



To: City of Noblesville Planning Department

From: Brian Smallwood, PE

Date: June 27, 2024

Subject: Meijer #682 Noblesville – Lot 12 – Waivers Request

Meijer is proposing to develop the additional outlots at the 682 Noblesville Grocery Store site near the intersection of Little Chicago Road and Westfield Road (SR 32). As part of that development, Meijer is proposing an amendment to the PUD ordinance to allow more than one drive-through restaurant within the development. Woolpert has identified unique site characteristics for the proposed development that justify relief from additional sections of the UDO. Following is a summary of that review:

1. 8.H.8.M SR 32 Overlay Roadside Corridor Requirement
 - a. Requirement:
 - i. (4) The Roadside Corridor shall be a minimum width of 30 feet parallel and immediately abutting the SR 32 right-of-way line with construction of a meandering trail, minimum 10 feet wide.
 - b. Waiver Request:
 - i. Reduce the required minimum width of the Roadside Corridor to 15 feet parallel and immediately abutting the SR 32 right-of-way line and waive the requirement to construct a meandering trail.
 - c. Waiver Justification:
 - i. At the time of application, INDOT has not responded to requests for information regarding the right-of-way dedication they will be requiring from property owners along SR 32. In addition, they have not provided plans for the proposed SR 32 improvements. It is assumed that INDOT will be requiring dedication of a significant width of right-of-way for the improvements and that it will result in a significant reduction in the amount of space available for the required Roadside Corridor construction. The requested reduction in width is consistent with the amount of right-of-way that INDOT is expected to require to be dedicated. Because of the unknown nature of their planned construction, we are proposing that the new trail not be installed at this time. Pedestrian connection will be provided from the subject lot to connect to the future trail.
 - ii. The number of required tree plantings is provided within the reduced Roadside Corridor. No reduction in plantings is requested.
2. Table 10.0.3.B Required Parking Spaces
 - a. Requirement:
 - i. Required number of parking spaces for a free-standing retail store is 1 space per 200 square feet of gross floor area.
 - b. Waiver Request:
 - i. Reduce the number of required parking spaces for a free-standing retail store to 1 space per 250 square feet of gross floor area.
 - c. Waiver Justification:
 - i. The proposed Lot 12 building will be developed as a 6,600 square foot building that can be divided into multiple tenant spaces for lease. At this time the tenant users are assumed to include a restaurant and medical office use; however in the future the medical office use could be converted to retail use if lease

agreements require it. Following is a summary of the number of parking spaces required, calculated based on potential tenant uses:

Restaurant*	2,197	26
Medical Office	4,403	18
Total	6,600	44

Restaurant*	2,197	26
Retail	4,403	23
Total	6,600	49

*Restaurant use customer area is calculated based on the intended user and requires 1 parking space per 50 SF of customer-facing space.

The existing lot has some unique site constraints related to the SR 32 right-of-way and utility easements across the frontage of the site that restrict the developable area of the lot. The proposed development is able to provide 44 parking spaces with additional waivers as described below. Allowing a reduction in the number of parking spaces needed for a retail use to more closely align with the number of parking spaces needed for a medical office would allow the flexibility for future tenant uses while also minimizing the number of additional waivers being sought for the development.

3. 10.4.B.1 Parking Lot Setbacks

- a. Requirement:
 - i. All parking lots shall be setback a minimum of 20 feet from the property line abutting any street.
- b. Waiver Request:
 - i. Reduce the required parking lot setback from the property line abutting a private street or drive to 10 feet.
- c. Waiver Justification:
 - i. Promenade Shops Boulevard is a street that is internal to the overall development and is intended to be used by those customers and employees who are visiting the various businesses within the development. Reducing the proposed parking space setback from the right-of-way will not be injurious to the public and will be visible only to those who are being served by the development. To provide the minimum 20-foot setback, at least 8 parking spaces would be eliminated which would bring the overall site further out of compliance with UDO requirements for the minimum number of parking spaces.

4. Table 10.0.4.A Off-Street Parking Dimensions

- a. Requirement:
 - i. Required off-street parking stall dimensions for 90-degree parking spaces is 9 feet by 20 feet.
- b. Waiver Request:
 - i. Reduce the required off-street parking stall dimensions for 90-degree parking spaces to 9 feet by 18 feet.
- c. Waiver Justification:
 - i. The existing lot has some unique site constraints related to the SR 32 right-of-way and utility easements across the frontage of the site that restrict the developable area of the lot. To meet the required parking space length as stated in the UDO, the building would have to shift north by 2 feet putting the northern parking spaces closer than 10 feet to the Promenade Shops Boulevard right-of-way line, eliminating at least 4 parking space on the north side of the building which would bring the overall site further out of compliance with UDO requirements for the minimum number of parking spaces.

