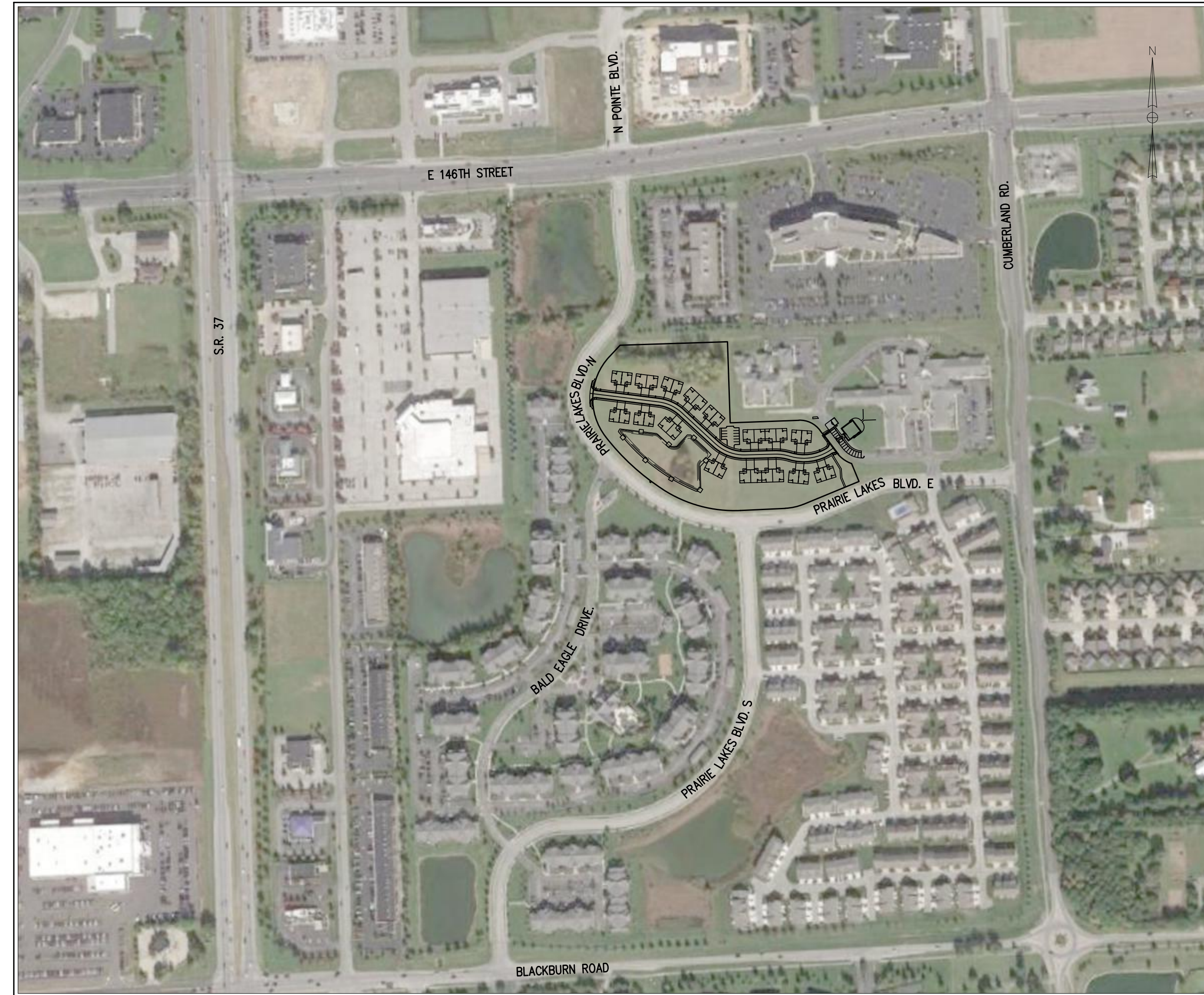


# EXHIBIT C TRILOGY HEALTH SERVICES, LLC

## PATIO HOMES AT PRAIRIE LAKES NOBLESVILLE PRELIMINARY DEVELOPMENT PLAN PRAIRIE LAKES BLVD. E CITY OF NOBLESVILLE, COUNTY OF HAMILTON, STATE OF INDIANA

### BENCHMARKS

- ◆ BENCHMARK A  
X-NOTCH ON NE RIM OF SANITARY MANHOLE, 92 FEET WEST OF SW CORNER OF EXISTING BUILDING AND 6 FEET BEHIND NORTH CURB LINE OF PRIVATE DRIVE. ELEVATION = 821.22'
- ◆ BENCHMARK B  
X-NOTCH ON NW RIM OF SANITARY MANHOLE, 134 FEET NORTH OF CENTERLINE OF PRAIRIE LAKES BLVD. N AND 99 FEET NORTH OF EXISTING FIRE HYDRANT. ELEVATION = 819.93
- ◆ BENCHMARK C  
X-NOTCH ON WESTERLY BACK OF CURB OF PRAIRIE LAKES BLVD. N, 6 FEET SOUTH OF MOST SOUTHERLY CURB INLET OF THREE AND 33 FEET NE FROM EXISTING STORM MANHOLE. ELEVATION = 815.85
- ◆ CONTROL POINT #1  
3/8 INCH IRON PIN, LOCATED ON THE NORTH EAST MOST CORNER, APPROXIMATELY 82 FEET NORTH OF SANITARY MANHOLE D. NORTHING: 1730594.69 EASTING: 235271.72



LOCATION MAP  
SCALE: 1"=500'

### INDEX OF SHEETS

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STREET TREE PLAN.....	6
LANDSCAPE PLAN.....	7
LANDSCAPE NOTES AND DETAILS.....	8
PHOTOMETRIC PLAN.....	L1

### UTILITY CONTACTS

- SANITARY SEWERS**  
HAMILTON SOUTHEASTERN UTILITIES, INC.  
11901 LAKESIDE DR.  
FISHERS, INDIANA 46038  
PHONE: 317-557-2300
- WATER SERVICE**  
INDIANA AMERICAN WATER-NOBLESVILLE  
15227 HERRIMAN BLVD.  
NOBLESVILLE, IN 46060  
CONTACT: JOSHUA COX  
PHONE: 317-900-4975  
EMAIL: JOSHUA.COX@AMWATER.COM
- GAS SERVICE**  
VECTREN  
16222 ALLISONVILLE RD.  
NOBLESVILLE, IN 46060  
CONTACT: RANDY CRITCHFIELD  
PHONE: 317-776-5560  
EMAIL: 1(800)227-1376  
ELECTRIC COMPANY  
DUKE ENERGY
- 100 S. MILL CREEK ROAD**  
NOBLESVILLE, IN 46062  
CONTACT: ERIC LONG  
PHONE: 317-610-5436  
EMAIL: ERIC.LONG@DUKE-ENERGY.COM
- CABLE**  
AT&T INDIANA  
CONTACT: WENDY NOBLE  
PHONE: 317-610-5436  
EMAIL: WENDY.NOBLE@ATT.COM

### PROJECT CONTACTS

- DEVELOPER**  
TRILOGY HEALTH SERVICES, LLC.  
305 N. HURSTBOURNE PARKWAY, SUITE 200  
LOUISVILLE, KY 40222  
EARL CRAMER  
PHONE: (502) 396-0493  
EMAIL: EARL\_CRAMER@TRILOGYHS.COM
- CIVIL ENGINEER**  
THE MANNIK & SMITH GROUP, INC.  
20600 CHAGRIN BLVD., SUITE 500  
SHAKER HEIGHTS, OH 44122  
ATTN: ROBERT DENNIS  
PHONE: (202) 375-3718  
EMAIL: RDENNIS@MANNIKSMITHGROUP.COM
- ARCHITECT**  
UNIVERSAL DESIGN ASSOCIATES, INC.  
910 MAIN STREET/P.O. BOX 99  
FERDINAND, IN 47532  
ATTN: JON SCHNARR  
PHONE: 812-367-2831  
JONSCHNARR@UDASSOC.COM

### CLOSEOUT

THE GENERAL CONTRACTOR SHALL COORDINATE THE CLOSEOUT OF THE PROJECT. THE CLOSEOUT SHALL BE AS REQUIRED TO ENSURE A SMOOTH AND COMPLETE PROCESS, AND NOT INTERFERE WITH TRILOGY'S TAKE OVER OF THE STATE FIRE MARSHALL, STATE HEALTH DEPARTMENT, LIFE SAFETY, LOCAL APPLICABLE AGENCIES, AND THE VIP OPENINGS. GENERAL CONTRACTOR IS RESPONSIBLE FOR SCHEDULING STATE AND LOCAL AGENCIES FOR REQUIRED INSPECTIONS.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE SUPPLIERS' DELIVERY OF MATERIALS AND WORK. ITEMS INCLUDED ARE: FIRE ALARM, NURSE CALL, KITCHEN EQUIPMENT, KITCHEN HOOD, FIRE SUPPRESSION SYSTEM FOR THE HOOD, DISHWASHER HOOD, WUNDERGUARD SYSTEM, MAGLOCK SYSTEM, PHONE, AND DATA SYSTEM, ETC.

ALL FINISH FLOORING SHALL BE INSTALLED AS NEAR TO THE END OF CONSTRUCTION AS POSSIBLE. ALL FLOORING THAT IS INSTALLED PRIOR TO COMPLETION OF CONSTRUCTION SHALL BE PROTECTED BY TEMPORARY COVERING. IN THE EVENT THE FINISH FLOORING IS SOILED OR DAMAGED, IT SHALL BE COMMERCIALY CLEANED OR REPLACED. ONLY VACUUMING WILL NOT BE SATISFACTORY.

THE HVAC TEST AND BALANCE MUST BE PERFORMED, ADJUSTED AS NECESSARY, APPROVED AND CERTIFICATES PROVIDED AND ALL ATTIC INSULATION MUST BE IN PLACE PRIOR TO THE FINAL COMPLETION BEFORE ANY FURNITURE OR ACCESSORIES ARRIVE TO THE BUILDING.

GENERAL CONTRACTOR AND SUB-CONTRACTORS MUST DO THEIR OWN COMPLETE INSPECTIONS (PUNCH LIST) AND CORRECT ALL ITEMS PRIOR TO HAVING ENGINEER DO THEIR INSPECTION AND PUNCH LIST.

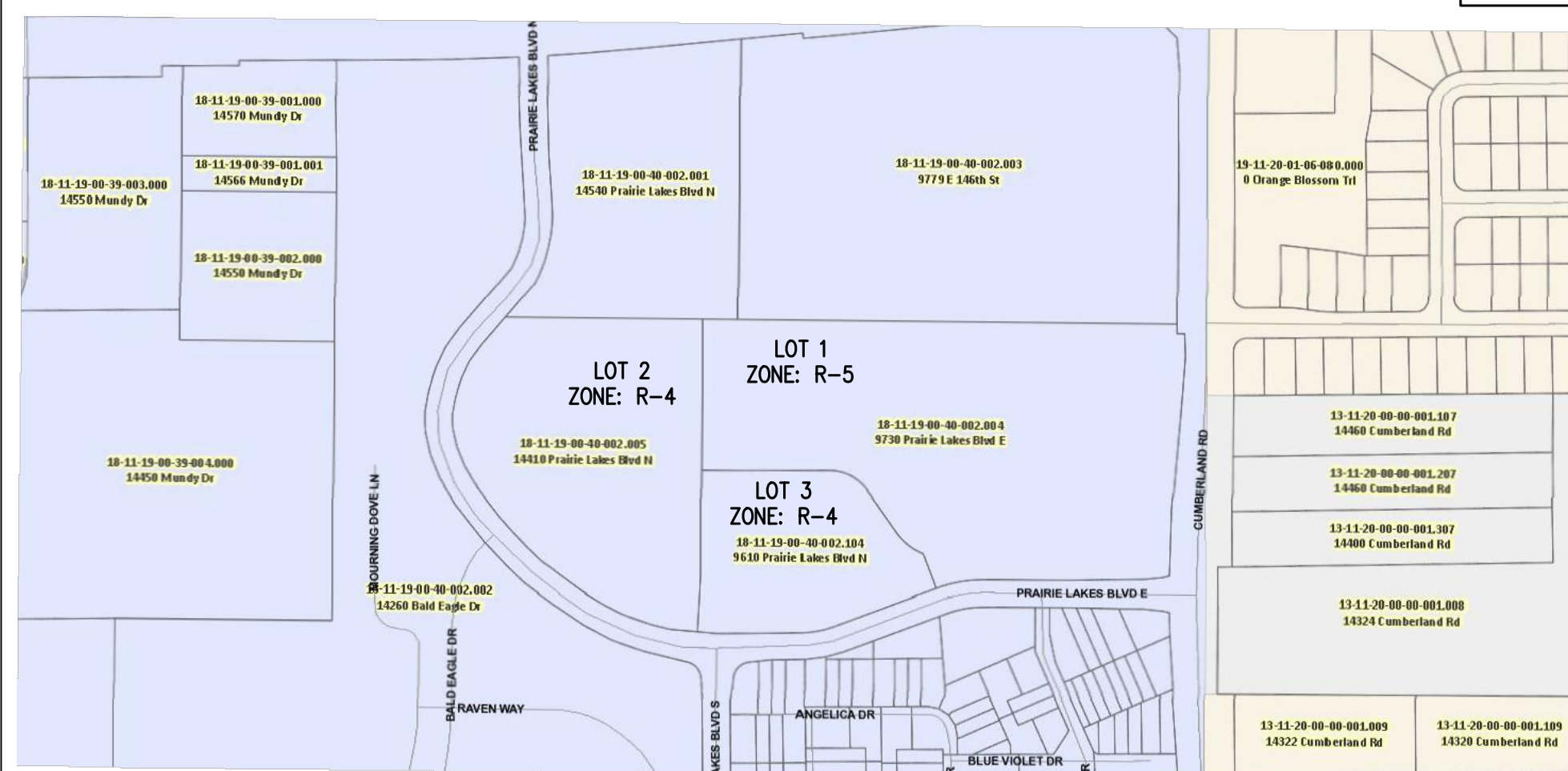
THE ENTIRE PROJECT CONSTRUCTION SHALL BE ONE HUNDRED PERCENT (100%) COMPLETE PRIOR TO ENGINEER/OWNER FINAL INSPECTION (PUNCH LIST) BEING PERFORMED. AFTER THE PUNCH LIST IS PROVIDED, ALL ITEMS MUST BE CORRECTED IMMEDIATELY FOR REINSPECTION TO VERIFY COMPLETION. THE ENTIRE PUNCH LIST MUST BE COMPLETE PRIOR TO OBTAINING THE CERTIFICATE OF OCCUPANCY.

THE TRILOGY TEAM WILL NOT PROVIDE RESOURCES AND MANPOWER TO GET THE BUILDING READY FOR THE CLOSEOUT PROCEDURES AND FURNITURE/ACCESSORIES INSTALLATION. THE BUILDING MUST BE COMPLETE INCLUDING THE PUNCH LISTS PRIOR TO THE SCHEDULED MOVE-IN OF FURNITURE AND ACCESSORIES.

FURNITURE AND ACCESSORIES ARE SCHEDULED FOUR (4) MONTHS IN ADVANCE TO BE DELIVERED AND THEREFORE CONSTRUCTION MUST STAY ON THE TIMELINE WITH NO EXCEPTION. MISSING THE CONSTRUCTION COMPLETION DATE IS SUBJECT TO A PENALTY.

