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HAMILTON County Recorder IN





ORDINANCE NO. 34-09-23

AN ORDINANCE AMENDING THE UNIFIED DEVELOPMENT ORDINANCE NO. 62-12-95, AND THE SAXONY CORPORATE CAMPUS ORDINANCE NO. 03-02-20 AND ALL AMENDMENTS THERETO, A PART OF THE COMPREHENSIVE MASTER PLAN FOR THE CITY OF NOBLESVILLE, HAMILTON COUNTY, INDIANA

Document Cross-Reference No: 2020010832, 2019046915, 2022026260

An Ordinance to amend the Unified Development Ordinance and Ordinance No. 49-08-16, and all amendments thereto for the City of Noblesville, Hamilton County, Indiana, enacted by the City of Noblesville under the authority of Chapter 174 of the Acts of the Indiana General Assembly 1947, as amended, and

WHEREAS, the Plan Commission of the City of Noblesville has conducted a public hearing on Application No. LEGP NO. 0065-2023 as required by law concerning an amendment for a waiver to permit the installation of canopies and driveways within a side yard setback on "Lot B", a part of the "Saxony Corporate Campus", all a part of the Unified Development Ordinance and after due consideration has sent a favorable recommendation for adoption to the Council with a vote of 8 ayes, 0 nays, and 0abstentions at their August 21, 2023 meeting, and

NOW, THEREFORE, BE IT ORDAINED by the Common Council of the City of Noblesville, Hamilton County, Indiana, meeting in regular session, that the Unified Development Ordinance, and the "Saxony Corporate Campus" Planned Development Ordinance, and all amendments thereto are hereby amended as follows:

ORDINANCE NO. 34-09-23 1 SECTION 1. That the subject real estate located at 14098 Bergen Boulevard and legally described as "Lot B in the Saxony Corporate Campus" subdivision also known as Hamilton County Parcel No. 13-11-23-00-00-011.011 which is located within the zoning jurisdiction of the City of Noblesville, Hamilton County, Indiana and is currently zoned "CCPD Corporate Campus Planned Development" district with a land use category of "Commercial" and a subdistrict overlay of "Interchange" and a planned development overlay of "Saxony Corporate Campus Planned Development."

SECTION 2. That this ordinance and attached "Exhibit 1" indicates the site plan and drawings of the proposed 80-SF dry storage facility and the elimination of landscaping with the addition of pervious pavers. As per the attached "Exhibit 1", a waiver is hereby granted to allow for the reduction in landscaping adjacent to the trash receptacle enclosure.

SECTION 3. Unless a development standard, specification, guideline, and/or requirement contained in the Unified Development Ordinance or the "Saxony Corporate Campus" Planned Development Ordinances No. 27-05-22, 03-02-20 and/or No. 38-09-19 is varied, altered, or modified by this ordinance and/or exhibits, then such development standards, specifications, guidelines, and/or requirements as specified in the Unified Development Ordinance and/or Ordinances No. 27-05-22, 03-02-20, No. 38-09-19, the Saxony Corporate Campus Planned Development Ordinances shall apply.

SECTION 4. This Ordinance shall be in full force and effect from and upon its adoption and publication in accordance with the law. All prior ordinances or parts thereof in conflict therewith are repealed and deemed to conform to the provisions of these amendments.

Intentionally Left Blank

ORDINANCE NO. 34-09-23

SECTION 5. Upon motion duly made and seconded; this Ordinance was fully passed by the members of the Common Council this 26th day of ________, 2023.

	NAY	ABSTAIN
Brian Ayer		
Mark Boice		
Michael J. Davis		
Gregory P. O'Connor		
Darren Peterson	SA	
Pete Schwartz	V	
Aaron Smith		
Dan Spartz		
Megan G. Wiles		
	Mark Boice Michael J. Davis Gregory P. O'Connor Darren Peterson Pete Schwartz Aaron Smith Dan Spartz	Mark Boice Michael J. Davis Gregory P. O'Connor Darren Peterson Pete Schwartz Aaron Smith Dan Spartz

ATTEST: Les, City Clerk

Intentionally Left Blank

Λ .		lle, Indiana, this 2644 _ day of
September, 2023 at 8:	<u>, 55</u> .м.	Evelyn L. Lees City Clerk
Chris Jensen, Mayor	MAYOR'S APPROVAL	9-26-23 Date
* *	MAYOR'S VETO	
Chris Jensen, Mayor ATTEST:	MAY SE NO	6, 1887

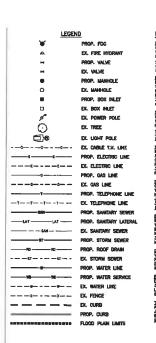
I, affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law.