5. 10 10.4.C.2 Driveways
 - a. Requirement:
 - i. (c) No single non-residential driveway shall exceed a width of 30 feet at the right-of-way line.
 - b. Waiver Request:
 - i. (c) Increase the maximum width of a commercial driveway at the right-of-way line to 40'.
 - c. Waiver Justification:
 - i. Lot 12 is part of a previously permitted and platted PUD subdivision. The access driveway apron was constructed as part of the construction of the internal roadway system including Promenade Shops Boulevard. The proposed lot development intends to utilize the existing driveway apron for the site's access to the right-of-way without altering the location, width, or alignment of the existing curb cut. The drive entrance onto Promenade of Noblesville Parkway is approximately 40 feet wide at the ROW line. These existing features constitute a unique physical condition for this lot that existed when the original roadway system was constructed and was not self-created by the applicant.

6. 12.5.C.1 Interior Parking Lot Planting Islands
 - a. Requirement:
 - i. (a) All single row parking landscape islands and peninsulas shall be a minimum of 180 square feet in area with a minimum width of 9 feet measured from back of curb to back of curb or edge of pavement.
 - b. Waiver Request:
 - i. (a) Reduce the minimum required parking landscape islands and peninsulas to 163 square feet in area and 9.5 feet in width measured back of curb to back of curb.
 - c. Waiver Justification:
 - i. (a) The proposed interior landscape island is currently sized to align with the back wall of the proposed building. Increasing the size of the landscape island would result in a reduction of 1 additional parking space which would bring the overall site further out of compliance with UDO requirements for the minimum number of parking spaces.
 - ii. The number of required tree and shrub plantings is provided within the reduced interior parking lot island. No reduction in plantings is requested.

7. 12.5.D.2 Perimeter Parking Lot Landscaping
 - a. Requirement:
 - i. Minimum required perimeter parking lot landscaping width for parking lots adjacent to or abutting a public or private street, or within a front yard, is 20 feet.
 - b. Waiver Request:
 - i. Reduce the minimum required perimeter landscape width along private streets and within a front yard to 10 feet.
 - c. Waiver Justification:
 - i. The existing lot has some unique site constraints related to the SR 32 right-of-way and utility easements across the frontage of the site that restrict the developable area of the lot. To provide the minimum 20-foot perimeter parking lot landscaping width, at least 8 parking spaces would be eliminated which would bring the overall site further out of compliance with UDO requirements for the minimum number of parking spaces.
 - ii. The number of required tree and shrub plantings is provided within the reduced perimeter parking lot landscaping areas. No reduction in plantings is requested.

8. 12.6 Building Base Landscaping
 - a. Requirement:
 - i. The entire base of each commercial building shall be surrounded by a landscape strip 10 feet wide.
 - ii. These landscape strips may be broken by pedestrian access ways for no more than 10% of the total area of the required landscape strip.
 - iii. Understory trees are required as part of the building base landscaping requirements.

b. Waiver Request:

- i. Reduce the minimum required width of building base landscaping to 3 feet wide.
- ii. Allow more than 10% of the total landscape strip to be paved with pedestrian access ways.
- iii. Allow for the required understory trees to be located in other locations on the site.
- iv. Remove the requirement for building base landscaping at the rear façade of the building for back-of-house operations and maintenance.

c. Waiver Justification:

