commercial building shall be surrounded by a landscape strip 10 feet wide.
- ii. These landscape strips may be broken by pedestrian access ways for no more than 10% of the total area of the required landscape strip.
- iii. Understory trees are required as part of the building base landscaping requirements.

b. Waiver Request:

- i. Reduce the minimum required width of building base landscaping to 3 feet wide.
- ii. Allow more than 10% of the total landscape strip to be paved with pedestrian access ways.
- iii. Allow for the required understory trees to be located in other locations on the site.
- iv. Remove the requirement for building base landscaping at the rear façade of the building for back-of-house operations and maintenance.

c. Waiver Justification:

- i. The existing lot configuration of Lot 10 is unique for many reasons. The overall shape of the lot, orientation with existing roadways, and existing topography create site constraints that restrict the developable area of the lot. To provide the required 10-foot wide building base landscaping and sidewalk along the front of the building, the parking spaces that line the building frontage would be eliminated which would bring the overall site further out of compliance with UDO requirements for the minimum number of parking spaces. In lieu of the 10-foot wide landscaping strip, the development proposes to provide a 3-foot wide planting strip along the base of the building on the west, south, and east sides of the building where they will not interfere with storefront access or ADA routes. The sidewalk surrounding the building in these locations would remain 5 feet wide to provide ADA access to all accessible entrances to the building.
- ii. The proposed Lot 10 building will be developed as an 11,900 square foot building that can be divided into multiple tenant spaces for lease. At this time the tenant users have not been fully identified and may include a number of commercial uses including bank/financial offices, medical or dental offices, restaurants, retail, or other commercial uses. To maintain flexibility for interior tenant fit-out, it is proposed to provide base building landscaping at locations where the landscaping beds will not interfere with potential door placement into the tentant spaces or ADA routes around the site.
- iii. Because of the reduced width available for building base landscaping, the required understory trees cannot be planted along the building. The development proposes to plant the number of required understory trees in other locations on the site so that the minimum number of plantings required is met.
- iv. The north side of the Lot 10 building consists of back-of-house areas related to utility and maintenance entrances and will serve as the loading area for tenant deliveries. Landscaped beds placed near these areas tend to serve as receptacles for unwanted garbage and debris, and plantings tend to get destroyed and become maintenance and aesthetic issues. In lieu of providing building base landscaping along the back-of-house areas of the building, the development proposes providing the required number of trees and shrubs at other locations on the site so that the minimum number of plantings required is met.
- v. The total number of required tree and shrub plantings is provided on the site. No reduction in plantings is requested.

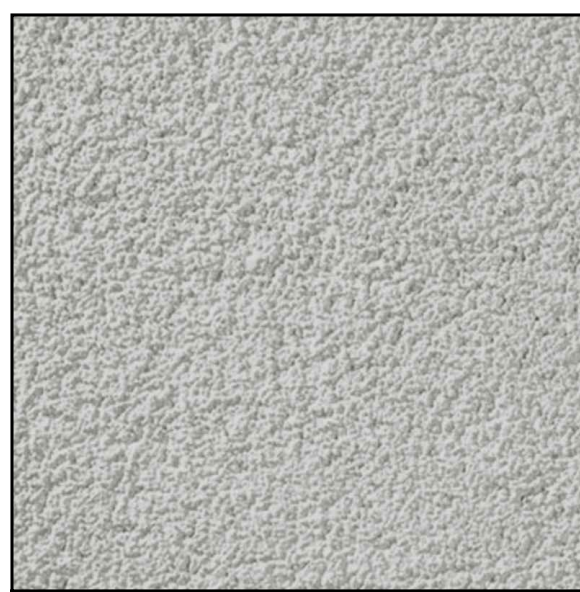
8. 13.2 Lighting

a. Requirement:

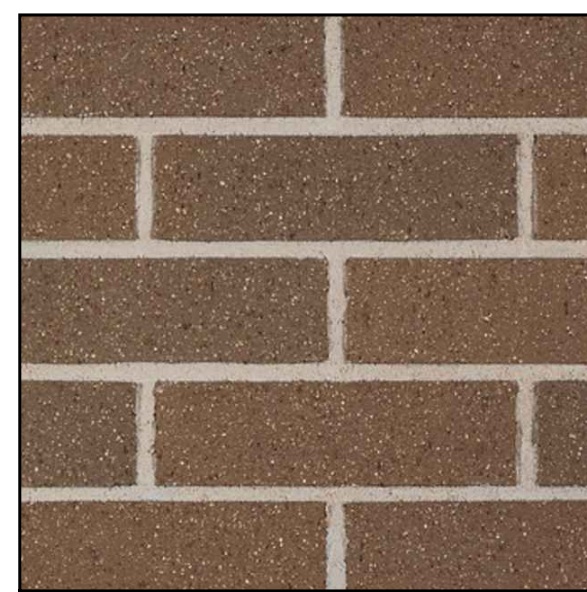
- i. All on-site lighting of buildings, lawns, and parking areas shall be designed so as not to shine or cause glare in excess of 0.5 foot-candle onto any adjacent property.

b. Waiver Request:

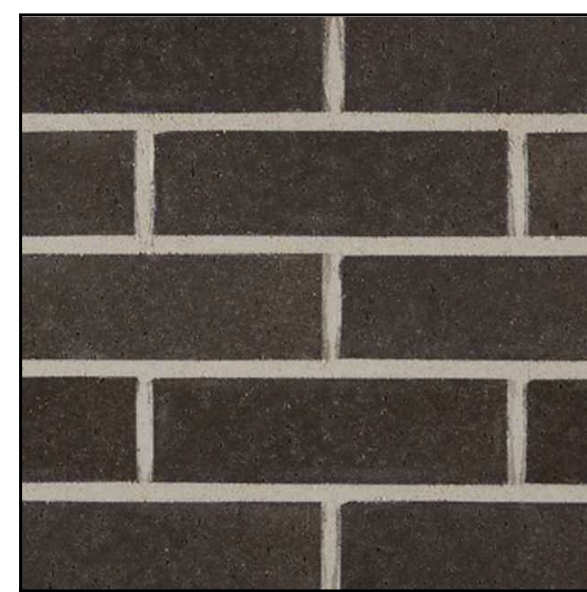
- i. Increase the allowable light levels from on-site parking areas to 1 foot-candle onto adjacent property within the overall commercial development.
- c. Waiver Justification:
 - i. The proposed Lot 10 is adjacent to the Meijer Grocery store, both of which are owned and operated by Meijer. Due to the close proximity of the site improvements and commercial nature of the development, it is expected that some light levels will overlap property lines. It is expected that the businesses on both lots will have similar hours of operation and that lighting levels will not negatively impact adjacent properties or their operations.