IN THE EVENT THE COMPLETION OF THIS PROJECT CONSTRUCTION IS NOT ACCOMPLISHED WITHIN THE SCHEDULE, AND IF THE TRILOGY TEAM HAS TO ASSIST THE CONTRACTOR ON NON-COMPLETED WORK, TRILOGY HAS THE RIGHT TO CHARGE THE CONTRACTOR FOR ALL EXPENSES INCURRED.

THE CONTRACTOR SHALL SUBMIT THE ITEMS (CERTIFICATIONS) FOR LICENSE AND OCCUPANCY, MAINTENANCE AND WARRANTY MANUALS, AND THE AS-BUILT DRAWINGS PRIOR TO THE FINAL COMPLETION.



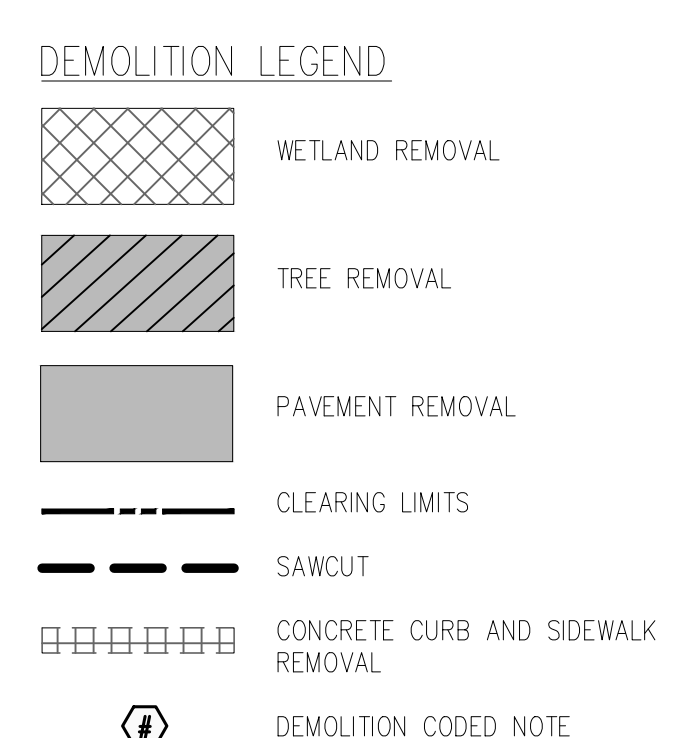
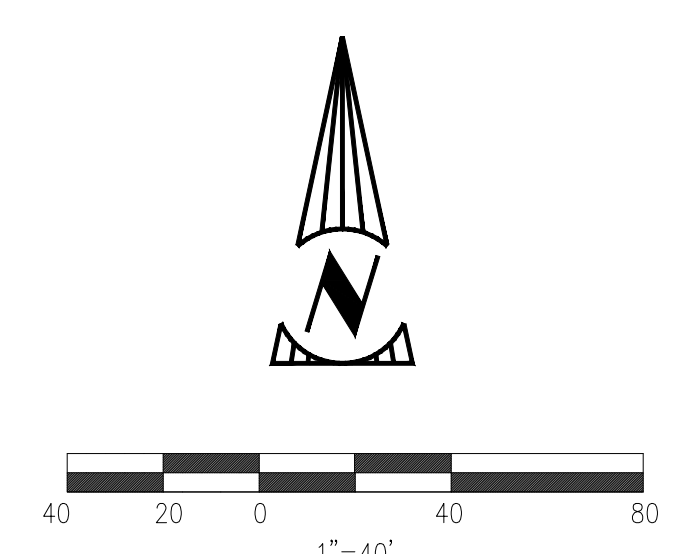
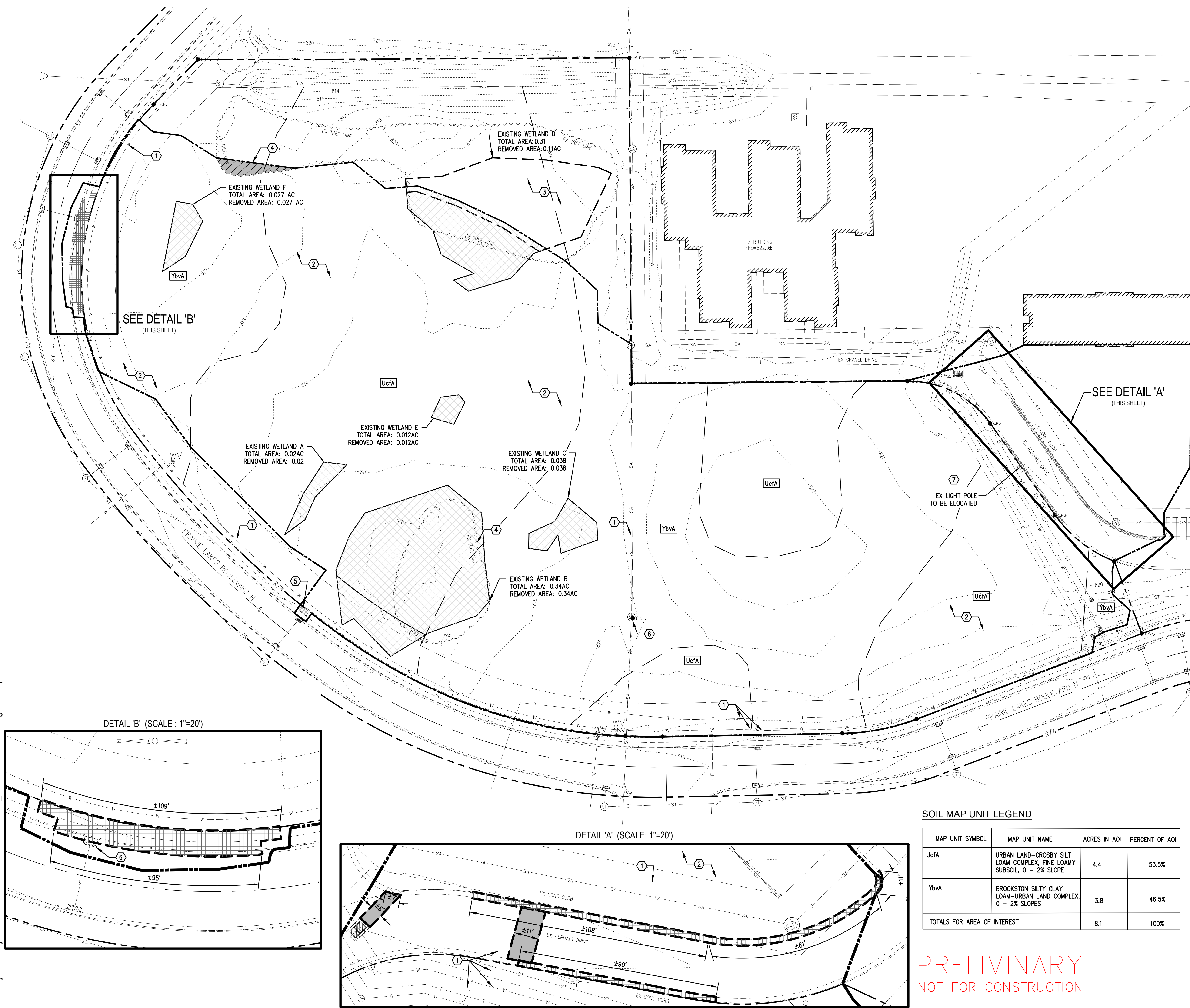
PARCEL EXHIBIT

PRELIMINARY  
NOT FOR CONSTRUCTION

DESCRIPTION	PRELIMINARY DEVELOPMENT PLAN
BY	DAB
DATE	08/20/2024
NO.	1
PROFESSIONAL SEAL	
TECHNICAL SKILL:	CREATIVE SPIRIT.
20600 CHAGRIN BLVD.	SHAKER HEIGHTS, OH 44122
TEL: 216.378.1490	FAX: 216.378.1497
www.MannikSmithGroup.com	
PREPARED FOR:	TRILOGY HEALTH SERVICES, LLC.
303 N. HURSTBOURNE PARKWAY	SUITE 200 LOUISVILLE, KY 40222
PATIO HOMES AT PRAIRIE LAKES NOBLESVILLE	
PROJECT DATE:	AUG 2024
PROJECT NO.:	T1730034
DRAWN BY:	DAB
CHECKED BY:	RAD
TITLE SHEET	
1	8

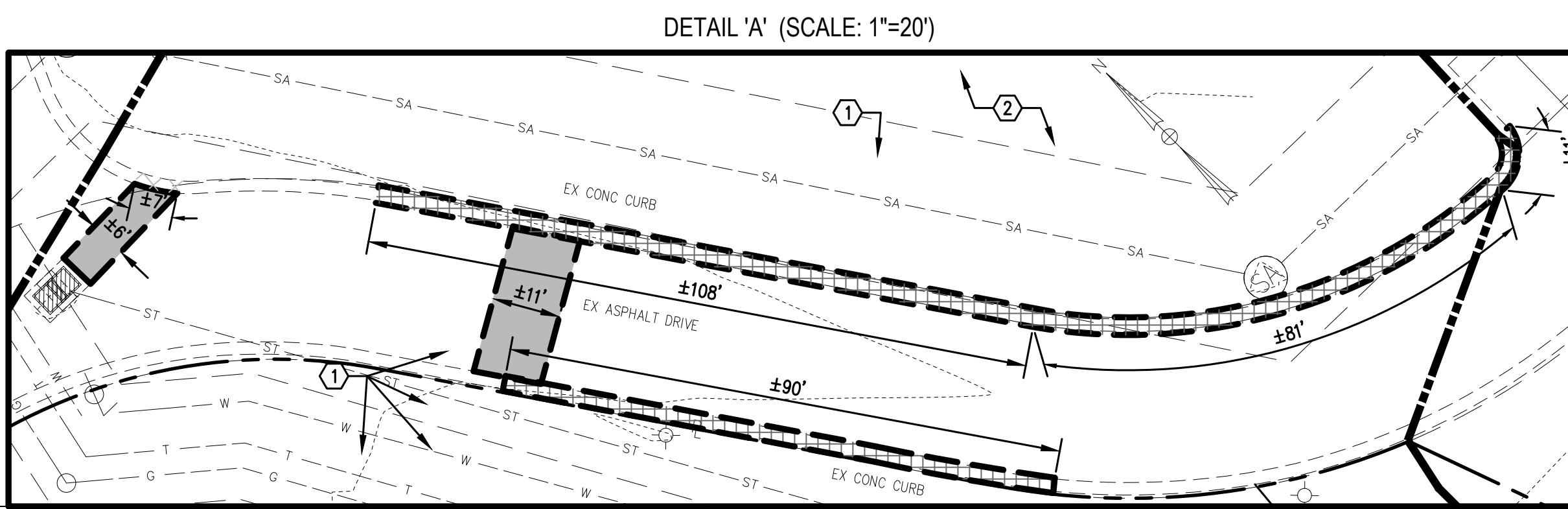
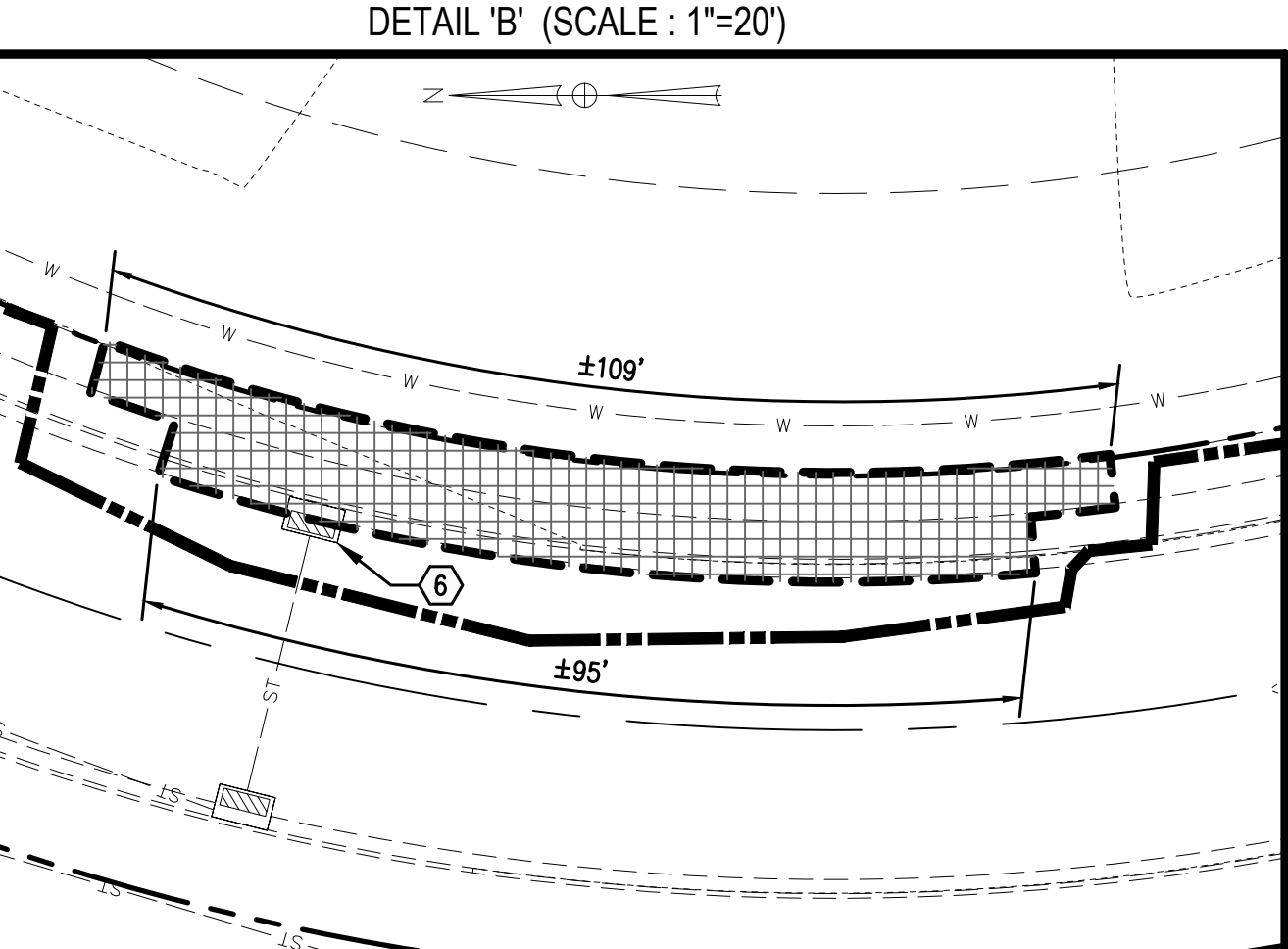


W:\Projects\Projects P-T\1730034\CAD\BASE\03\_Demolition Plan.dwg - Last printed 8/21/2024 9:21 AM