- i. The existing lot has some unique site constraints related to the SR 32 right-of-way and utility easements across the frontage of the site that restrict the developable area of the lot. To provide the required 10-foot wide building base landscaping and sidewalk along the front of the building, the site would be unable to comply with required setbacks, or additional parking spaces would be eliminated which would bring the overall site further out of compliance with UDO requirements for the minimum number of parking spaces. In lieu of the 10-foot wide landscaping strip, the development proposes to provide a 3-foot wide planting strip along the base of the building on the west, south, and east sides of the building where they will not interfere with storefront access or ADA routes. The sidewalk surrounding the building in these locations would remain 5 feet wide to provide ADA access to all accessible entrances to the building.
- ii. The proposed building entrances need to remain accessible to the ADA parking spaces and pedestrian sidewalks. As an alternative to providing building base landscaping directly against the building in these areas, it is proposed to provide landscape planting beds at the edge of the entrance sidewalks where possible to give the impression of continuous building landscaping without interfering with access to the tenant spaces or ADA routes around the site.
- iii. Because of the reduced width available for building base landscaping, the required understory trees cannot be planted along the building. The development proposes to plant the number of required understory trees in other locations on the site so that the minimum number of plantings required is met.
- iv. The north side of the Lot 12 building consists of back-of-house areas related to utility and maintenance entrances and will serve as the loading area for tenant deliveries. Landscaped beds placed near these areas tend to serve as receptacles for unwanted garbage and debris, and plantings tend to get destroyed and become maintenance and aesthetic issues. In lieu of providing building base landscaping along the back-of-house areas of the building, the development proposes providing the required number of trees and shrubs at other locations on the site so that the minimum number of plantings required is met.
- v. The total number of required tree and shrub plantings is provided on the site. No reduction in plantings is requested.

9. 13.2 Lighting

a. Requirement:

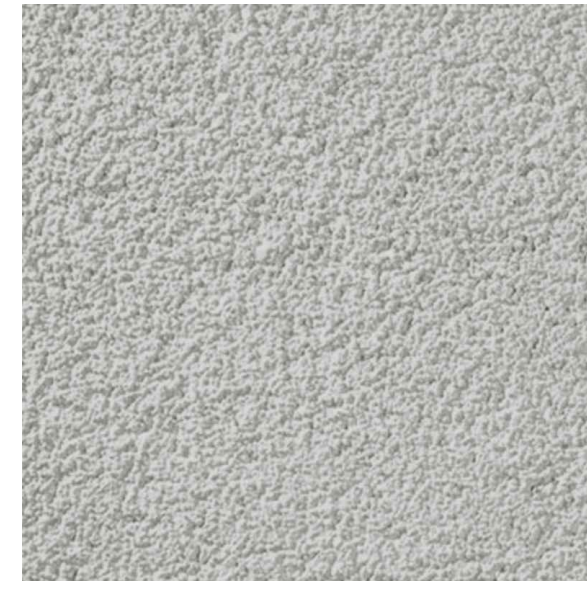
- i. All on-site lighting of buildings, lawns, and parking areas shall be designed so as not to shine or cause glare in excess of 0.5 foot-candle onto any adjacent property.

b. Waiver Request:

- i. Increase the allowable light levels from on-site parking areas to 1 foot-candle onto adjacent property within the overall commercial development.

c. Waiver Justification:

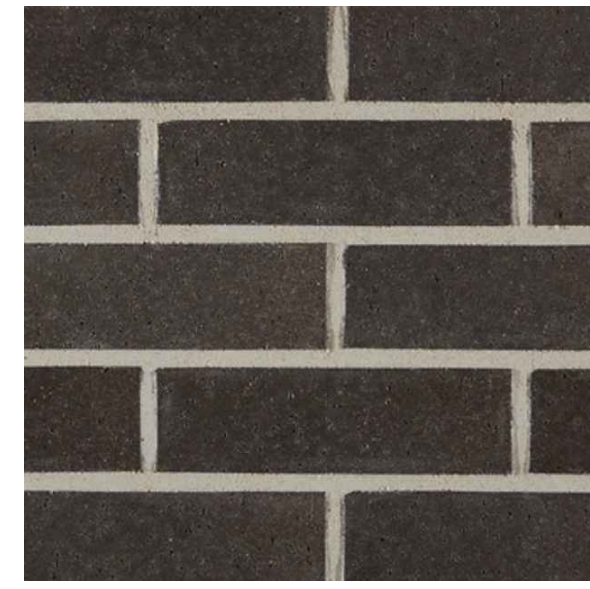
- i. The proposed Lot 12 is adjacent to the Meijer mExpress fuel center and proposed Lot 13 of the overall development, all of which are owned and operated by Meijer. Due to the close proximity of the site improvements and commercial nature of the development, it is expected that some light levels will overlap property lines. It is expected that the businesses on both lots will have similar hours of operation and that lighting levels will not negatively impact adjacent properties or their operations.