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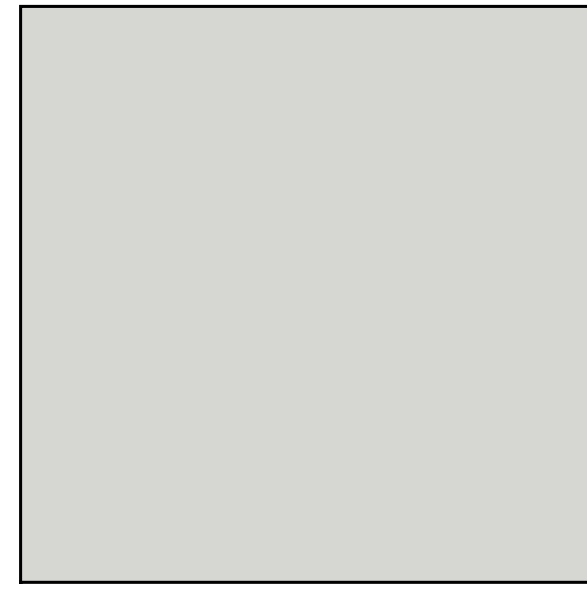
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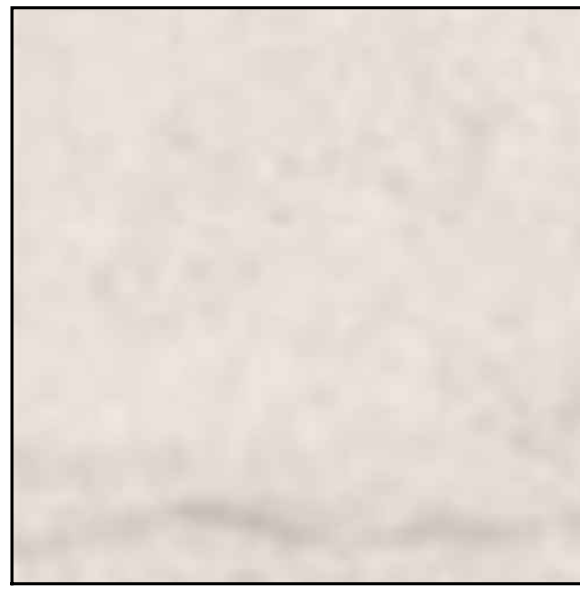
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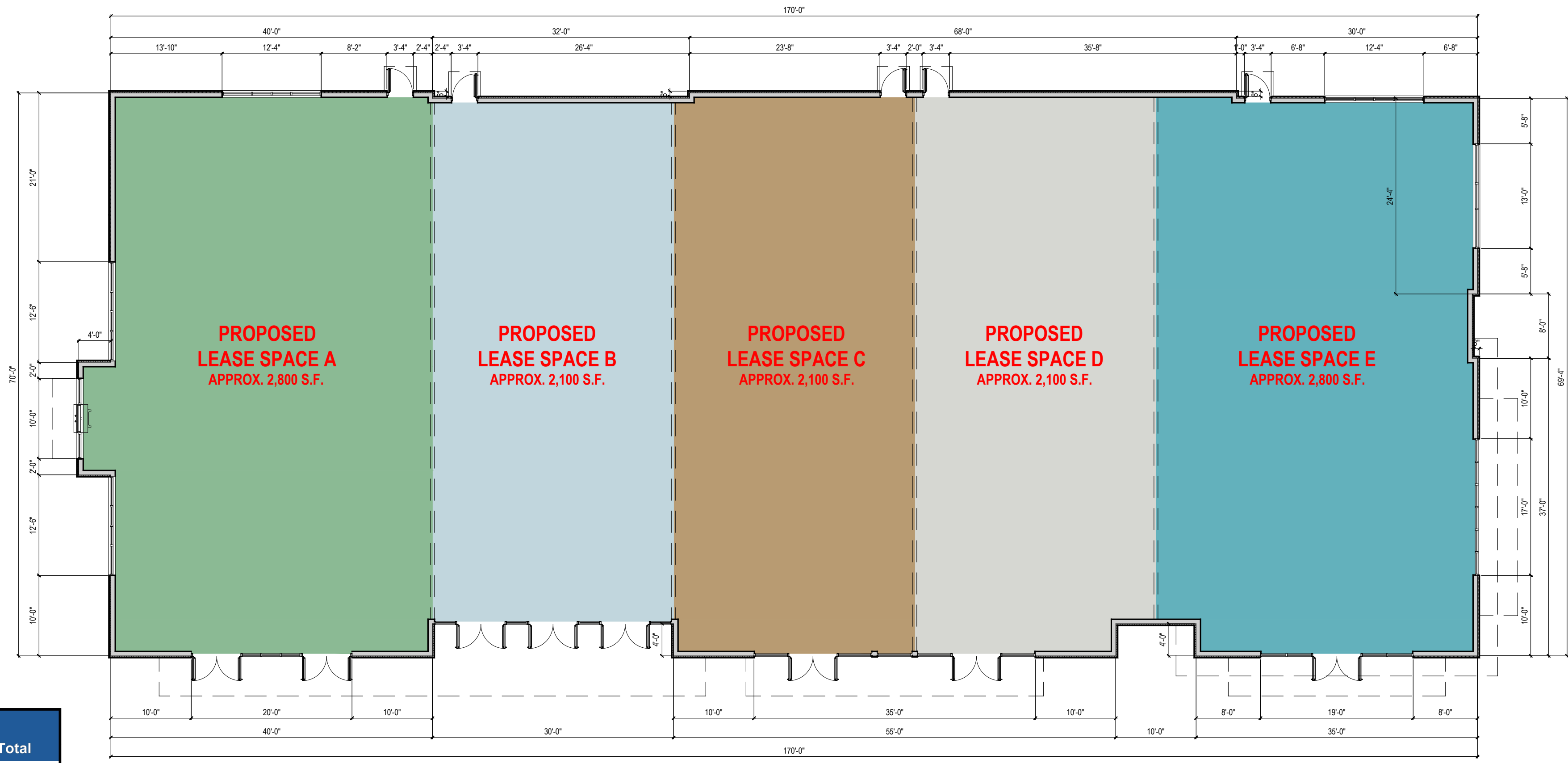