- GENERAL NOTES:**
- CONTRACTOR TO SUPPORT AND PROTECT EXISTING UTILITIES THROUGHOUT DURATION OF CONTRACT. ALL UTILITIES ARE TO REMAIN ACTIVE.
  - CONTRACTOR SHALL USE CAUTION WORKING NEAR EXISTING UNDER GROUND UTILITIES.
  - PAVEMENT SAWCUTS SHALL BE MADE TO LEAVE A CLEAN NEAT EDGE TO UP AGAINST LOOSE OR BROKEN SEGMENTS OF PAVEMENT, AND FIX ACCORDINGLY TO PROVIDE A SOLID CLEAN EDGE.
  - CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY ONSITE ITEMS DAMAGED DURING CONSTRUCTION IN THE SAME OR BETTER CONDITION THAN THEY WERE PRIOR TO CONSTRUCTION.
  - THE EXISTING TOPOGRAPHY SHOWN ON THESE PLANS IS THE SURVEY OF RECORD FOR THIS PROJECT. SHOULD THE CONTRACTOR TAKE EXCEPTION TO THE EXISTING TOPOGRAPHY AS SHOWN IN THESE PLANS THEY SHALL SUBMIT A TOPOGRAPHIC SURVEY PREPARED BY A REGISTERED PROFESSIONAL SURVEYOR DOCUMENTING THEIR EXCEPTION PRIOR TO THE INITIATION OF ANY EARTH MOVING ACTIVITIES. OTHERWISE THE TOPOGRAPHY CONTAINED WITHIN THESE PLANS IS ACCEPTED BY THE CONTRACTOR AND DEEMED ACCURATE FOR ALL GRADING AND SOILS MANAGEMENT ISSUES.
  - THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTING THE LINES AND GRADES ILLUSTRATED WITHIN THIS PLAN SET. THE CONTRACTOR IS TO INCLUDE ALL SOILS IMPORT OR EXPORT NECESSARY TO ATTAIN THE LINES AND GRADES ILLUSTRATED HEREIN WITHIN THE BASE BID OF THIS PROJECT WITH NO ADDITIONAL COST FOR SOILS IMPORT OR EXPORT.
  - REFER TO IDEM PERMIT NO. IWP 2020-387-29-ALF-A FOR ISOLATED WETLAND DISTURBANCE

- CODED NOTES:**
- CONTRACTOR SHALL USE CAUTION WHILE WORKING NEAR EXISTING UNDERGROUND UTILITIES.
  - CONTRACTOR SHALL STRIP TOPSOIL WITHIN THE CLEARING LIMITS PER GEOTECHNICAL REPORT AND STOCK PILE ON SITE. THE ACTUAL DEPTH OF TOPSOIL IS TO BE VERIFIED BY AN ONSITE GEOTECHNICAL ENGINEER.
  - CONTRACTOR SHALL DELINEATE AND PROTECT AREA OF WETLANDS TO REMAIN. NO WORK SHALL OCCUR IN PORTIONS OF THE EXISTING WETLAND.
  - CONTRACTOR SHALL REMOVE EXISTING TREES/SHRUBS.
  - CONTRACTOR SHALL REMOVE AND REPLACE EXISTING CURB AND SIDEWALK.
  - CONTRACTOR SHALL ADJUST EXISTING RIM TO BE FLUSH WITH PROPOSED GRADES. SEE UTILITY PLAN.
  - EX LIGHT POLE TO BE RELOCATED



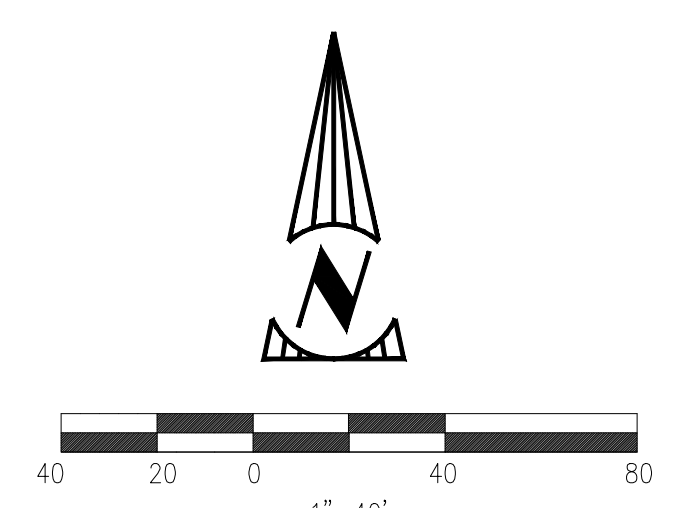
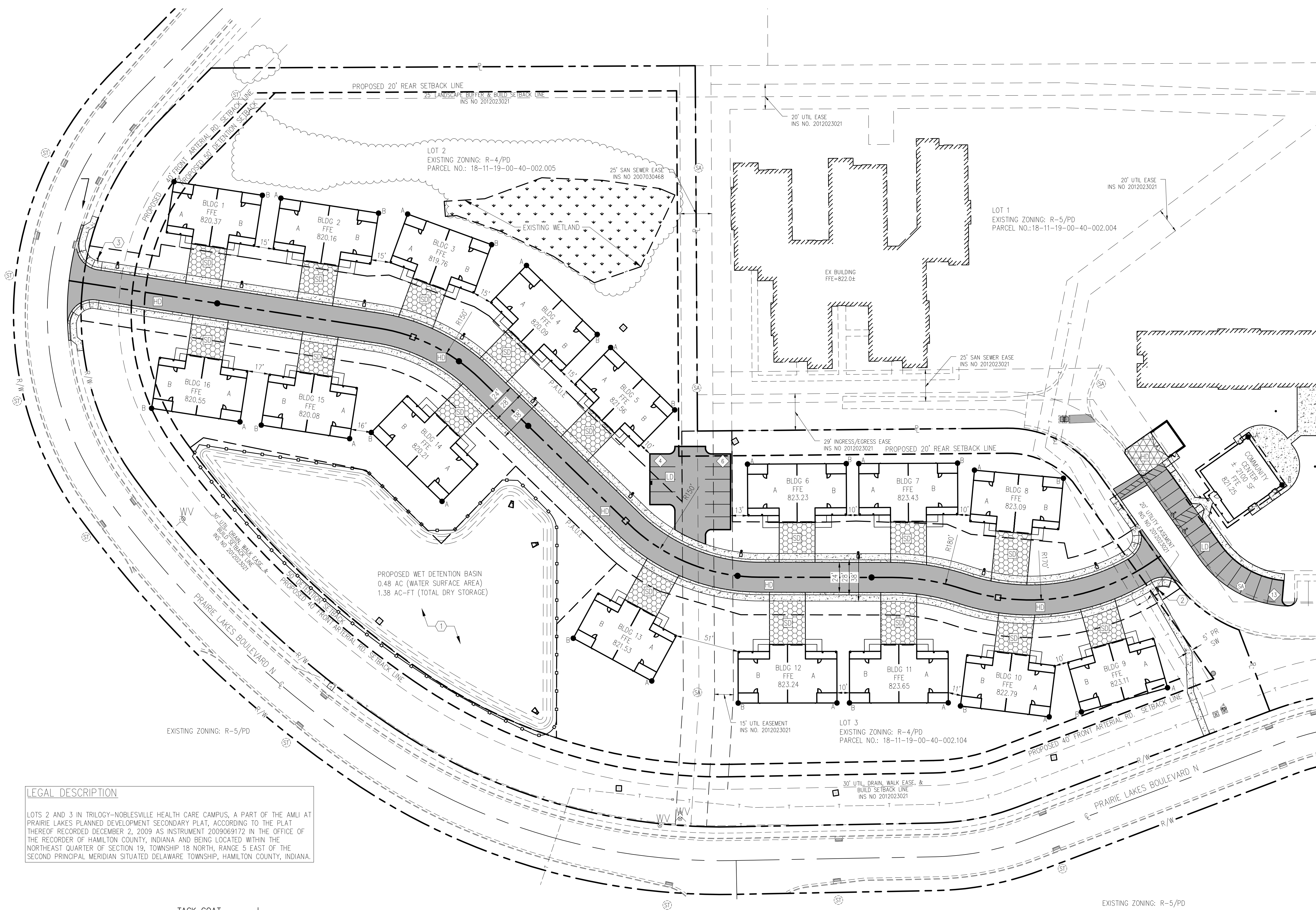
**SOIL MAP UNIT LEGEND**

MAP UNIT SYMBOL	MAP UNIT NAME	ACRES IN AOI	PERCENT OF AOI
Ucfa	URBAN LAND-CROSBY SILT LOAM COMPLEX, FINE LOAMY SUBSOIL, 0 - 2% SLOPE	4.4	53.5%
Ybva	BROOKSTON SILTY CLAY LOAM-URBAN LAND COMPLEX, 0 - 2% SLOPES	3.8	46.5%
TOTALS FOR AREA OF INTEREST		8.1	100%

**PRELIMINARY  
NOT FOR CONSTRUCTION**

<p>DESCRIPTION PRELIMINARY DEVELOPMENT PLAN</p>	<p>BY DAB</p>	<p>DATE 08/20/2024</p>	<p>NO. 1</p>
<p><b>Mannik Smith Group</b> 2060 CHAGRIN BLVD. SHAKER HEIGHTS, OH 44122 TEL: 216.378.1490 FAX: 216.378.1497 www.MannikSmithGroup.com</p>			
<p>PREPARED FOR: <b>TRILOGY HEALTH SERVICES, LLC.</b> 303 N. HURSTBOURNE PARKWAY SUITE 200 LOUISVILLE, KY 40222</p>			
<p><b>PATIO HOMES AT PRAIRIE LAKES NOBLESVILLE</b></p>			
<p>PROJECT DATE: AUG 2024 PROJECT NO.: T1730034 DRAWN BY: DAB CHECKED BY: RAD</p>		<p>EXISTING CONDITION AND DEMOLITION PLAN</p>	
2		8	





**PROPOSED SITE LAYOUT LEGEND**

- LIGHT DUTY ASPHALT PAVEMENT PER DETAIL
- HEAVY DUTY ASPHALT PAVEMENT PER DETAIL
- STANDARD DUTY CONCRETE PAVEMENT PER DETAIL
- HEAVY DUTY CONCRETE PAVEMENT PER DETAIL
- CONCRETE SIDEWALK PER DETAIL
- CODED NOTES
- PROPOSED PARKING SPACES
- BUILDING IDENTIFICATION
- COGO POINT
- DECORATIVE FENCE
- LIGHT POLE
- SIGN
- HANDI-CAP PARKING SYMBOL
- PRIVATE ACCESS AND UTILITY EASEMENT
- EMERGENCY FLOOD ROUTING

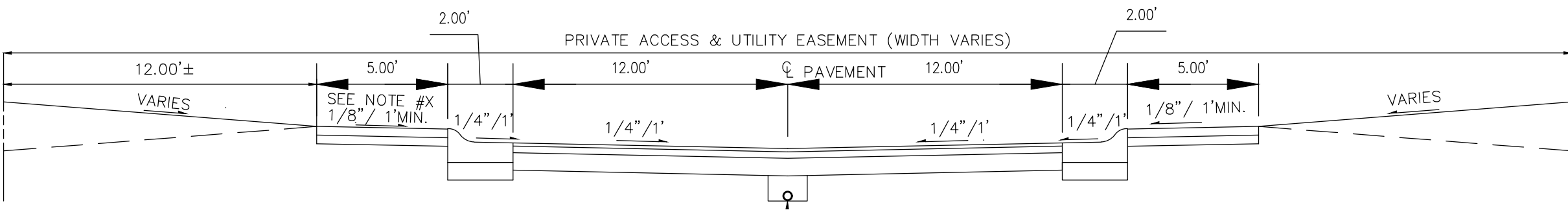
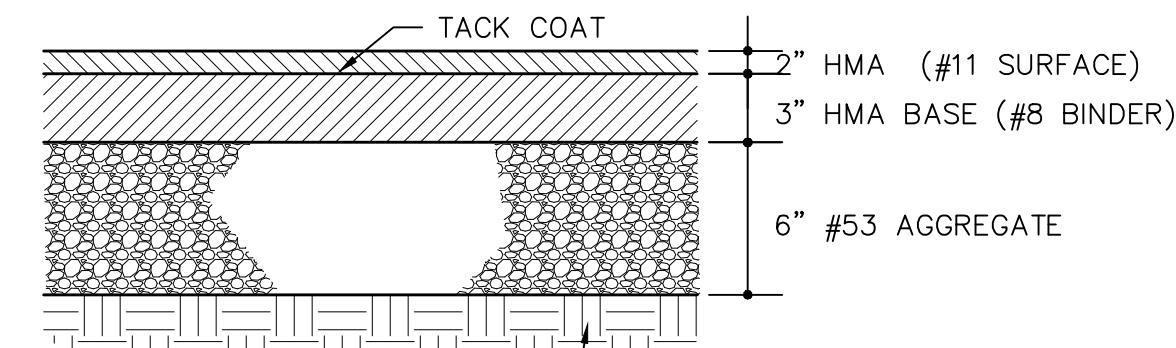
**GENERAL NOTES:**

1. PRIVATE ACCESS DRIVE TO BE CONSTRUCTED AND MAINTAINED BY PROPERTY OWNER.
2. A MINIMUM OF 10' OUTSIDE WALL TO OUTSIDE WALL MUST BE MAINTAINED BETWEEN PATIO HOMES.
3. UNLESS APPROVED OTHERWISE BY HSEU, FINAL PAD ELEVATIONS FOR LOTS IN THIS DEVELOPMENT CANNOT EXCEED THOSE SHOWN HEREON BY MORE THAN FIVE TENTHS (0.5) FOOT.

**CODED NOTES:**

- ① CONTRACTOR TO INSTALL FOUNTAINS IN DETENTION BASIN.
- ② CONTRACTOR TO INSTALL STOP SIGN (R1-1)

**LEGAL DESCRIPTION**  
 LOTS 2 AND 3 IN TRILOGY-NOBLESVILLE HEALTH CARE CAMPUS, A PART OF THE AMU AT PRAIRIE LAKES PLANNED DEVELOPMENT SECONDARY PLAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 2, 2009 AS INSTRUMENT 2009069172 IN THE OFFICE OF THE RECORDER OF HAMILTON COUNTY, INDIANA AND BEING LOCATED WITHIN THE NORTHEAST QUARTER OF SECTION 19, TOWNSHIP 18 NORTH, RANGE 5 EAST OF THE SECOND PRINCIPAL MERIDIAN SITUATED DELAWARE TOWNSHIP, HAMILTON COUNTY, INDIANA.