Joyceann Yelton_ Printed Name of Declarant

Prepared by: Joyceann Yelton, Development Services Manager, City of Noblesville, 16 South 10th Street, Noblesville, IN 46060 (317) 776-6325

ORDINANCE NO. 34-09-23

4





STORE #3623 CUSTOM PROJECT SOLUTIONS SITE PLANS

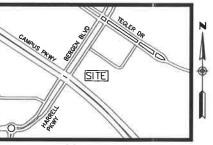
PK NAIL SET ELEVATION = 831.40 PK NAIL SET ELEVATION = 830.44

	Respi	ired			Required before Cartificate of Occupancy		Sealed	ed and Survey urled
As-built Type	Yes	No	Horizontal	Vertical	Yes	No	Yes	No
Sanitary Service								
Storm Sewer	10	0					0	0
Storm Water BMP's								
Water Service								- 0
Full Site							0	

- 2. ALL DISTURBED GREEN AREAS SHALL BE TOP DRESSED AND RE-SEEDED.
- 3. CALL INDOT ONE CALL, 811, 48 HOURS PRIOR TO CONSTRUCTION.
- ALL STORM SEMERS SHALL BE HIGH DENSITY POLYETHYLENE (HOPE) SMOOTH LINED PIPE MEETING ANSHTO M294 (UNLESS OTHERWISE STATED), TYPE 5 MAY BE USED.
- 5. EARTHWORK AND SITE PREPARATION SHALL BE AS SPECIFED IN THE SORS REPORT
- 6. ELECTRICAL CONDUIT SHALL BE AS REQUIRED BY THE POWER COMPANY.
- 7. TELEPHONE CONDUIT SHALL BE AS REQUIRED BY THE PHONE COMPANY. 8. GAS SERVICE SHALL BE AS REQUIRED BY THE GAS COMPANY.
- 9. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS IN THE
- 10. ROOF DRAINS MUST BE CONNECTED DIRECTLY TO THE STORM SEMER
- 11. THE CONTRACTOR IS RESPONSIBLE FOR ANY ADDITIONAL SILTATION CONTROL ME/ MEDISSARY TO PREVENT SILT FROM LEAVING THE SITE.

- 15. PRICES BID PER FOOT FOR ALL PIPES IS COMPLETE IN PLACE REGARD
- 17. THE CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE TO THE CITY ENGINEER AND PUBLIC WORKS DEPARTMENT PRICE TO RECEIVING WORK TO ADDRAGE COR ASSOCIATION
- A 12 INCH. NINIMUM VERTICAL CLEARANCE SHALL BE MAINTAINED FROM THE OUTSIDE EDGE OF ALL WATER MAIN PIPE TO THE OUTSIDE EDGE OF ALL STORM SEWER PIPE.
- 20. A 4 FOOT MINIMUM HORZONTAL CLEARANCE SHALL BE MAINTAINED FROM THE OUTSIDE EDGE OF ALL WATER MAIN PIPE TO THE OUTSIDE EDGE OF ALL STORM SEMER PIPE.
- 21. A 10 FOOT MINIMUM HORIZONTAL CLEARANCE SHALL BE MAINTAINED FROM THE OUTSIDE EDGE OF THE SANITARY SEWER PIPE OR FORCE
- 22. AN 18" MINIMUM VERTICAL CLEARANCE SHALL BE MAINTAINED FROM THE OUTSIDE EDGE OF ALL SANTARY SEWER OR FORCE MAIN PIPE.
- ALL SANITARY SENERS SHALL CONSIST OF PVC SDR-35 MEETING ASTM D-3034 WITH JOINTS CONFORMING TO ASTM D-3212 UNLESS OTHERWISE NOTED.

14098 BERGEN BOULEVARD CITY OF NOBLESVILLE COUNTY OF HAMILTON STATE OF INDIANA



LOCATION MAP NOT TO SCALE LATITUDE N 39"59'38" (39.9939) LONGITUDE W 85'55'37.9" (-85.9272)

APPLICANT/DEVELOPER: CHICK-FIL-A. INC.

5200 BUFFINGTON RD. ATLANTA, GEORGIA 30349-2998 CONTACT: JOHN ROMANELLO PHONE: (336) 406-9128 EMAIL: john.romanello@cfacorp.com



565 White Pond Dr. Akron, OH 44320-1123 Phone 330-836-0228 Fax 330-836-5782 CONTACT: GARY R. ROUSE, P.E. EMAIL: grouse@gbcdesign.com

CONTRACTOR RESPONSIBLE TO FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITY TIE-INS AND CROSSINGS AS SHOWN ON SITE PLANS (SANITARY, STORM, WATER, GAS, ELECTIC, PHONE, ETC.) PRIOR TO THE START OF CONSTRUCTION. CONTACT ALLAN WILEY AT GBC DESIGN, INC., 330-836-0228, WITH ANY CONCERNS OR CONFLICTS PRIOR TO THE START OF CONSTRUCTION, CONTRACTOR TO VERIFY THE THICKNESS OF ANY OFF-SITE DATES OF THE STREET OF CONSTRUCTION. PAVEMENT (ASPHALT AND CONCRETE) AND SIDEWALK SO THE RESTORATION WORK IS INCLUDED IN THE BID.