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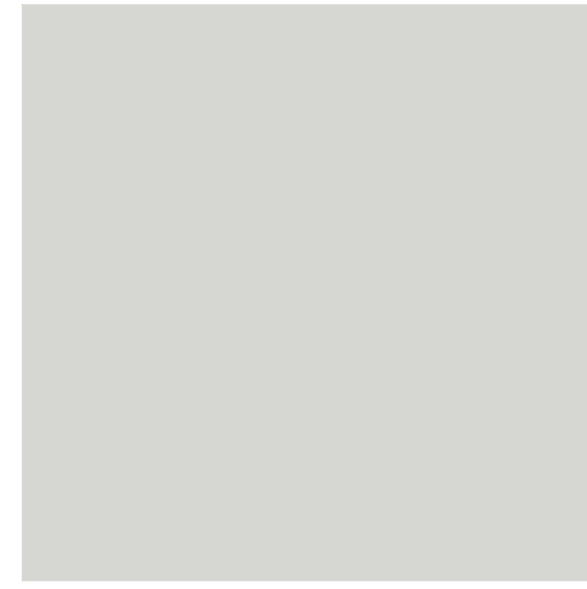


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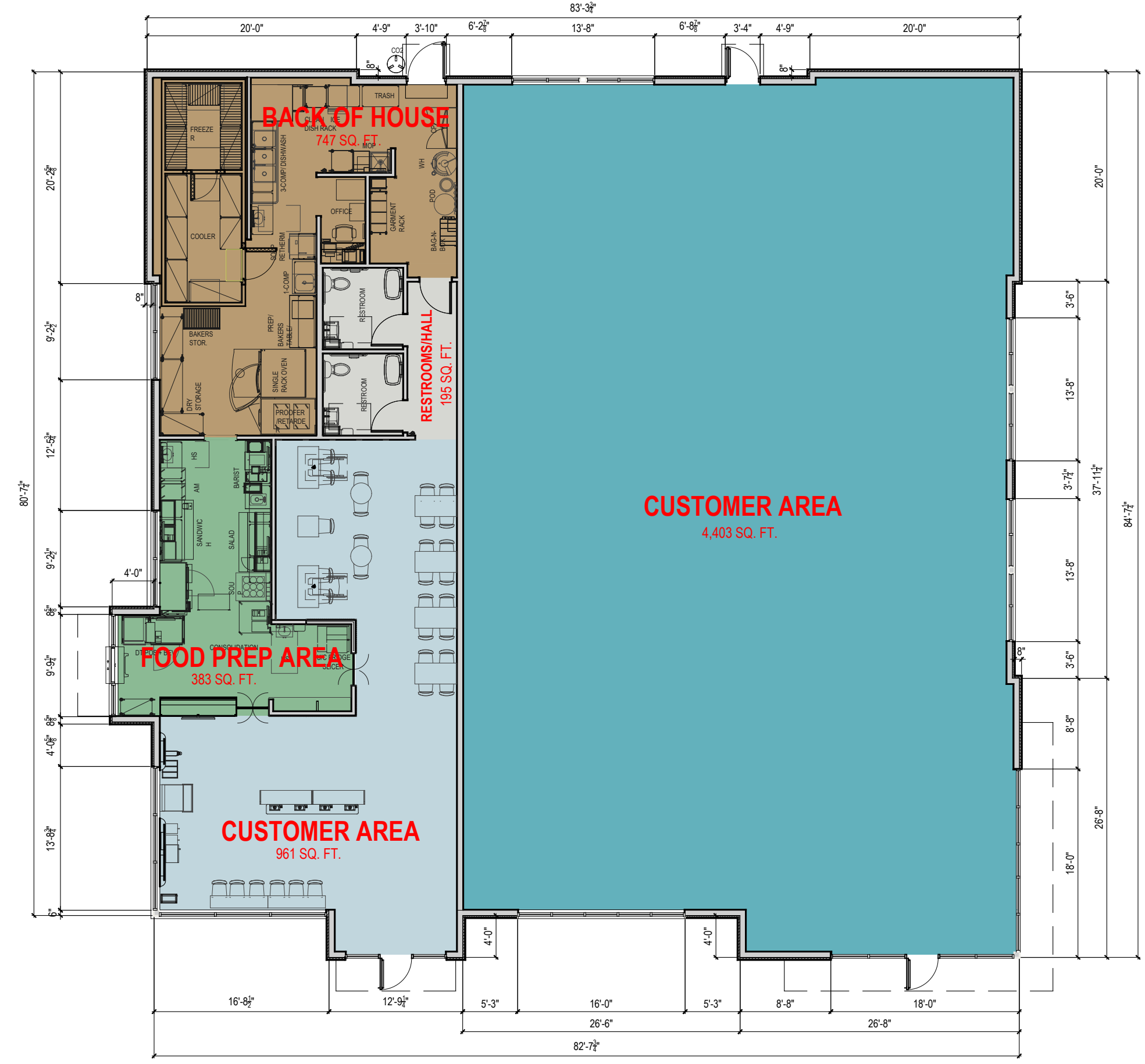