BUILDING SCHEDULE	BUILDING #
1 BEDROOM	1, 3, 5, 8-10, 15-16
2 BEDROOM	2, 4, 6-7, 11-14
COMMUNITY CENTER	COMMUNITY CENTER

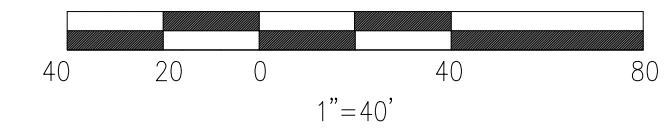
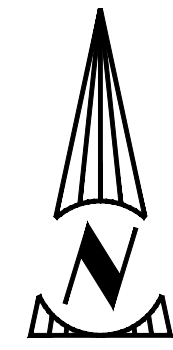
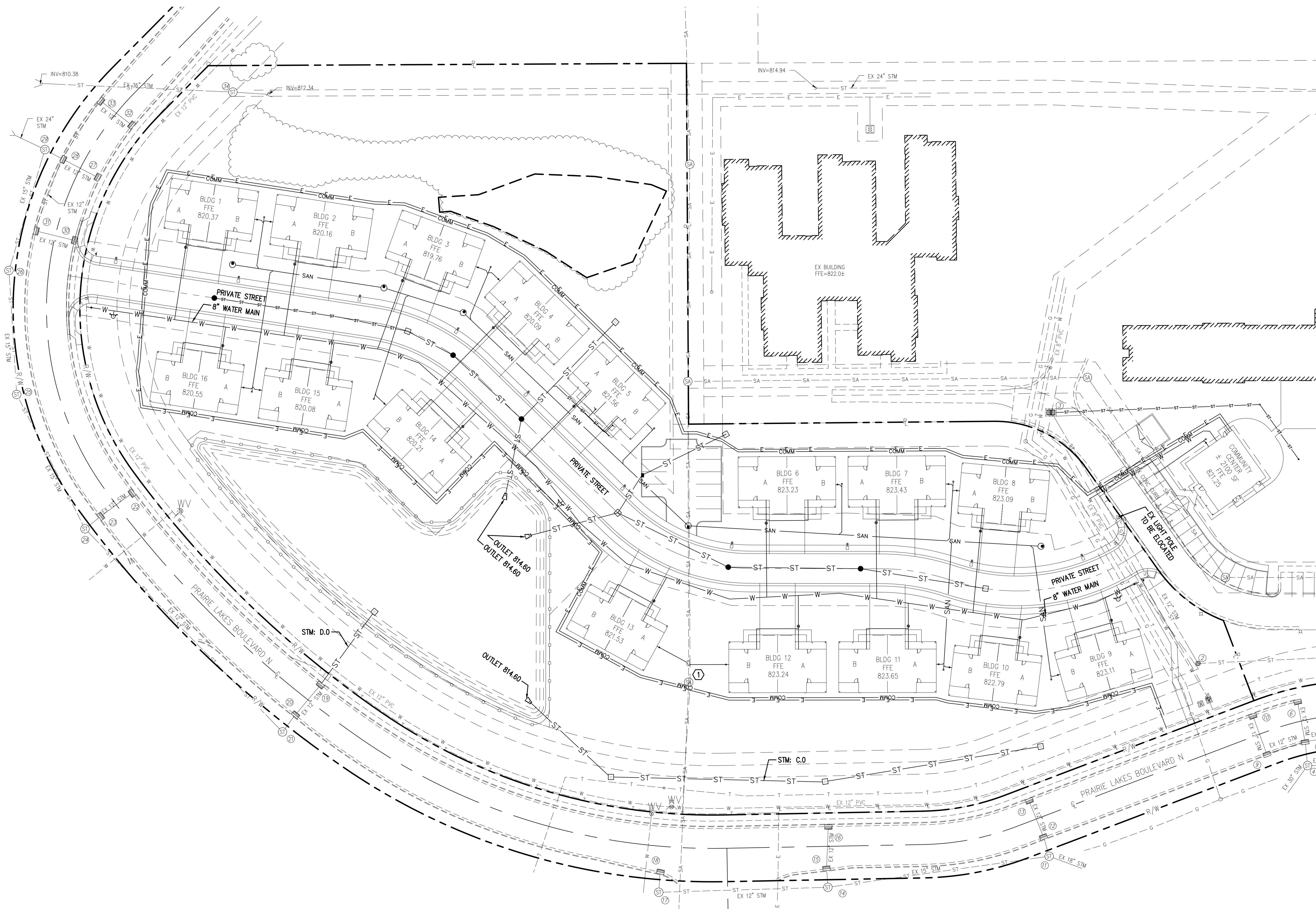
BUILDING LOCATION		
BLDG #	POINT A	POINT B
1	N: 1730501.96 E: 234855.28	N: 1730491.12 E: 234925.87
2	N: 1730488.81 E: 234940.71	N: 1730476.83 E: 235018.71
3	N: 1730476.12 E: 235041.93	N: 1730451.67 E: 235109.03
4	N: 1730435.03 E: 235136.92	N: 1730379.94 E: 235193.43
5	N: 1730369.48 E: 235204.18	N: 1730319.63 E: 235255.32
6	N: 1730276.25 E: 235313.47	N: 1730276.64 E: 235392.38
7	N: 1730276.69 E: 235402.38	N: 1730277.08 E: 235481.30
8	N: 1730271.47 E: 235494.79	N: 1730264.98 E: 235565.91
9	N: 1730097.57 E: 235649.07	N: 1730078.24 E: 235580.32
10	N: 1730074.30 E: 235554.52	N: 1730083.03 E: 235483.63
11	N: 1730085.54 E: 235473.87	N: 1730085.45 E: 235394.95
12	N: 1730085.43 E: 235384.95	N: 1730085.34 E: 235306.03
13	N: 1730102.98 E: 235237.02	N: 1730137.12 E: 235174.30
14	N: 1730246.52 E: 235069.44	N: 1730301.60 E: 235012.93
15	N: 1730296.61 E: 234995.61	N: 1730307.45 E: 234925.02
16	N: 1730310.06 E: 234907.99	N: 1730320.90 E: 234837.40

**PRELIMINARY  
NOT FOR CONSTRUCTION**

DESCRIPTION	PRELIMINARY DEVELOPMENT PLAN
BY	DAB
DATE	08/20/2024
NO.	1
PREPARED FOR:	TRILGY HEALTH SERVICES, LLC.
PROJECT NO.:	T1730034
DRAWN BY:	DAB
CHECKED BY:	RAD
PROJECT DATE:	AUG 2024
PROJECT NO.:	T1730034
DRAWN BY:	DAB
CHECKED BY:	RAD
PROJECT NAME:	PATIO HOMES AT PRAIRIE LAKES NOBLESVILLE
SHEET NO.:	3
TOTAL SHEETS:	8

**Mannik Smith GROUP**  
 20600 CHAGRIN BLVD.  
 SHAKER HEIGHTS, OH 44122  
 TEL: 216.378.1492  
 FAX: 216.378.1497  
[www.MannikSmithGroup.com](http://www.MannikSmithGroup.com)





**PROPOSED UTILITIES LEGEND**

- ST— PROPOSED STORM SEWER
- SAN— PROPOSED SANITARY SEWER
- W— PROPOSED WATER LINE
- E— PROPOSED ELECTRIC SERVICE
- COMM— PROPOSED TELECOM. SERVICE
- G— PROPOSED GAS LINE
- — — PROPOSED UNDERDRAIN
- (with center dot) MANHOLE
- (with center dot) CATCH BASIN, FINGER DRAINS WHERE SHOWN ON PLANS
- (with center dot) YARD DRAIN
- (with center dot) STORM MANHOLE
- (with center dot) CLEAN OUT
- (with center dot) FIRE HYDRANT
- (with center dot) WATER VALVE
- (with center dot) FIRE DEPARTMENT CONNECTION
- (with center dot) PROPOSED UTILITY POLE
- (with center dot) OUTLET CONTROL STRUCTURE
- (with center dot) UTILITY CODED NOTE

**GENERAL NOTES:**

1. CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY ONSITE AND OFFSITE ITEMS DAMAGED DURING CONSTRUCTION IN THE SAME WAY OR BETTER CONDITION THAN THEY WERE PRIOR TO CONSTRUCTION.

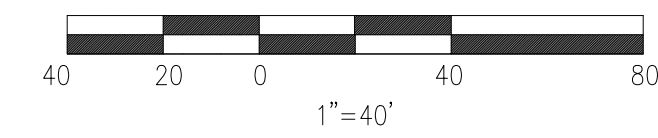
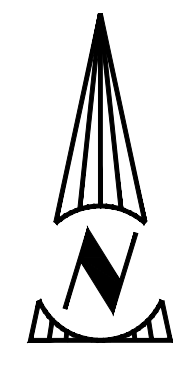
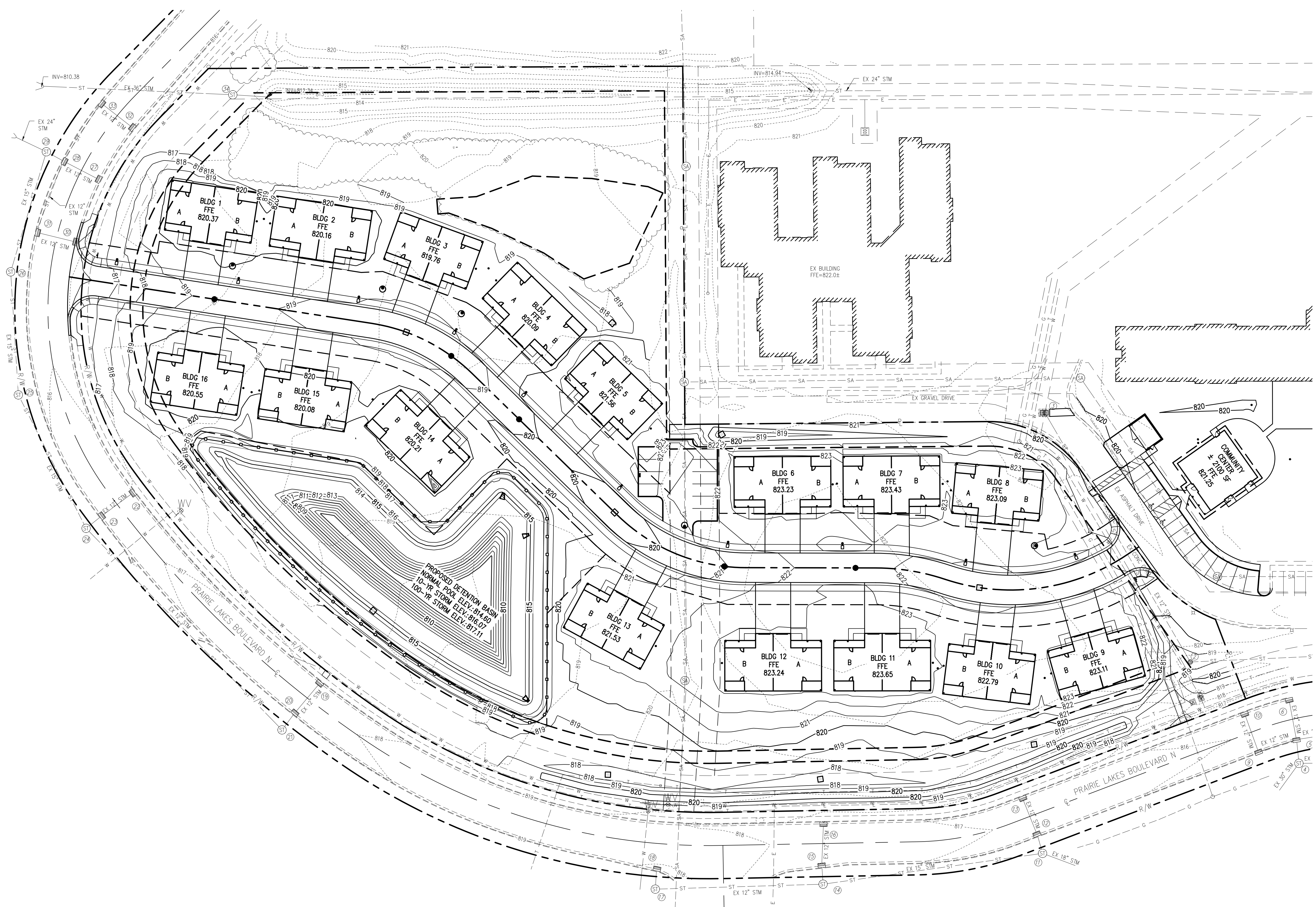
**CODED NOTES:**

- ① CONTRACTOR SHALL REMOVE AND INSTALL SOLID HAMILTON KENT TRAFFIC RATED CASTING. SUBMIT SHOP DRAWINGS TO ENGINEER PRIOR TO ORDERING.

	DESCRIPTION	PRELIMINARY DEVELOPMENT PLAN
BY	DAB	
DATE	08/20/2024	
NO.	1	
TECHNICAL SKILL: <b>CREATIVE SPIRIT.</b> 20600 CHAGRIN BLVD. SHAKER HEIGHTS, OH 44122 TEL: 216.378.1490 FAX: 216.378.1497 www.MannikSmithGroup.com		
PREPARED FOR:	TRILogy HEALTH SERVICES, LLC.	
<b>PATIO HOMES AT PRAIRIE LAKES NOBLESVILLE</b>		
PROJECT DATE:	AUG 2024	
PROJECT NO.:	T1730034	
DRAWN BY:	DAB	
CHECKED BY:	RAD	
OVERALL UTILITY PLAN		
4	8	

PRELIMINARY  
NOT FOR CONSTRUCTION





**PROPOSED GRADING LEGEND**

- 819 — PROP. INTERMEDIATE CONTOUR
- 820 — PROP. INDEX CONTOUR
- 819 --- EXISTING INTERMEDIATE CONTOURS
- 820 --- EXISTING INDEX CONTOURS
- S1 — PROPOSED SLOPE INDICATOR
- R/V — RIDGE, VALLEY, OR GRADE BREAK AS INDICATED
- 0.00% — PAVT/SWALE SLOPE PERCENT
- R — RUNOFF FLOW DIRECTION
- 000.00 — PROPOSED SPOT ELEVATION
- 000.00 — EXISTING SPOT ELEVATION
- TC — TOP OF CURB
- BC — BOTTOM OF CURB
- HP — HIGH POINT
- LP — LOW POINT
- EX. — MEET EXISTING PAVEMENT GRADE
- RIM — STRUCTURE RIM
- FG — FINISH GRADE
- FFE — FINISH FLOOR ELEVATION
- S — SWALE CENTERLINE
- Ⓜ — GRADING CODED NOTE