EXHIBIT 1

LAND DESCRIPTION

LOT 8 OF SAXONY CORPORATE CAMPUS PLANNED DEVELOPMENT AS PER PLAT THEREOF RECORDED JUNE 25, 2015, AS INSTRUMENT NUMBER 2015/31708, IN PLAT CABINET 5, SLIDE 359, IN THE OFFICE OF THE RECORDER OF HAMILTON COUNTY, HODIANA.

INDEX

STORMWATER POLLUTION PREVENTION PLAN (SWPPP) C-310

CHICK-FIL-A CML CONSTRUCTION SITE DETAILS

NOBLESVILLE, INDIANA CITY STANDARDS DIRECTIONS FOR USE & GENERAL NOTES

PAVEMENT DETAILS & NOTES

MISCELLANEOUS ROADWAY DETAILS DRIVE ENTRANCE DETAILS & NOTES

SIDEWALK & CURB RAMP DETAILS STORM SEWER BEDDING & DETENTION NOTES

STORM INLET DETAILS & NOTES STORM MANHOLE DETAILS & NOTES

SANITARY SEWER GENERAL NOTES SANITARY SEWER GENERAL NOTES

SANITARY SEWER PIPE & BEDDING DETAILS

SANITARY SEWER STRUCTURES DETAILS

SANITARY SEWER OIL/GREASE TRAP SPECS

SANITARY SEWER STRUCTURES DETAILS

MONUMENTATION GUIDELINES & FIRE

DEPARTMENT NOTES & DETAILS

BACKFILL & PATCHING DETAILS

STREET SIGN DETAILS & NOTES

STREET LIGHTING DETAILS & NOTES

FHWA TIMBER GUARDRAIL DETAILS

STORMWATER BMP - POND DETAILS

SWPPP DETAILS

SWPPP DETAILS

SWPPP DETAILS

LANDSCAPE PLAN

LANDSCAPE DETAILS

LANDSCAPING PLANS

LANDSCAPE & PLANTING DETAILS & NOTES

LANDSCAPE & MAINTENANCE SPECIFICATIONS

TYPICAL SECTIONS

SHEET NO.