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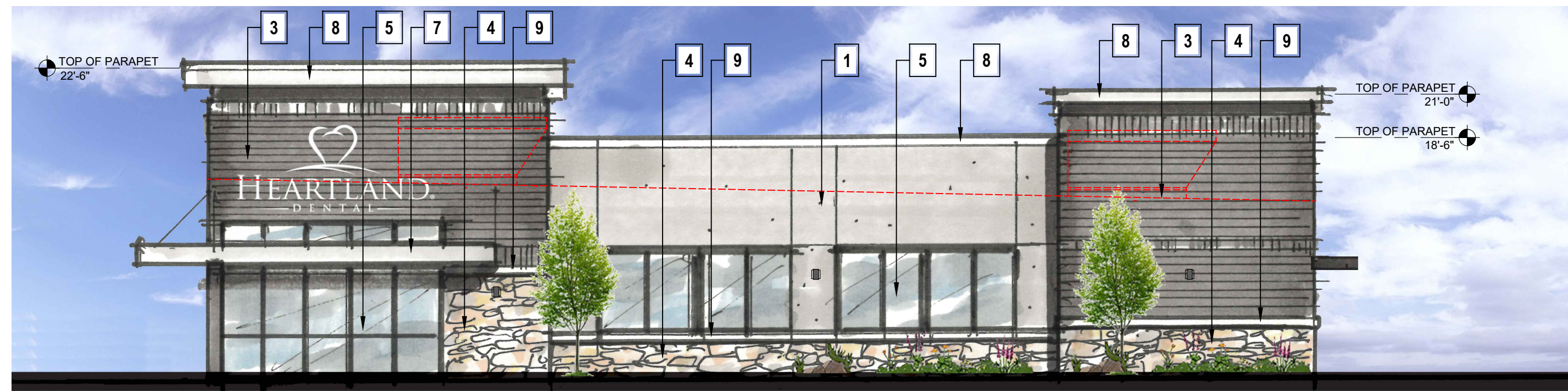
EXTERIOR FINISHES		
1	EIFS	EXTERIOR INSULATION & FINISH SYSTEM - FINE FINISH COLOR TO MATCH PPG 'FOG'
2	BRICK - BROWN	EXTERIOR BRICK - BROWN MATCH: BELDEN BRICK - SEAL BROWN VELOUR
3	BRICK - GRAY	EXTERIOR BRICK - GRAY MATCH: BELDEN BRICK - GRAPHITE BLACK VELOUR
4	STONE	PROVIA - TERRA CUT - NIAGRA GROUT: GRAY
5	STOREFRONT SYSTEM	ALUMINUM STOREFRONT SYSTEM COLOR: DARK BRONZE W/ CLEAR GLASS
6	CANOPY	PREFINISHED METAL CANOPY COLOR TO MATCH DARK BRONZE STOREFRONT
7	CANOPY	PREFINISHED METAL CANOPY COLOR TO MATCH PPG 'FOG'
8	COPING	PREFINISHED METAL COPING COLOR TO MATCH PPG 'FOG'
9	PRECAST SILL	COLOR: NATURAL
10	SERVICE DOOR	HOLLOW METAL DOOR & FRAME PAINT TO MATCH BROWN BRICK
11	SERVICE DOOR	HOLLOW METAL DOOR & FRAME PAINT TO MATCH PPG 'FOG'
12	STOREFRONT SYSTEM	ALUMINUM STOREFRONT SYSTEM COLOR: DARK BRONZE W/ SPANDREL GLASS