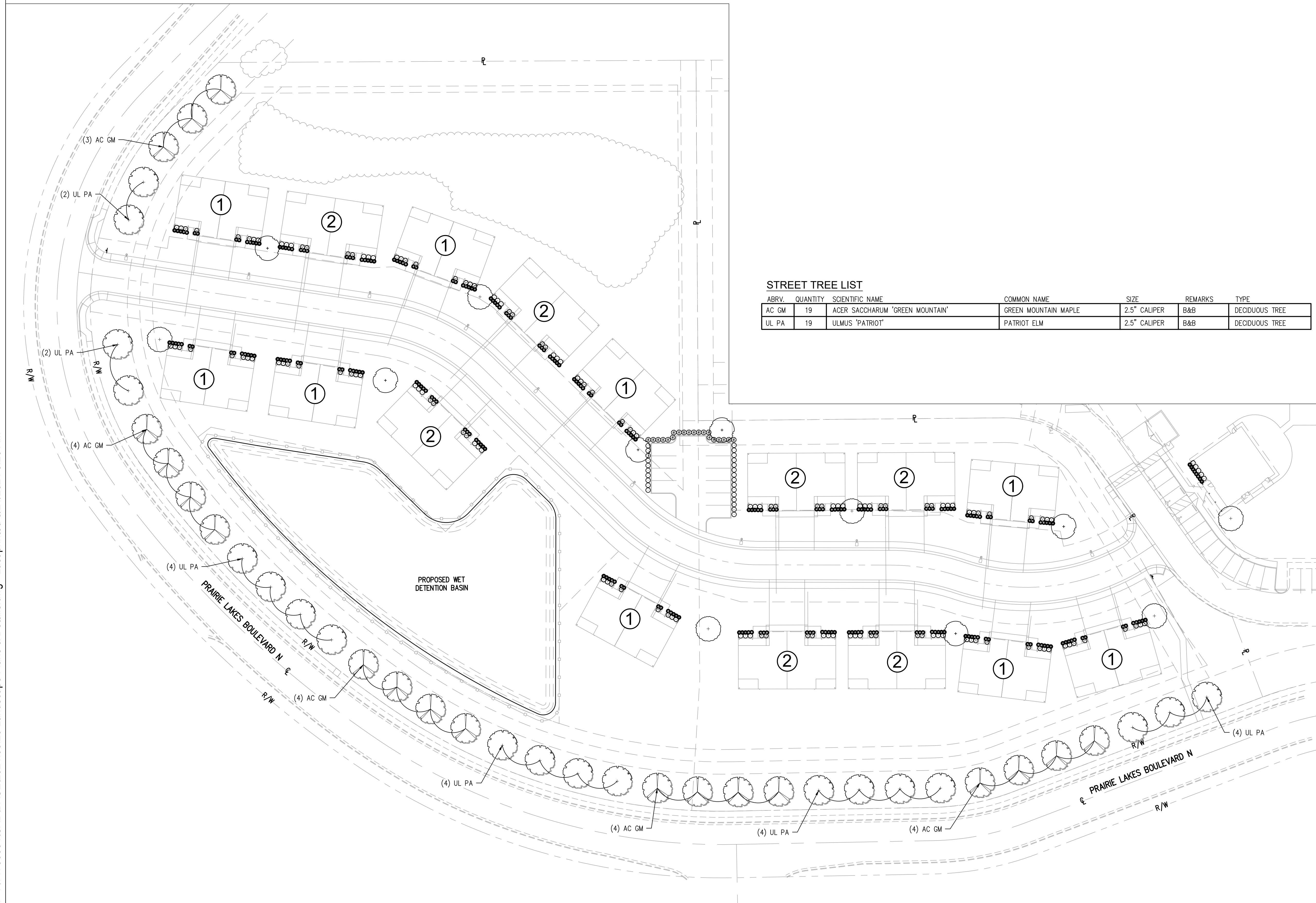
**GENERAL NOTES:**

1. CONTRACTOR SHALL INSTALL PROPOSED ROAD FLUSH WITH EXISTING PRAIRIE LAKES BLVD. N.
2. CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY ONSITE AND OFFSITE ITEMS DAMAGED DURING CONSTRUCTION IN THE SAME WAY OR BETTER CONDITION THAN THEY WERE PRIOR TO CONSTRUCTION.
3. THE EXISTING TOPOGRAPHY SHOWN ON THESE PLANS IS THE SURVEY OF RECORD FOR THIS PROJECT. SHOULD THE CONTRACTOR TAKE EXCEPTION TO THE EXISTING TOPOGRAPHY AS SHOWN IN THESE PLANS THEY SHALL SUBMIT A TOPOGRAPHIC SURVEY PREPARED BY A REGISTERED PROFESSIONAL SURVEYOR DOCUMENTING THEIR EXCEPTION PRIOR TO THE INITIATION OF ANY EARTH MOVING ACTIVITIES. OTHERWISE THE TOPOGRAPHY CONTAINED WITHIN THESE PLANS IS ACCEPTED BY THE CONTRACTOR AND DEEMED ACCURATE FOR ALL GRADING AND SOILS MANAGEMENT ISSUES.
4. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTING THE LINES AND GRADES ILLUSTRATED WITHIN THIS PLAN SET. THE CONTRACTOR IS TO INCLUDE ALL SOILS IMPORT OR EXPORT NECESSARY TO ATTAIN THE LINES AND GRADES ILLUSTRATED HEREIN WITHIN THE BASE BID OF THIS PROJECT WITH NO ADDITIONAL COST FOR SOILS IMPORT OR EXPORT.
5. UNLESS APPROVED OTHERWISE BY HSEU, FINAL PAD ELEVATIONS FOR LOTS IN THIS DEVELOPMENT CANNOT EXCEED THOSE SHOWN HEREON BY MORE THAN FIVE TENTHS (0.5) FOOT.

DESCRIPTION	PRELIMINARY DEVELOPMENT PLAN
BY	DAB
DATE	08/20/2024
NO.	1
PREPARED FOR: <b>TRILOGY HEALTH SERVICES, LLC.</b> 303 N. HURSTBOURNE PARKWAY SUITE 200 LOUISVILLE, KY 40222	TECHNICAL SKILL: <b>CREATIVE SPIRIT.</b> 2080 CHAGRIN BLVD. SHAKER HEIGHTS, OH 44122 TEL: 216.378.1480 FAX: 216.378.1487 www.MannikSmithGroup.com
PROJECT DATE:	AUG 2024
PROJECT NO.:	T1730034
DRAWN BY:	DAB
CHECKED BY:	RAD
<p style="text-align: center;"><b>OVERALL GRADING PLAN</b></p>	<p style="text-align: center;"><b>PATIO HOMES AT PRAIRIE LAKES NOBLESVILLE</b></p>
5	8

PRELIMINARY  
NOT FOR CONSTRUCTION



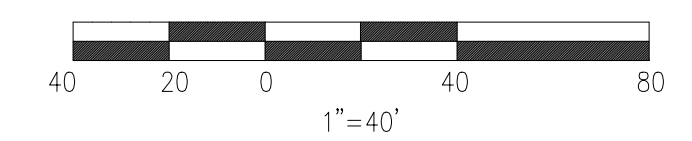
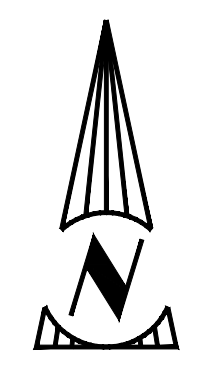


**STREET TREE LIST**

ABRV.	QUANTITY	SCIENTIFIC NAME	COMMON NAME	SIZE	REMARKS	TYPE
AC GM	19	ACER SACCHARUM 'GREEN MOUNTAIN'	GREEN MOUNTAIN MAPLE	2.5" CALIPER	B&B	DECIDUOUS TREE
UL PA	19	ULMUS 'PATRIOT'	PATRIOT ELM	2.5" CALIPER	B&B	DECIDUOUS TREE

**GENERAL NOTES:**

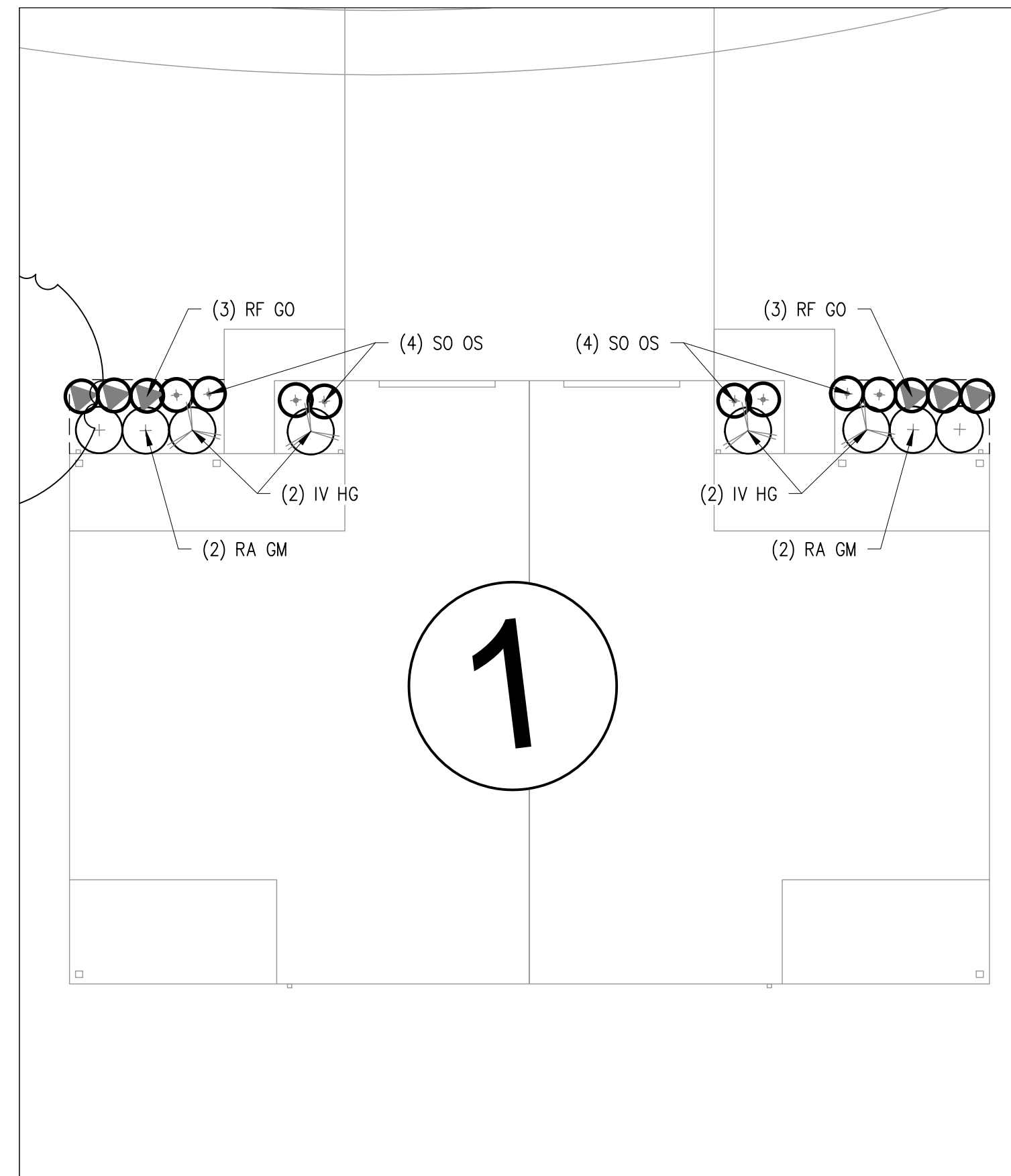
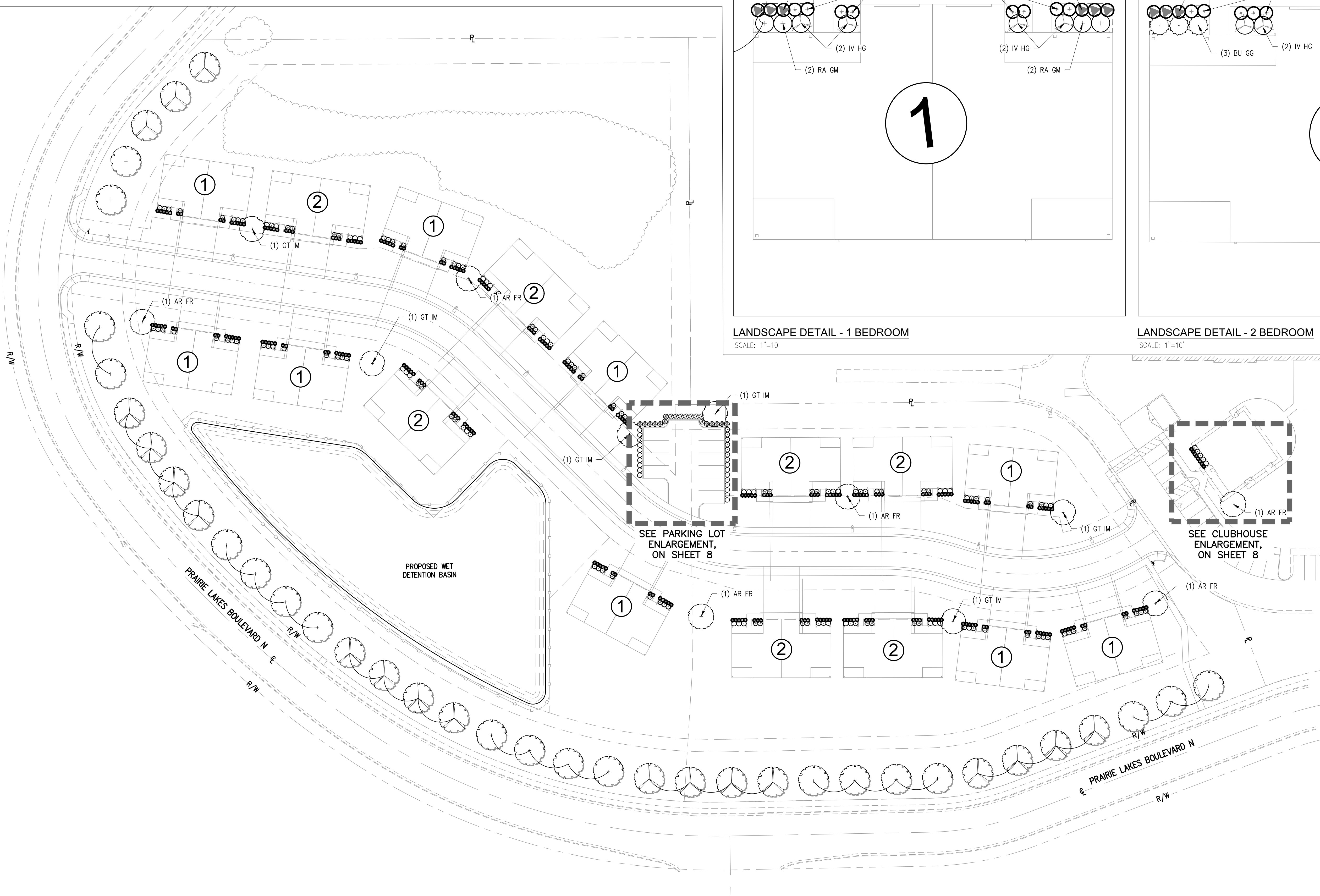
1. PRIOR TO THE INSTALLATION OF LANDSCAPING, LANDSCAPING CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION MEETING WITH SAMCO, THE CONSTRUCTION MANAGER AND ANY OTHER AFFECTED PARTY TO DISCUSS PROPER SEPARATIONS FROM THE SANITARY SEWER FACILITIES.
2. OWNER MAY PLACE OR PERMIT TO BE PLACED ANY TREES OR OTHER DEEP ROOTED LANDSCAPING WITH SEPARATION AS SPECIFIED IN THE CURRENT HSEU APPROVED TREE LIST. FOR TREES NOT LISTED IN THE HSEU APPROVED TREE LIST A MINIMUM SEPARATION OF TEN (10) FOOT HORIZONTAL DISTANCE FROM THE LATERALS OR ANY OTHER SANITARY SEWER FACILITIES (AS MEASURED FROM THE DRIP LINE OF THE MATURE TREE TO THE CENTER OF SANITARY SEWER FACILITIES) MUST BE MAINTAINED. ANY TREES OR LANDSCAPING PLACED WITHIN EASEMENTS OR RIGHT-OF-WAYS ARE AT RISK OF BEING DAMAGED OR REMOVED BY HSEU WITHOUT THE OBLIGATION OF REPLACEMENT.
3. THE TOE OF SLOPE OF EARTHEN MOUNDING CANNOT BE PLACED WITHIN TEN (10) FEET HORIZONTAL DISTANCE OF SANITARY SEWER MAINS, LATERALS OR MANHOLES.
4. RETAINING/DECORATIVE/ENTRANCE WALLS CANNOT BE PLACED WITHIN TEN (10) FEET HORIZONTAL DISTANCE OF SANITARY SEWER MAINS, LATERALS OR MANHOLES.
5. HEIGHT OR CALIPER INDICATED FOR ALL PLANTINGS ARE TO BE THE SIZE AT PLANTING.