C-100

C-110

C-200

C-210

C-300

C-320

C-400

C-501

C-502

C-504

C-510

C-512

C-514

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C-524

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C-526

C-527

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L-101

L-102

DESCRIPTION

TITLE SHEET EXISTING CONDITIONS PLAN

SITE PLAN

DEMOLITION PLAN

SITE PLAN DETAIL

GRADING PLAN

SWPPP DETAILS

Chick-fil-A 5200 Buffington Road Atlanta, Georgia 30349-2998

GBC White Pond Phone 330-638-62



9 FSU PROJECT (SAXONY & I-69 FSU 2023 CUSTOM PROJE 14098 BERGEN BOULEVA NOBLESVILLE, IN 46060 CHICK-FIL

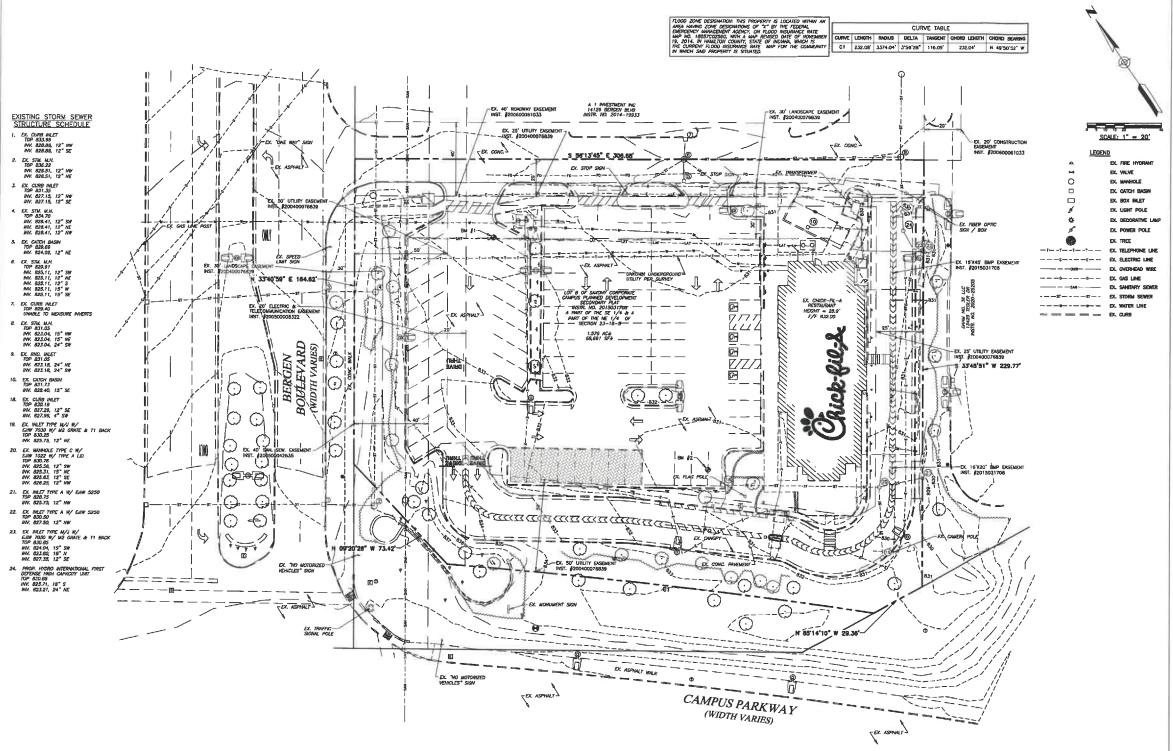
FSU# 03623

NO. DATE DESCRIPTION

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TITLE SHEET

C-000



CONTRACTOR RESPONSIBLE TO FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITY TIE-INS AND CROSSINGS AS SHOWN ON SITE PLANS (SANTARY, STORM, WATER, GAS, ELECTRIC, PHONE, ETC.) PRIOR TO THE START OF CONSTRUCTION. CONTACT ALLAN WILEY AT GBC DESIGN, INC., 330-836-0228, WITH ANY CONCERNS OR CONFLICTS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR TO VERIFY THE THICKNESS OF ANY OFF-SITE PAVEMENT (ASPHALT AND CONCRETE) AND SIDEWALK SO THE RESTORATION WORK IS INCLUDED IN THE BID.



Chick-fil-A 5200 Buffington Road Atlanta, Georgia 30349-2998

GBC DESIGN, INC.
666 White Pond Dr. Akron, 0H 4420-1128
Phone 850-856-0228
Fax 890-886-6782