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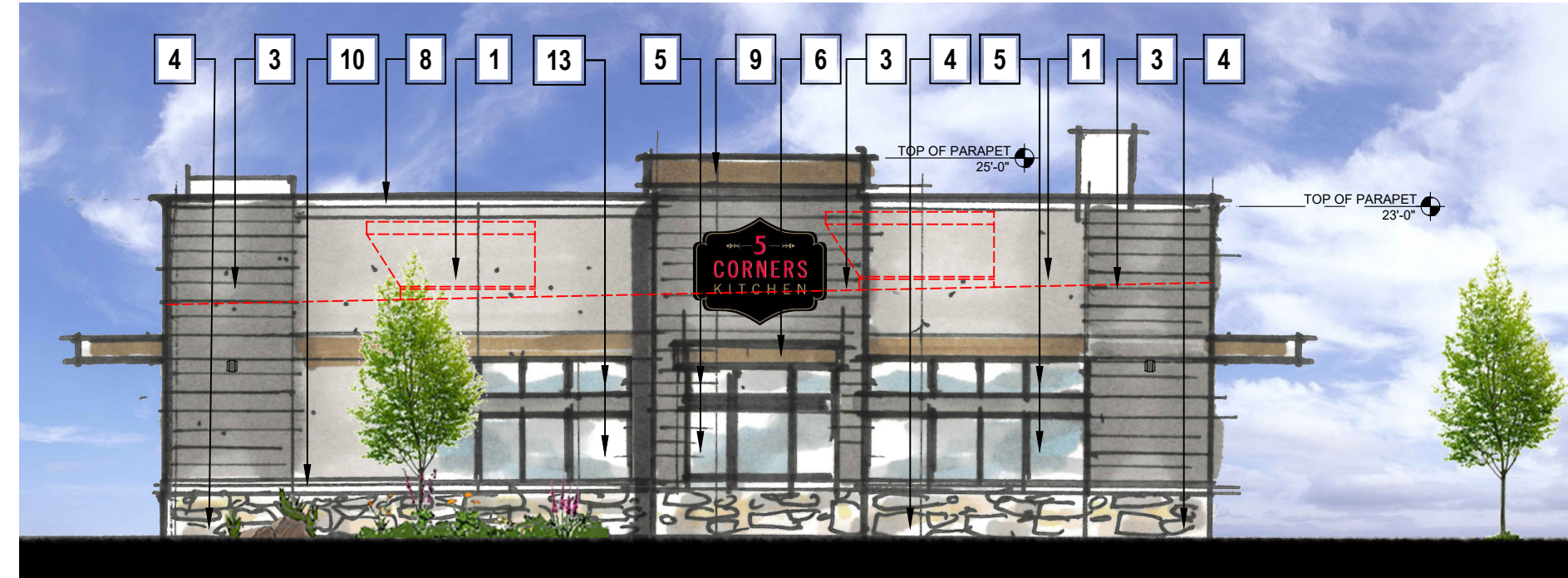
EXTERIOR FINISHES		
1	EIFS	EXTERIOR INSULATION & FINISH SYSTEM - FINE FINISH COLOR TO MATCH PPG 'FOG'
2	BRICK - BROWN	EXTERIOR BRICK - BROWN MATCH: BELDEN BRICK - SEAL BROWN VELOUR
3	BRICK - GRAY	EXTERIOR BRICK - GRAY MATCH: BELDEN BRICK - GRAPHITE BLACK VELOUR
4	STONE	PROVIA - TERRA CUT - NIAGRA GROUT: GRAY
5	STOREFRONT SYSTEM	ALUMINUM STOREFRONT SYSTEM COLOR: DARK BRONZE W/ CLEAR GLASS
6	CANOPY	PREFINISHED METAL CANOPY COLOR TO MATCH BROWN BRICK
7	CANOPY	PREFINISHED METAL CANOPY COLOR TO MATCH PPG 'FOG'
8	COPING	PREFINISHED METAL COPING COLOR TO MATCH PPG 'FOG'
9	COPING	PREFINISHED METAL COPING COLOR TO MATCH BROWN BRICK
10	PRECAST SILL	COLOR: NATURAL
11	SERVICE DOOR	HOLLOW METAL DOOR & FRAME PAINT TO MATCH ADJACENT BRICK
12	SERVICE DOOR	HOLLOW METAL DOOR & FRAME PAINT TO MATCH PPG 'FOG'
13	STOREFRONT SYSTEM	ALUMINUM STOREFRONT SYSTEM COLOR: DARK BRONZE W/ SPANDREL GLASS