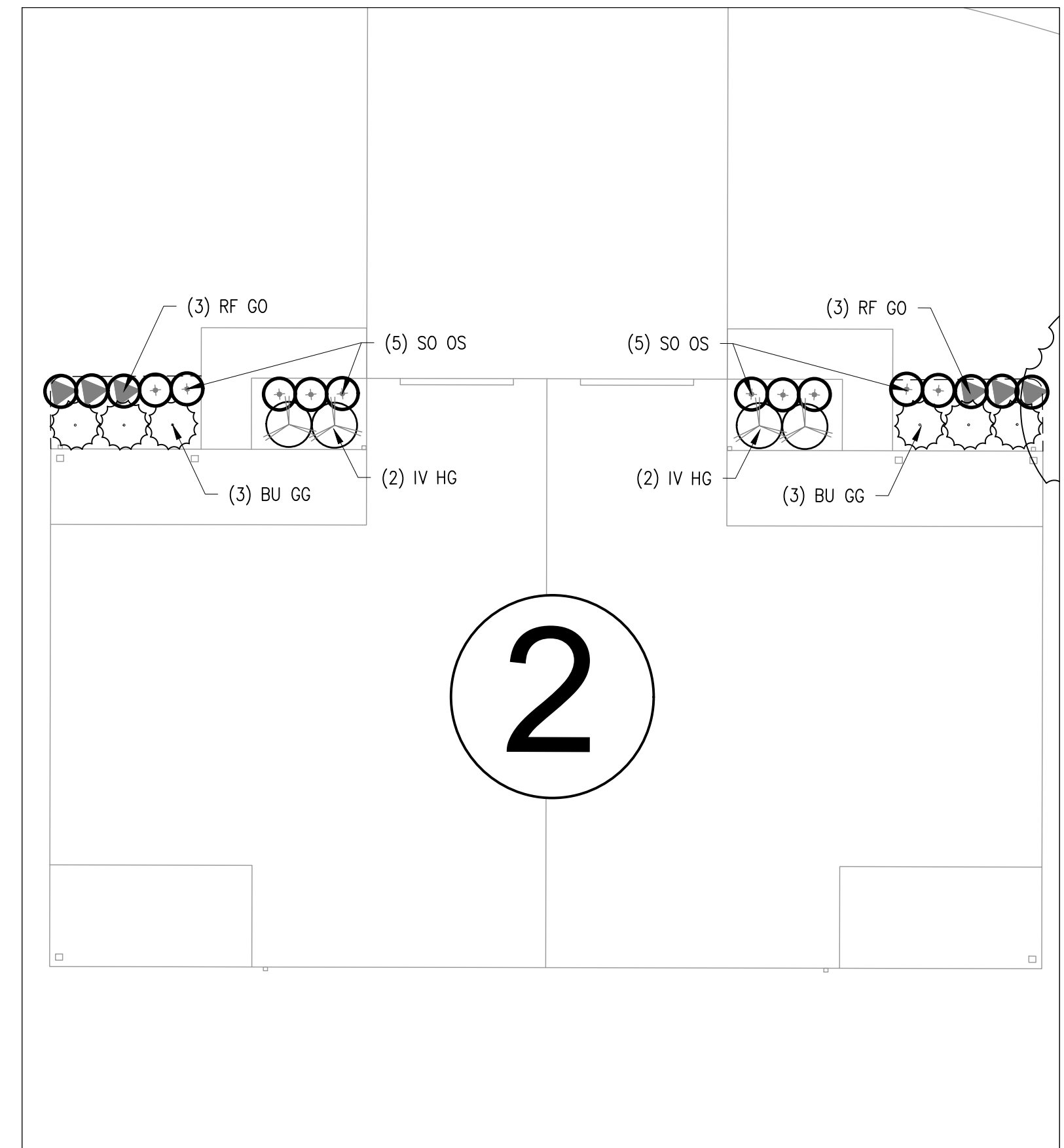
NO.	DATE	BY	DESCRIPTION
1	08/20/2024	DAB	PRELIMINARY DEVELOPMENT PLAN
PREPARED FOR: <b>TRILOGY HEALTH SERVICES, LLC.</b> 303 N. HURSTBOURNE PARKWAY SUITE 200 LOUISVILLE, KY 40222			
<b>PATIO HOMES AT PRAIRIE LAKES NOBLESVILLE</b>			
PROJECT DATE:		AUG 2024	
PROJECT NO.:		T1730034	
DRAWN BY:		DAB	
CHECKED BY:		RAD	
<b>STREET TREE PLAN</b>			
6			8

**BUILDING LANDSCAPE PLANT LIST**

ABRV.	QUANTITY	SCIENTIFIC NAME	COMMON NAME	SIZE	REMARKS	TYPE
AR FR	6	ACER RUBRUM 'FRANKSRED'	RED SUNSET MAPLE	2.5" CALIPER	B&B	DECIDUOUS TREE
GT IM	6	GLEDITSIA TRIACANTHOS VAR. INERMIS 'IMPCOLE'	IMPERIAL HONEY LOCUST	2.5" CALIPER	B&B	DECIDUOUS TREE
RA GM	36	RIBES ALPINUM 'GREEN MOUND'	GREEN MOUND ALPINE CURRANT	3 GALLON	CONTAINER	DECIDUOUS SHRUB
IV HG	64	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET SWEETSPIRE	3 GALLON	CONTAINER	DECIDUOUS SHRUB
BU GG	20	BUXUS 'GREEN GEM'	GREEN GEM BOXWOOD	3 GALLON	CONTAINER	EVERGREEN SHRUB
TA ME	72	TAXUS MEDIA 'HICKS'	HICK'S YEW	3 GALLON	CONTAINER	EVERGREEN SHRUB
SO OS	146	SYMPHYOTRICHUM OBLONGIFOLIUM 'OCTOBER SKIES'	OCTOBER SKIES AROMATIC ASTER	1 GALLON	CONTAINER	FLOWERING PERENNIAL
RF GO	100	RUDBECKIA FULDIGA 'GOLDSTURM'	GOLDSTURM CONEFLOWER	1 GALLON	CONTAINER	FLOWERING PERENNIAL



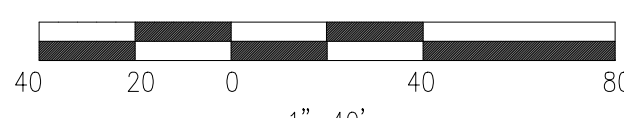
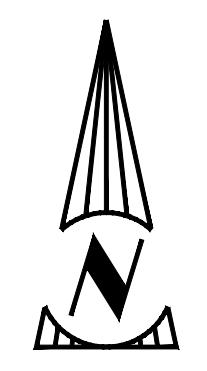
**LANDSCAPE DETAIL - 1 BEDROOM**  
SCALE: 1"=10'



**LANDSCAPE DETAIL - 2 BEDROOM**  
SCALE: 1"=10'

**GENERAL NOTES:**

1. PRIOR TO THE INSTALLATION OF LANDSCAPING, LANDSCAPING CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION MEETING WITH SAMCO, THE CONSTRUCTION MANAGER AND ANY OTHER AFFECTED PARTY TO DISCUSS PROPER SEPARATIONS FROM THE SANITARY SEWER FACILITIES.
2. OWNER MAY PLACE OR PERMIT TO BE PLACED ANY TREES OR OTHER DEEP ROOTED LANDSCAPING WITH SEPARATION AS SPECIFIED IN THE CURRENT HSEU APPROVED TREE LIST. FOR TREES NOT LISTED IN THE HSEU APPROVED TREE LIST A MINIMUM SEPARATION OF TEN (10) FOOT HORIZONTAL DISTANCE FROM THE LATERALS OR ANY OTHER SANITARY SEWER FACILITIES (AS MEASURED FROM THE DRIP LINE OF THE MATURE TREE TO THE CENTER OF SANITARY SEWER FACILITIES) MUST BE MAINTAINED. ANY TREES OR LANDSCAPING PLACED WITHIN EASEMENTS OR RIGHT-OF-WAYS ARE AT RISK OF BEING DAMAGED OR REMOVED BY HSEU WITHOUT THE OBLIGATION OF REPLACEMENT.
3. THE TOE OF SLOPE OF EARTHEN MOUNDING CANNOT BE PLACED WITHIN TEN (10) FEET HORIZONTAL DISTANCE OF SANITARY SEWER MAINS, LATERALS OR MANHOLES.
4. RETAINING/DECORATIVE/ENTRANCE WALLS CANNOT BE PLACED WITHIN TEN (10) FEET HORIZONTAL DISTANCE OF SANITARY SEWER MAINS, LATERALS OR MANHOLES.
5. HEIGHT OR CALIPER INDICATED FOR ALL PLANTINGS ARE TO BE THE SIZE AT PLANTING.



W:\Projects\Projects P-TT1730034\CAD\BASE\2024.08.20 Landscape Plans & Details.dwg - Last printed 8/21/2024 9:26 AM

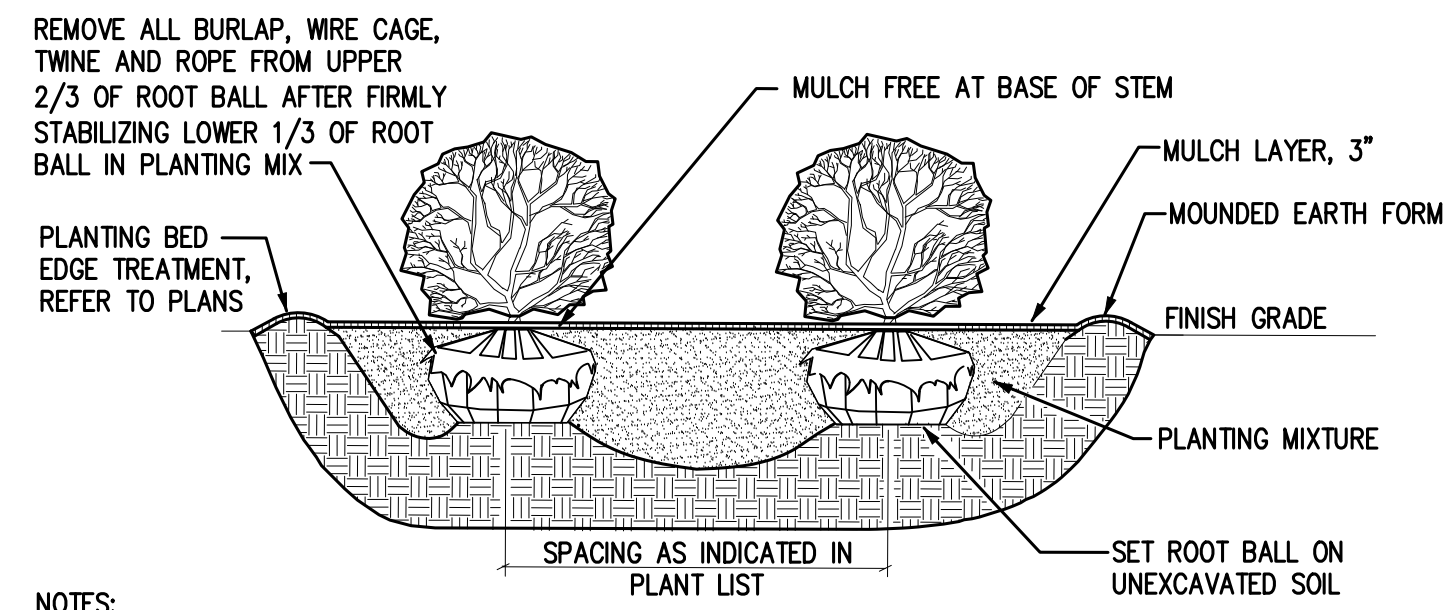
<p>DESCRIPTION PRELIMINARY DEVELOPMENT PLAN</p> <p>BY DAB</p> <p>DATE 08/20/2024</p> <p>NO. 1</p>	<p>TECHNICAL SKILL: CREATIVE SPIRIT.</p> <p>20800 CHAGRIN BLVD. SHAKER HEIGHTS, OH 44122 TEL: 216.378.1490 FAX: 216.378.1497</p> <p><b>Mannik Smith Group</b> www.MannikSmithGroup.com</p>
<p>PREPARED FOR: <b>TRILOGY HEALTH SERVICES, LLC.</b></p>	
<p><b>PATIO HOMES AT PRAIRIE LAKES NOBLESVILLE</b></p>	
<p>PROJECT DATE: AUG 2024 PROJECT NO.: T1730034 DRAWN BY: DAB CHECKED BY: RAD</p>	
<p><b>LANDSCAPE PLAN</b></p>	<p>7</p>
<p>8</p>	