NOBLESVILLE - LOT 12 - PANERA/HEARTLAND

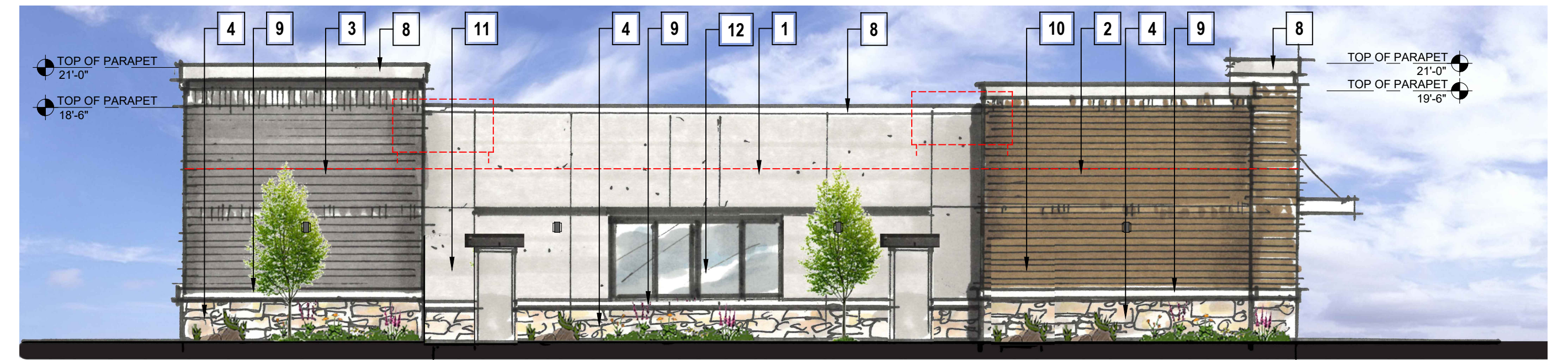
Material	South		North		East		West	
	Material Sf.	% of Total	Material Sf.	% of Total	Material Sf.	% of Total	Material Sf.	% of Total
Brick	593	36%	676	43%	616	38%	558	33%
Storefront	459	28%	87	6%	391	24%	329	20%
EIFS	376	23%	517	33%	343	21%	505	30%
Stone	228	14%	288	18%	275	17%	293	17%
Total	1656	100%	1568	100%	1625	100%	1685	100%



PRELIMINARY FLOOR PLAN
3/32" = 1'-0"
6,600 S.F.

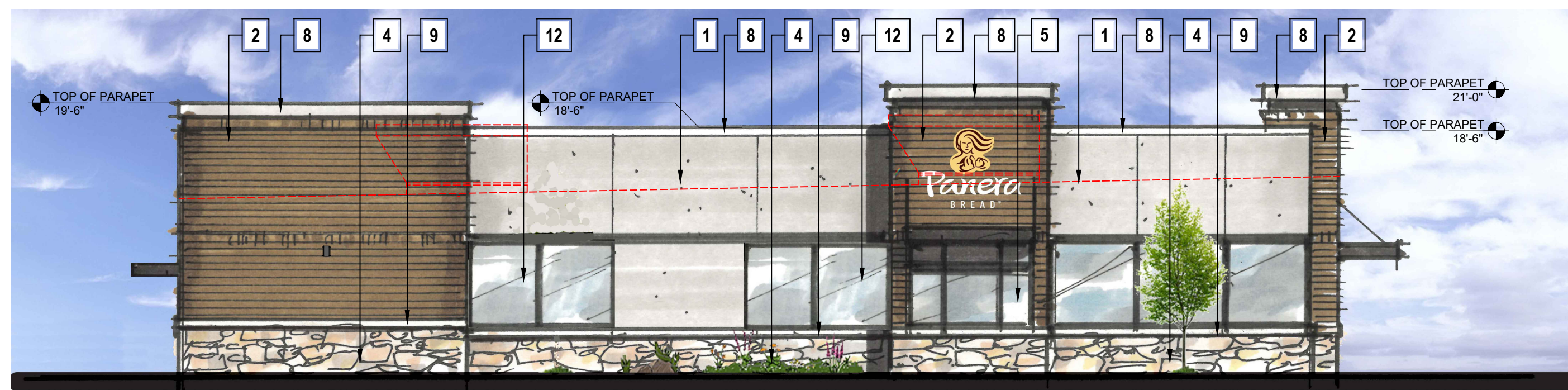


EAST ELEVATION
1/8" = 1'-0"



NOTE:
RED HIDDEN LINES REPRESENT THE
ROOF LINE AND ROOF TOP UNITS
BEYOND THE PARAPETS

NORTH ELEVATION
1/8" = 1'-0"



WEST ELEVATION
1/8" = 1'-0"



SOUTH ELEVATION
1/8" = 1'-0"

FLOOR PLAN, EXTERIOR ELEVATIONS & MATERIALS

06.19.2024

Panera/Heartland Dental
Lot 12
NOBLESVILLE, INDIANA



HENRICKSON
ARCHITECTURE + PLANNING