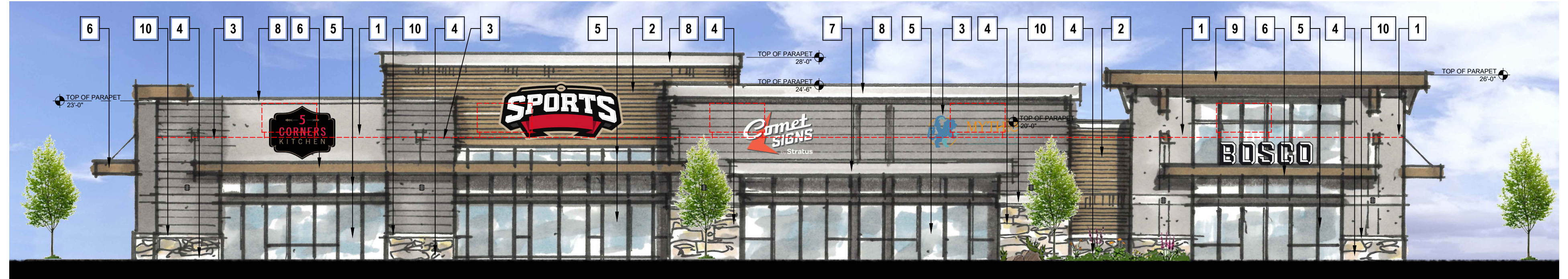
NOBLESVILLE - LOT 10

Material	East		West		North		South	
	Material Sf.	% of Total	Material Sf.	% of Total	Material Sf.	% of Total	Material Sf.	% of Total
Storefront	519	35%	331	21%	266	7%	1562	39%
EIFS	671	45%	461	29%	838	23%	599	15%
Brick	108	7%	518	33%	1587	43%	1523	38%
Stone	181	12%	269	17%	1024	28%	330	8%
Total	1479	100%	1579	100%	3715	100%	4014	100%

PRELIMINARY FLOOR PLAN
3/32" = 1'-0" 11,900 S.F.



WEST ELEVATION
3/32" = 1'-0"

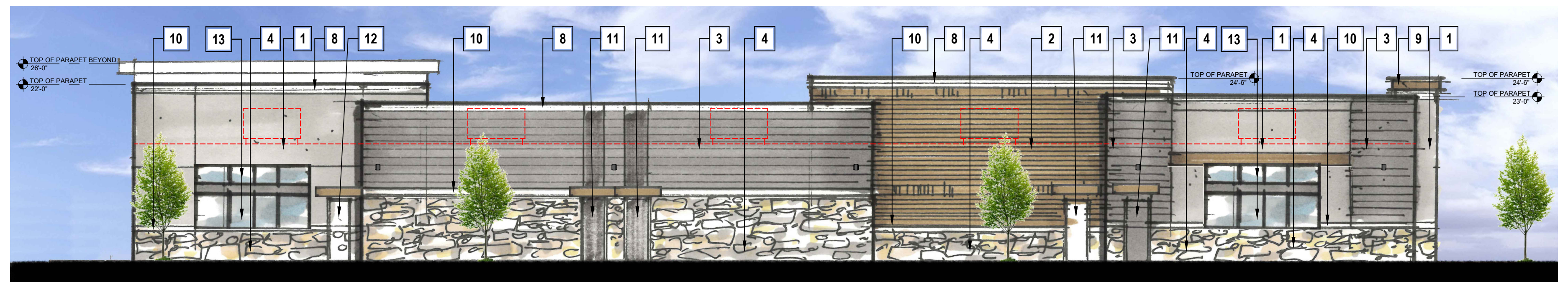


SOUTH ELEVATION
3/32" = 1'-0"

NOTE:
RED HIDDEN LINES REPRESENT THE
ROOF LINE AND ROOF TOP UNITS
BEYOND THE PARAPETS



EAST ELEVATION
3/32" = 1'-0"



NORTH ELEVATION
3/32" = 1'-0"

FLOOR PLAN, EXTERIOR ELEVATIONS & MATERIALS

06.19.2024

Promenade Shops
Lot 10
NOBLESVILLE, INDIANA