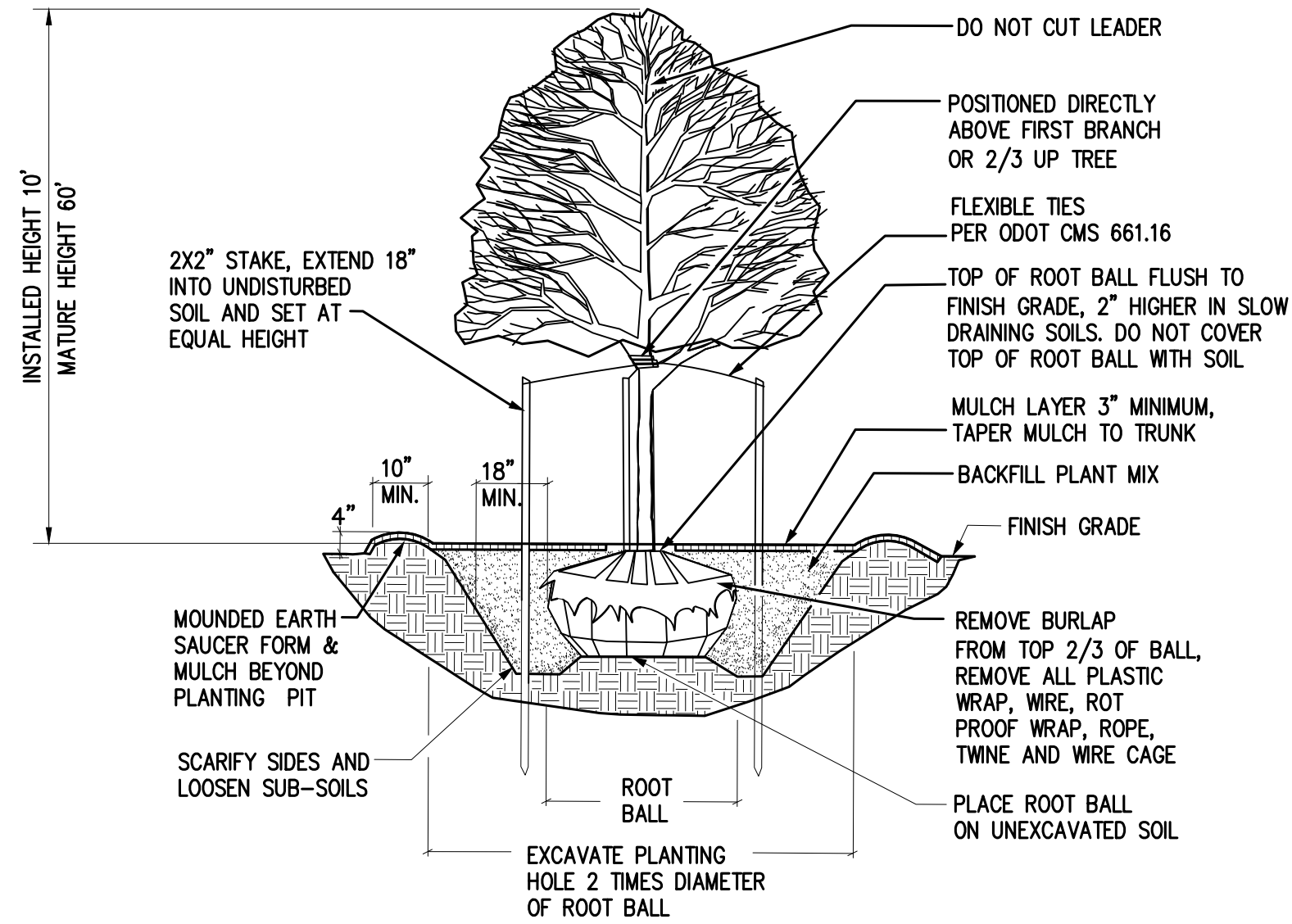
**LANDSCAPE PLAN NOTES**

- THE CONTRACTOR SHALL PROVIDE A ONE YEAR WARRANTY ON ALL PLANTS AND VEGETATION PROPOSED ON THE LANDSCAPING PLAN. ANY TREES, SHRUBS, GROUND COVER OR OTHER VEGETATION PLANTED AS PART OF THIS PROJECT THAT DO NOT SURVIVE ONE YEAR FROM PLANTING SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING AND COORDINATING WITH ALL PERTINENT UTILITY COMPANIES THREE WORKING DAYS IN ADVANCE OF ANY DIGGING. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF ANY UTILITIES.
- REFER TO THE LANDSCAPE PLAN FOR ADDITIONAL NOTES. LANDSCAPE IMPROVEMENTS SHALL CONFORM TO THE LATEST EDITION OF ODOT CONSTRUCTION SPECIFICATIONS.
- ALL PLANTING MATERIALS: SHALL BE PLANTED PER ODOT SPECIFICATIONS. EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE BROKEN, LOW HANGING AND OTHER UNDESIRABLE GROWTH TO ENSURE HEALTHY AND SYMMETRICAL NEW GROWTH.
- PLANTING BEDS. ONE MONTH BEFORE CULTIVATION AND AFTER DAYTIME TEMPERATURES HAVE WARMED TO 60° CONSISTENTLY, TREAT ALL PLANTING BEDS THAT ARE TO BE DEVELOPED IN AREAS OF EXISTING TURF WITH PRE-EMERGENT AND POST-EMERGENT TYPE HERBICIDES. USE A STATE-LICENSED PESTICIDE APPLICATOR TO APPLY THE HERBICIDE. REPEAT HERBICIDE APPLICATION TWO WEEKS LATER AND UNTIL ALL HERBACEOUS MATERIALS HAVE BEEN KILLED. BEFORE PLANTING, TOP DRESS ALL PLANTING BEDS WITH A MINIMUM OF 6 INCHES OF BACKFILL MIX, THEN CULTIVATE PLANTING AREA TO A DEPTH OF 6 INCHES USING A PLOW, DISC, OR ROTO-TILLER.
- BACKFILL MIX. FOR ALL PLANTINGS, USE BACKFILL MIX CONSISTING OF THE FOLLOWING:
  - ONE PART EXCAVATED SOIL.
  - ONE PART TOPSOIL.
  - ONE PART EPA RATED CLASS IV COMPOST.
  - A SLOW RELEASE COMMERCIAL FERTILIZER (0-20-20 OR EQUAL) ADDED AT A RATE OF 5 POUNDS PER CUBIC YARD TO THE BACKFILL MIX.
  - IF SOIL AREAS ARE OF HIGH PH (GREATER THAN 6.5), APPLY 1.25 POUNDS OF ELEMENTAL SULFUR PER CUBIC YARD OF BACKFILL MIX. NOTE: CONTRACTOR SHALL SUPPLY A DETAILED SOIL ANALYSIS PRIOR TO ALL PLANT BED PREPARATION. ANALYSIS SHALL INDICATE SOIL PH, TEXTURE, MAJOR NUTRIENTS, SALTS, ETC. SOIL ANALYSIS SHALL BE FROM A REPUTABLE, INDEPENDENT LAB. SOIL AMENDMENTS SHALL BE INCORPORATED INTO BACKFILL/PLANT MIX AS RECOMMENDED BY THE INDEPENDENT LAB.
- MULCH. SMOOTH AND SHAPE THE BACKFILL MIX TO FORM A SHALLOW BASIN SLIGHTLY LARGER THAN THE PLANTING HOLE. MULCH ALL PLANTING AREAS WITH A LAYER OF FINELY SHREDDED HARDWOOD BARK OF UNIFORM TEXTURE & SIZE. PLANTS GROUPED IN MASSES SHALL HAVE THE ENTIRE CONTIGUOUS PLANTING BED OR ISLAND MULCHED. USE SHREDDED HARDWOOD BARK AGED MIN. ONE YEAR. RAKE AND SMOOTH THE ENTIRE AREA OF THE PLANTING BEDS, MULCH TO A DEPTH OF 3 INCHES. AFTER MULCHING AND BEFORE WATERING, ADD A SLOW RELEASE COMMERCIAL FERTILIZER (12-12-12 OR EQUAL), IN GRANULAR FORM, TO THE TOP OF THE MULCH AT A RATE OF 5 POUNDS PER 1000 SQUARE FEET. DO NOT ALLOW FERTILIZER TO CONTACT THE STEMS, BRANCHES, ROOTS OR LEAVES.
- PERIOD OF ESTABLISHMENT. BEFORE FINAL INSPECTION, PLACE ALL PLANTS, SEED ALL LAWNS, AND CARE FOR THEM FOR A PERIOD OF ESTABLISHMENT. THE PERIOD OF ESTABLISHMENT BEGINS IMMEDIATELY UPON COMPLETION OF THE PLANTING OPERATIONS AND CONTINUES UNTIL OCTOBER 1. THE MINIMUM PERIOD OF ESTABLISHMENT IS ONE GROWING SEASON, JUNE 1 THROUGH OCTOBER 1. DURING THE PERIOD OF ESTABLISHMENT, FOLLOW STANDARD HORTICULTURAL PRACTICES TO ENSURE THE VIGOR AND GROWTH OF THE TRANSPLANTED MATERIAL. WATER, REMULCH, RESTAKE, GUY, AND CULTIVATE AS NECESSARY. PERFORM AT LEAST TWO WEEDING AND MOWING PROGRAMS (AROUND TREES, GUY STAKES, SHRUBS, AND BED EDGES) OF SUCH INTENSITY AS TO COMPLETELY RID THE PLANTED AND MULCHED AREAS OF WEEDS AND GRASSES. BEGIN THE FIRST PROGRAM ON OR ABOUT JUNE 15 AND THE SECOND APPROXIMATELY 8 WEEKS LATER. ON OR ABOUT AUGUST 15, THE ENGINEER WILL INSPECT THE PLANTING AND SUPPLY THE CONTRACTOR WITH A LIST OF MISSING AND DEAD PLANTS AND THOSE THAT HAVE DIED BACK BEYOND NORMAL PRUNING LINES. REPLANT AS REQUIRED ACCORDING TO THE SPECIFICATIONS OF THE ORIGINAL MATERIAL. REPLACEMENT PLANTS ARE SUBJECT TO A NEW PERIOD OF ESTABLISHMENT. IMMEDIATELY REPLACE PLANTS PLANTED INITIALLY IN THE FALL THAT HAVE DIED BEFORE THE SPRING PLANTING SEASON. CARE FOR THE REPLACEMENT PLANTS DURING THE NEW ESTABLISHMENT PERIOD.
- RESTORATION OF DISTURBED AREAS FOR NEW LAWN: ALL DISTURBED AREAS NOT COVERED BY BUILDING, PAVEMENT OR LANDSCAPE PLANTING BEDS SHALL BE PREPARED FOR GRASS SEED AND SEEDED. LOOSEN RUTS AND WORK THE SOIL AREAS TO A MINIMUM OF 6" DEEP PRIOR TO FINE GRADING AND SEEDING WORK. AREAS TO RECEIVE GRASS SEED SHALL HAVE A MIN. 4" TOPSOIL PLACED, SEEDED AND A STRAW/MULCH BLANKET COVER PLACED OVER THE SEEDED AREAS PER ODOT SPECIFICATIONS. FERTILIZE WITH ONE POUND OF ACTUAL NITROGEN PER 1000 SQUARE FEET WITH A SLOW RELEASE COMMERCIAL STARTER FERTILIZER (LESCO 18-24-12 OR EQUAL).
- LANDSCAPE TREES, SHRUBS AND PERENNIAL WATERING: THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, DELIVERING, APPLYING, MEASURING AND SCHEDULING A SUFFICIENT AMOUNT OF WATER NECESSARY TO KEEP EACH PLANT IN A HEALTHY GROWING CONDITION THROUGHOUT THE PERIOD OF ESTABLISHMENT. THE CONTRACTOR SHALL APPLY 1" OF WATER PER WEEK TO ALL NEW PLANTS. THE CONTRACTOR SHALL INSTALL & MAINTAIN SUPPLEMENTAL DRIP WATERING TREE BAGS (SUCH AS 20 GALLON TREE GATOR WATER BAG) TO PROVIDE ADEQUATE, SLOW RELEASE OF WATER. WATER BAGS SHALL BE REMOVED AT THE END OF THE SECOND GROWING SEASON.
- TURF GROUND COVER (SODDING, SEEDING AND SEED MULCHING): ALL SEEDING INSTALLATION SHALL CONFORM TO ODOT SPECIFICATIONS AND NOTE 9 ABOVE. SEED AT 6 LBS/1000 SF WITH THE FOLLOWING SEED MIXTURE:
 

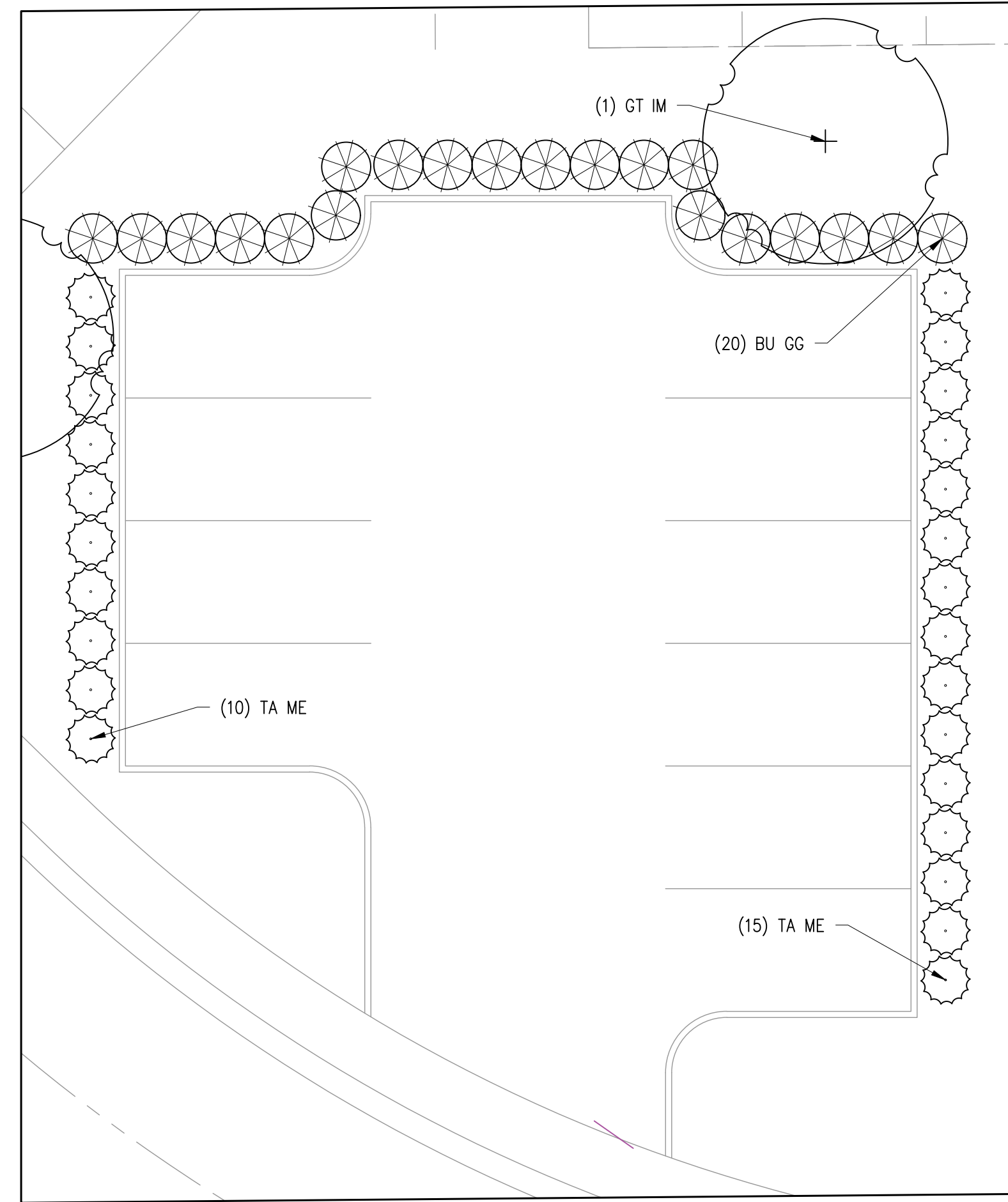
TITAN TALL-TYPE TURF FESCUE	70%
SR 4100 PERENNIAL RYEGRASS	20%
MERIT KENTUCKY BLUEGRASS	10%



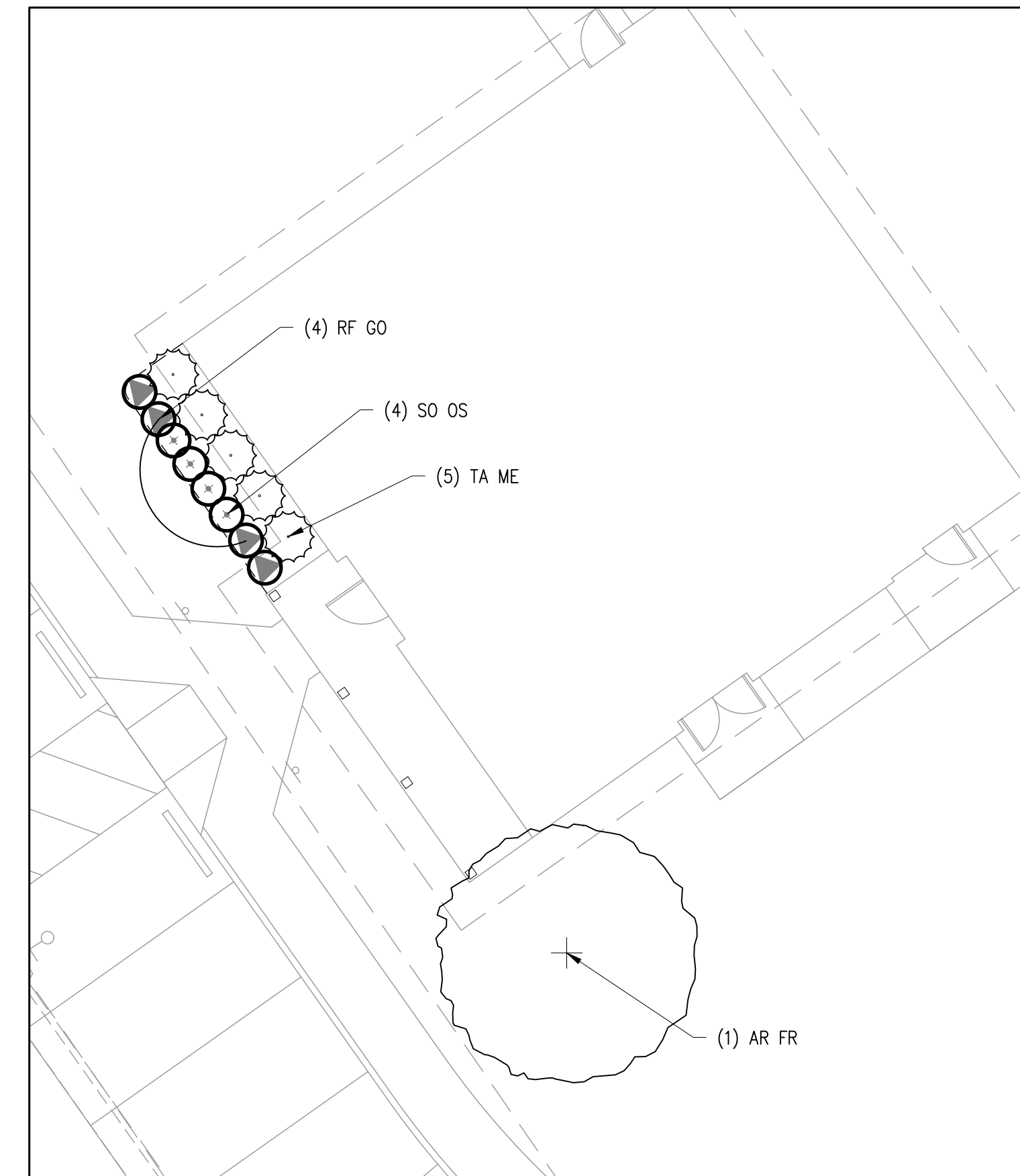
NOTES:  
 ALL SHRUBS PLANTED IN ROWS OR MASSES SHALL BE MATCHED IN SIZE AND FORM.  
 SHRUBS SHALL BEAR SAME RELATION TO FINISH GRADE AS THEY BORE TO EXISTING GRADE IN THE PREVIOUSLY PLANTED CONDITION.  
**MASS SHRUB PLANTING DETAIL (B&B OR CONTAINER)**  
 NO SCALE