SOLUTIONS

SAXONY & I-69 FSU 2023 CUSTOM PROJECT S 14098 BERGEN BOULEVARD NOBLESVILLE, IN 46060 CHICK-FIL

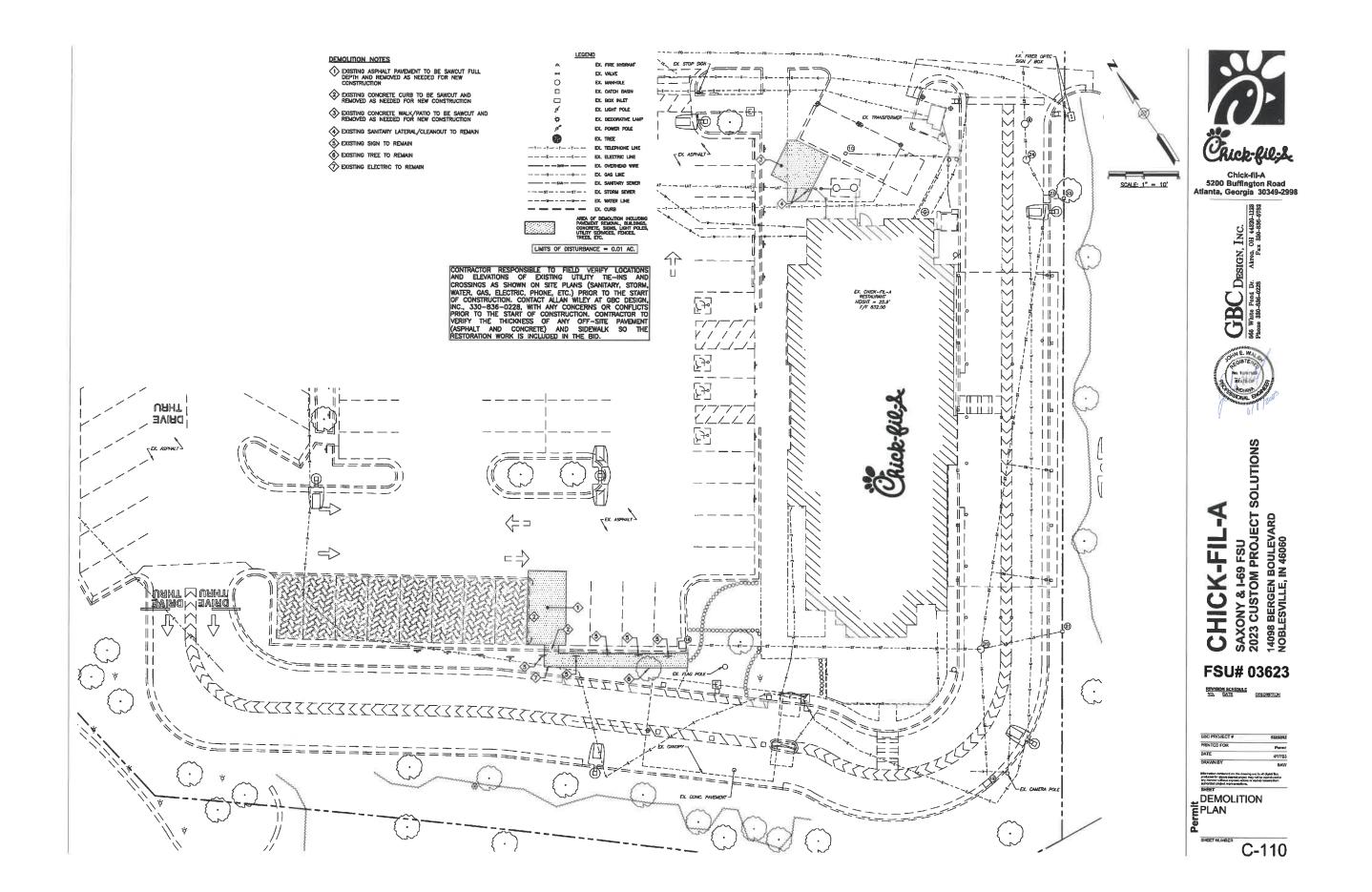
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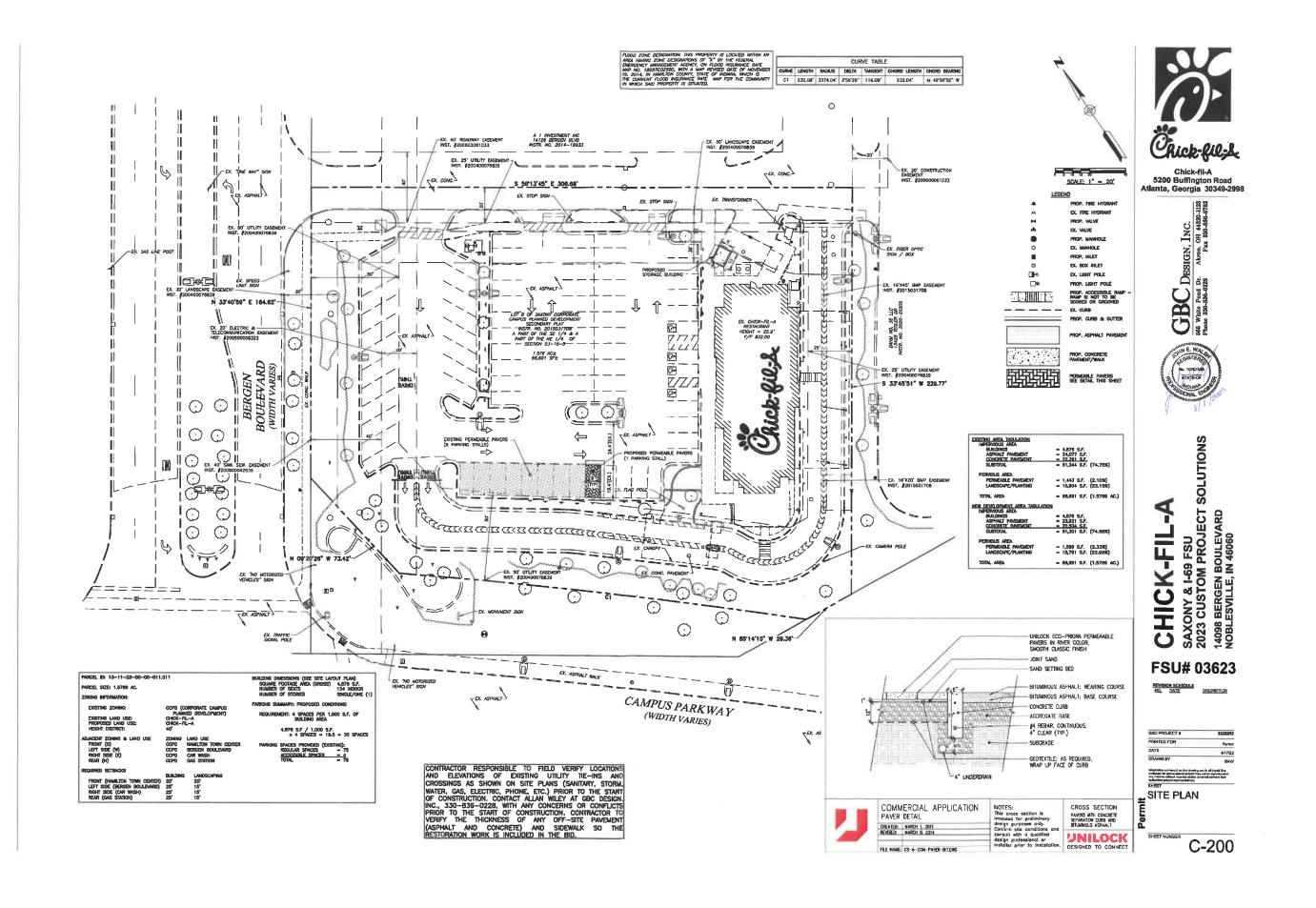