**DECIDUOUS TREE PLANTING DETAIL**  
 NO SCALE



**LANDSCAPE DETAIL - PARKING LOT**  
 SCALE: 1"=10'

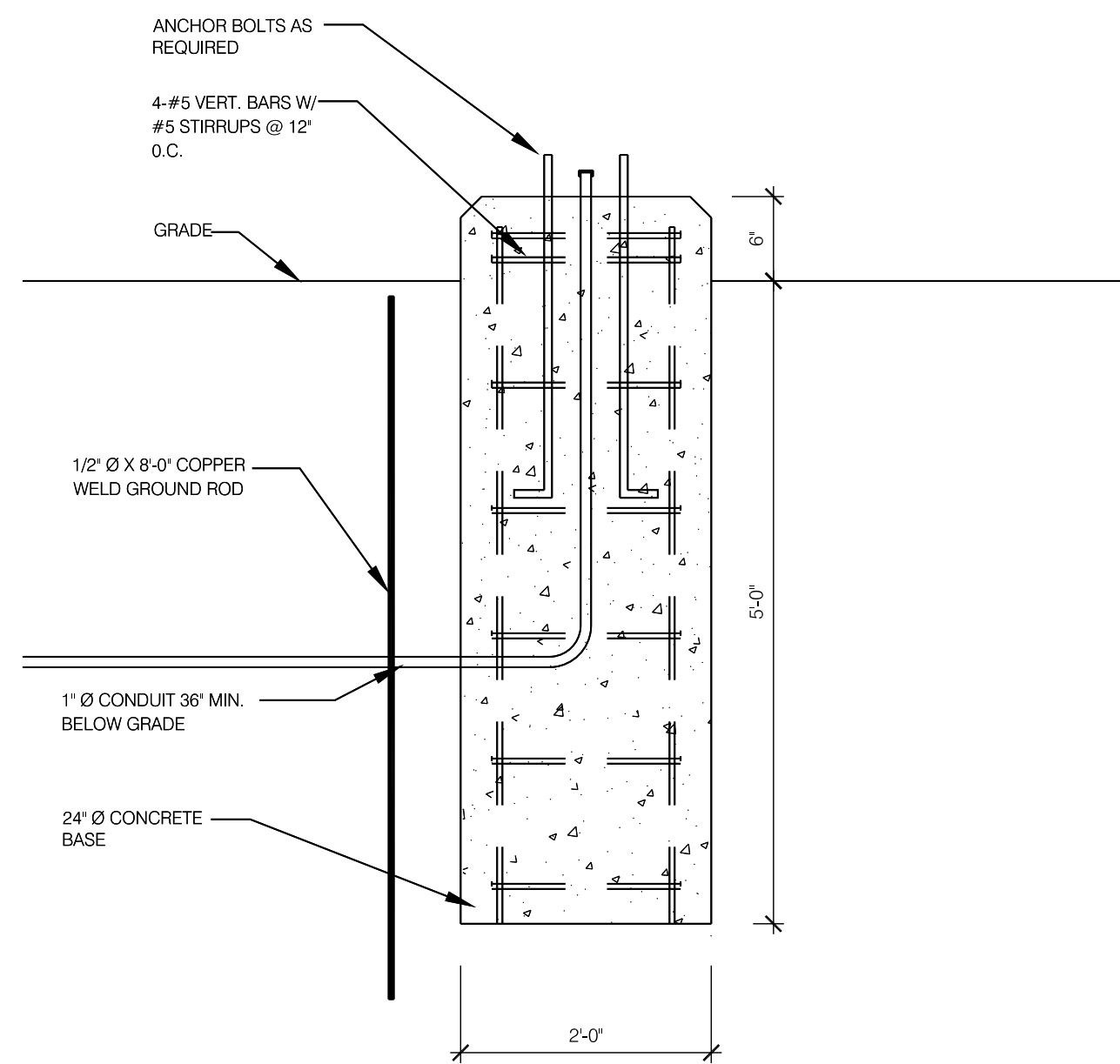


**LANDSCAPE DETAIL - CLUBHOUSE**  
 SCALE: 1"=10'

DESCRIPTION	PRELIMINARY DEVELOPMENT PLAN
BY	DAB
DATE	08/20/2024
NO.	1
<b>Mannik Smith GROUP</b> TECHNICAL SKILL. CREATIVE SPIRIT. 20800 CHAGRIN BLVD. SHAKER HEIGHTS, OH 44122 TEL: 216.378.1490 FAX: 216.378.1497 www.MannikSmithGroup.com	
PREPARED FOR:	TRILogy HEALTH SERVICES, LLC. 303 N. HURSTBOURNE PARKWAY SUITE 200 LOUISVILLE, KY 40222
<b>PATIO HOMES AT PRAIRIE LAKES NOBLESVILLE</b>	
PROJECT DATE:	AUG 2024
PROJECT NO.:	T1730034
DRAWN BY:	DAB
CHECKED BY:	RAD
<b>LANDSCAPE NOTES &amp; DETAILS</b>	
8	5



STATISTICS					
Description	Symbol	Avg.	Min.	Max.	Max/Min.
Zone #1	+	0.3 fc	0.0 fc	2.8 fc	N/A



TYPICAL LIGHT POLE BASE DETAIL  
SCALE: 3/4" = 1'-0"

**LIGHT FIXTURES**

Light fixtures shall be provided as specified below.

- A - Cooper Lighting GLEON-SA1A-740-U-SL2-BK-1 panel LED pole mounted light fixture with (59 watts), 7,254 lumens, 70 CRI, 600ma, 4000K, asymmetrical type II distribution with spill control, black finish, clear lens, 120 volt. Set 20'-0" tall steel square pole, black finish on a concrete base by E.C. See this sheet for concrete base detail and number of fixtures per pole. Dark Sky Compliant.
- B - Cooper Lighting GLEON-SA1A-740-U-SL2-BK-1 panel LED pole mounted light fixture with (59 watts), 6,510 lumens, 70 CRI, 600ma, 4000K, asymmetrical 90° spill light eliminator left distribution, black finish, clear lens, 120 volt. Set 20'-0" tall steel square pole, black finish on a concrete base by E.C. See this sheet for concrete base detail and number of fixtures per pole. Dark Sky Compliant.
- DA - Kichler model #49926QZ; exterior wall mounted LED light fixture, 100 watt equivalent, 972 lumens, 3000K, olive bronze finish, clear water lens. Install top of fixture at 78" a.f.f. Wet location rated.

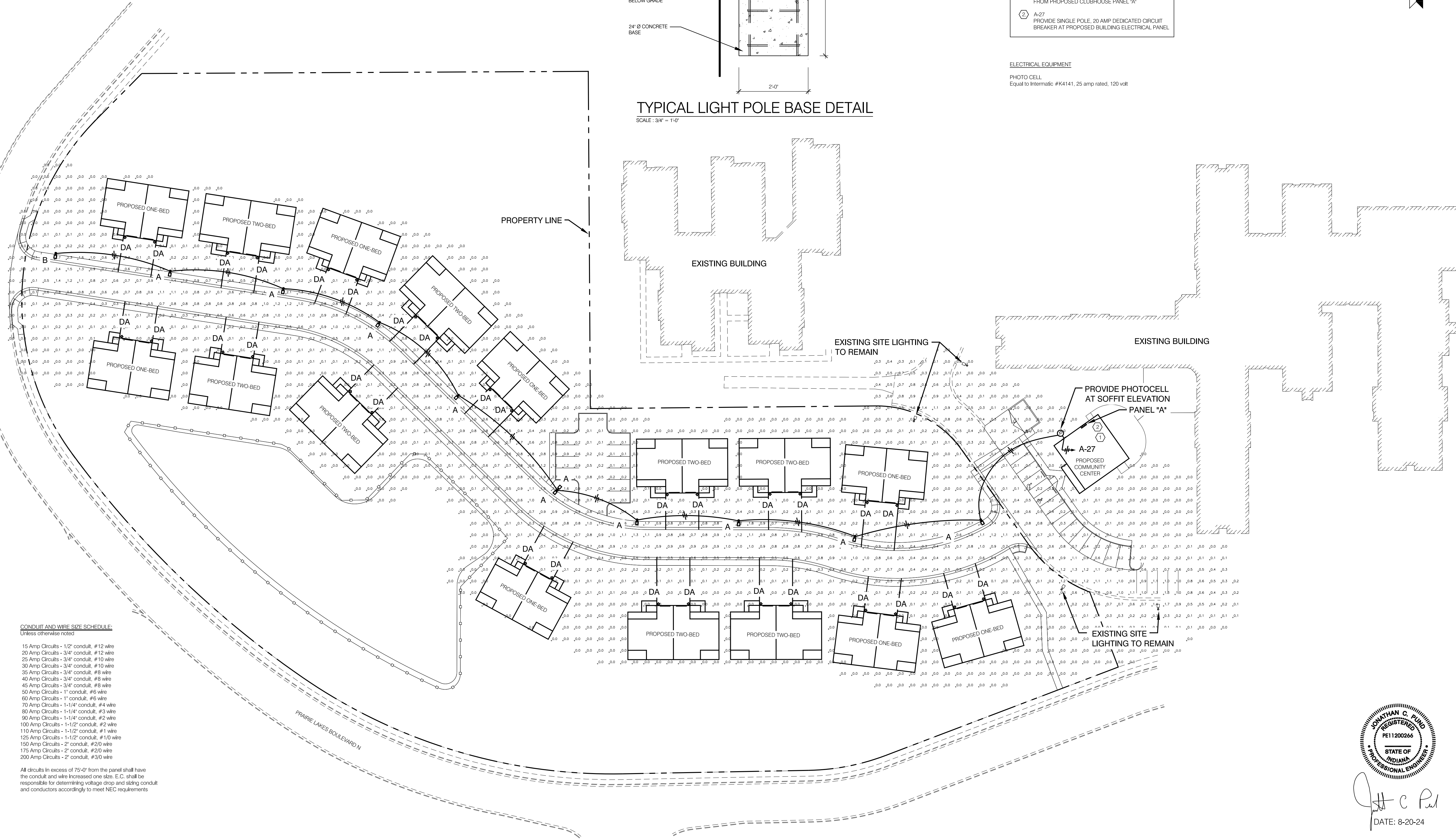
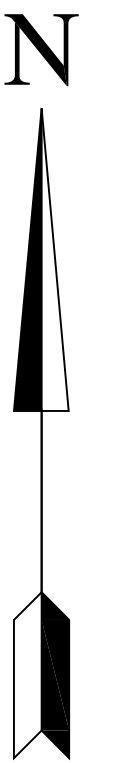
- NOTE:
- ① SITE LIGHTING POWER SUPPLY SHALL BE PROVIDED FROM PROPOSED CLUBHOUSE PANEL 'A'
  - ② A-27 PROVIDE SINGLE POLE, 20 AMP DEDICATED CIRCUIT BREAKER AT PROPOSED BUILDING ELECTRICAL PANEL

**ELECTRICAL EQUIPMENT**

PHOTO CELL  
Equal to Intermatic #K4141, 25 amp rated, 120 volt

**KEY TO PLAN**

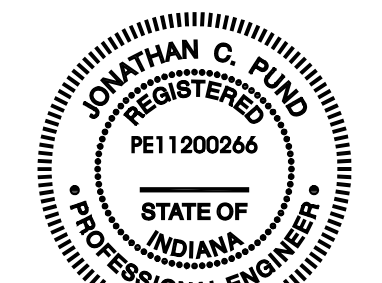
- + 00.00 - FOOT CANDLE READING
- □ - POLE MOUNTED LIGHT FIXTURE
- ⊗ - WALL MOUNTED LIGHT FIXTURE
- ⊠ - RECESSED SOFFIT LIGHT



**CONDUIT AND WIRE SIZE SCHEDULE:**  
Unless otherwise noted

- 15 Amp Circuits - 1/2" conduit, #12 wire
- 20 Amp Circuits - 3/4" conduit, #12 wire
- 25 Amp Circuits - 3/4" conduit, #10 wire
- 30 Amp Circuits - 3/4" conduit, #10 wire
- 35 Amp Circuits - 3/4" conduit, #8 wire
- 40 Amp Circuits - 3/4" conduit, #8 wire
- 45 Amp Circuits - 3/4" conduit, #8 wire
- 50 Amp Circuits - 1" conduit, #6 wire
- 60 Amp Circuits - 1" conduit, #6 wire
- 70 Amp Circuits - 1-1/4" conduit, #4 wire
- 80 Amp Circuits - 1-1/4" conduit, #3 wire
- 90 Amp Circuits - 1-1/4" conduit, #2 wire
- 100 Amp Circuits - 1-1/2" conduit, #2 wire
- 110 Amp Circuits - 1-1/2" conduit, #1 wire
- 125 Amp Circuits - 1-1/2" conduit, #1/0 wire
- 150 Amp Circuits - 2" conduit, #2/0 wire
- 175 Amp Circuits - 2" conduit, #2/0 wire
- 200 Amp Circuits - 2" conduit, #3/0 wire

All circuits in excess of 75'-0" from the panel shall have the conduit and wire increased one size. E.C. shall be responsible for determining voltage drop and sizing conduit and conductors accordingly to meet NEC requirements



*J C Pund*  
DATE: 8-20-24

910 Main Street  
 Ferdinand, IN 47532  
 Phone: 812/267-2801  
 Fax: 812/267-2802  
 design@uddassoc.com  
 www.uddassoc.com

**Universal DESIGN ASSOCIATES, INC.**

The Villas at Prairie Lakes (Site Lighting) Noblesville, Indiana

DATE	BY	REVISIONS
8-20-24	JCP	

DRAWN: LAB  
 CHECKED: ALJ  
 APPROVED: JCP

SITE PHOTOMETRIC PLAN  
 PROJECT NO. NH1987  
 SHEET NO. L1

SCALE: 1" = 40'-0"