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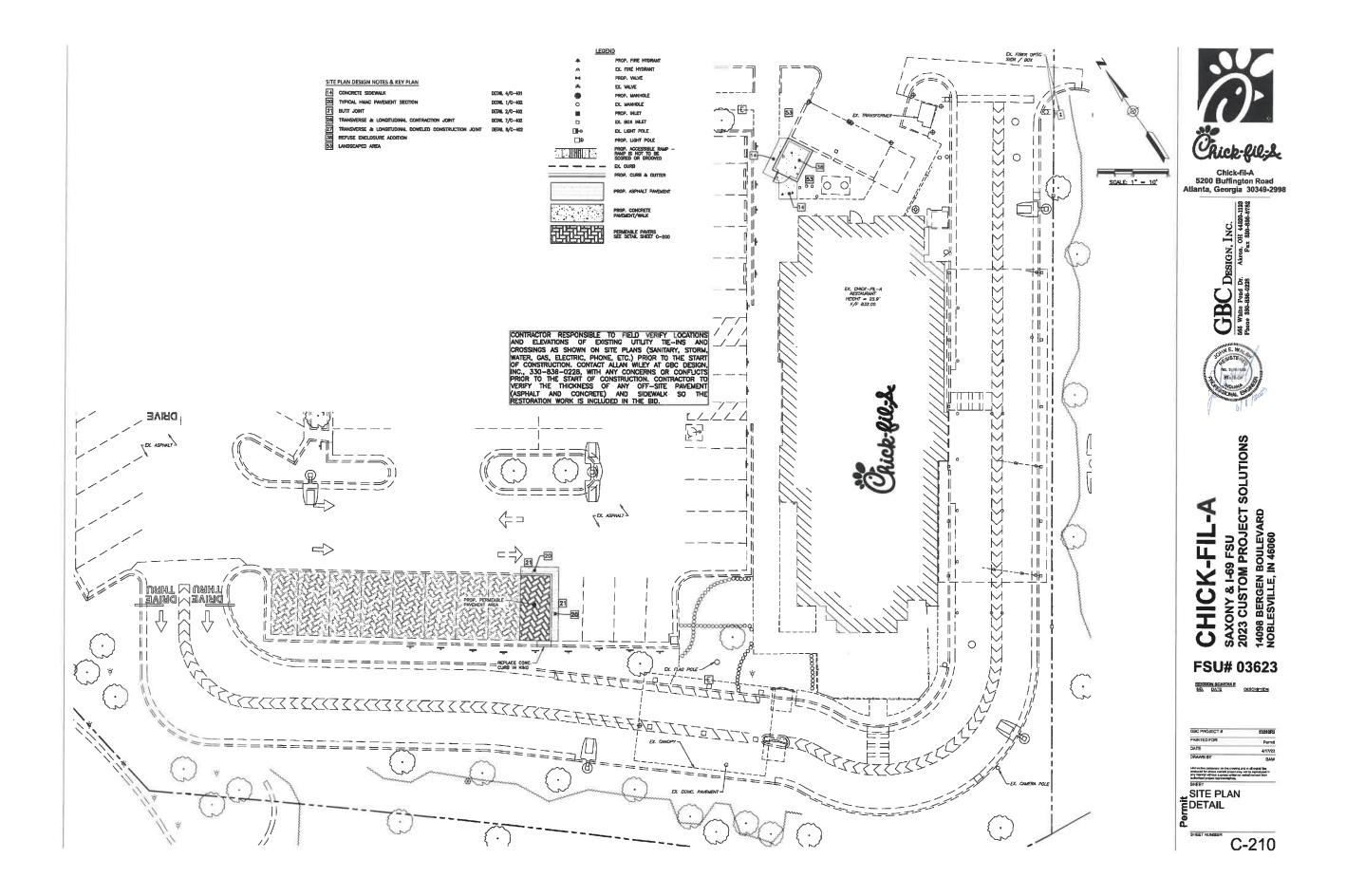
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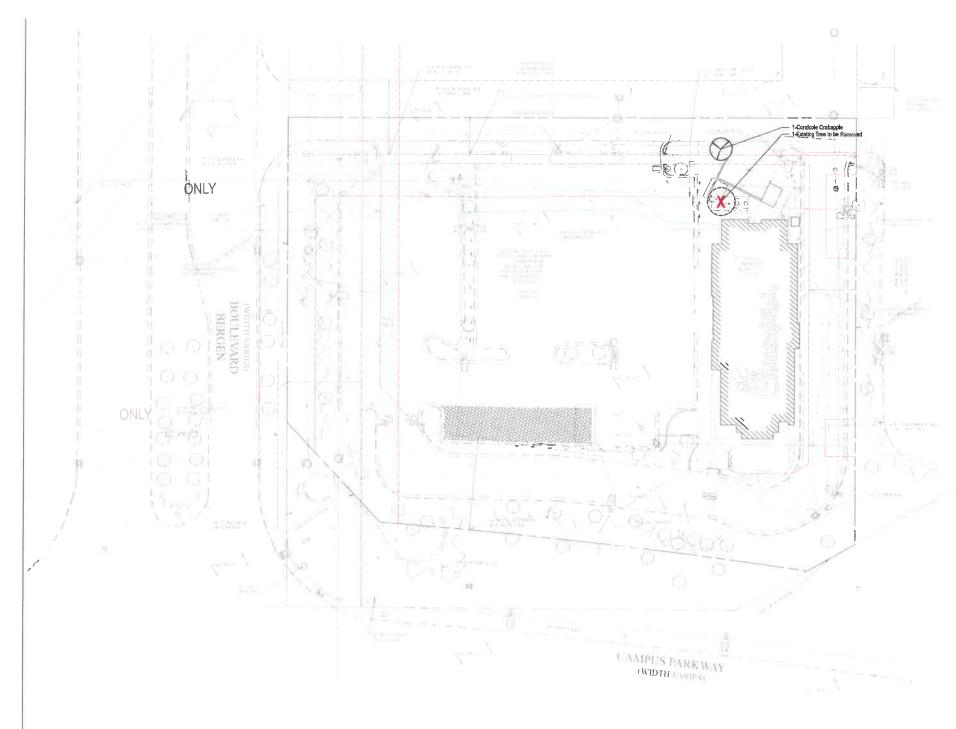
EXISTING CONDITIONS 5PLAN

C-100









- MIDWEST LANDSCAPE NOTES

 1. Landscape Contraction to med and understand the Landscape Specifications prior to finalizing bids.
 The Landscape Specifications shall be add and to throughout the contraction process.
 Contracts in separate bid for basing and protecting all underground utilities prior to digiting.
 Contracts in responsible for protecting estimate years from durage and and contraction.
 All pre-protection devices to be statistical prior to the station of land disturbance, and maintained until

- ercanoris. The stakes and guying from all traes after one year from planting.



LEGEND

EXISTING TREE TO BE REMOVED



EXISTING TREE TO REMAIN











Landscape Architecture

Manley Land Design, Inc. 51 Old Canton Street Alpharetta, Georgia 30009 770.442.8171 tel



SAXONY & 1-69 14098 BERGEN BOULEVARD NOBLESVILLE, IN 46060 CHICK-FIL

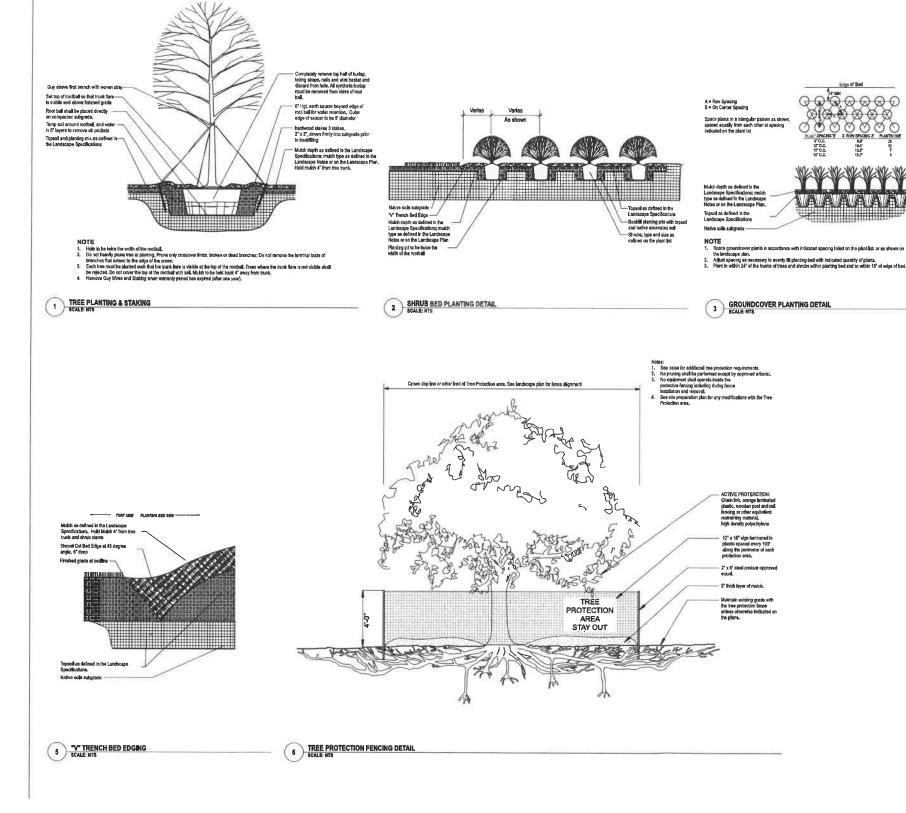
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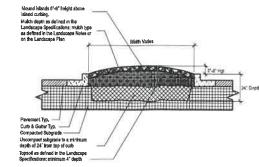
REVISION SCHEDULE NO. DATE BY DESCRIPTION

2023140 PERMIT PRINTED FOR

Landscape Plan

L-100





- NOTE

 1. Clean construction darks from within landscape intered areas (a. concrete, rocks, rubde, building flatford within landscape intered areas (a. concrete, rocks, rubde, building flatford, low or to ministing tapped and plasm material.

 2. Interest the construction of the property of the control of t

PARKING ISLAND DETAIL
SCALE: NTS





Manley Land Design, Inc. 51 Old Canton Street Alpharetta, Georgia 30009 770.442.8171 tel



4 SAXONY & 1-69 14098 BERGEN BOULEVARD NOBLESVILLE, IN 46060 CHICK-FIL

FSU# 03623

REVISION SCHEDULE NO. DATE BY DESCRIPTION

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MLD PROJECT #	202314

Landscape Details

SHEET NUMBER L-101

LANDSCAPE SPECIFICATIONS

PART 1 - GENERAL

DESCRIPTION
Provide traes, shrubs, ground covers, sod, and annuals/perennials as shown and specified on the landscape plan. The work includes:

1. Soil preparation.
2. Trees, whutbs, ground covers, and annuals/perennials.
3. Planting mixes.
4. Tup Soil, Multich and Planting accessories.
5. Metriterance.
6. Decorative stone.

Related Work: 1. Imigation System,

QUALITY ASSURANCE

Y ADSOLVERIULE most indicated Plant Names" as adopted by the latest addition of the most indicated; comply with "Standardized Plant Names of varieties not listed conform general in John Committee of Horitcultural Normandature. Names of varieties not listed conform general nes accepted by the nursery trade. Provide stock true to boatniced name and legibly tagged.

Comply with sizing and grading standards of the talest adillon of "Amorican Standard for Nursery Stock". A plant shall be dimensioned as it stands in its natural ossilion.

All plants shall be nursery grown under climatic conditions similar to those in the locality of the project for a

Nursery Stock furnished shall be at least the minimum size indicated, Larger stock is accaptable, at no additional cost, and providing that the larger plants will not be out back to size indicated. Provide plants indicated by two measurements so that only a maximum of 25% are of the minimum size indicated and 75% are of the maximum size indicated.

Bather automating a bid, the Contractor shall have investigated the sources of supply and be satisfied that they can supply the filled plants in the size, variety and quality are specified. Failure to take the supersounder will not releve the Contractor from their responsibility for hardward professional cost to the Contract Documents without designed cost to the Owner. The Landscape Architect shall approve any substitutes of plant material, or changes in plant material size, prior to the Landscape Contractor without thing at bid.

DELIVER, STORAGE AND HANDLING

Take all precautions customery in good made practice in preparing plants for moving. Workmanship that falls to meet be highest standards wilb or rejected. Spray deciduous plants in foliage with an approved "Anti-Desiccant" temodiately offer diging to prevent dehydration. Dig, pack, transport, and handle plants with care to ensure protection egistest injury, inspection certificeless required by law shall accompany sech shipment invoice or order to stock. Protect all plants from drying out. If plants cannot be planted inmediately upon delivery, proporty protect them with soil, vet peat makes, or in a manner acceptable to the Landesape Architect. Water heelect-in plantings daily, No plant shall be bound with rope or wire in a manner that could dranage or head the branches. Cover plants transported on open vehicles with a

PROJECT CONDITIONS

rotect existing utilities, paving, and other facilities from damage caused by landscape operations.

A complete list of plants, including a schedule of sizes, quantities, and other requirements are shown or the drawings. In the event that quantity discrepancies or material omissions occur in the plant materials

The Irrigation system will be installed prior to plenting. Locate, protect and maintain the irrigation system during planting operations. Repair irrigation system components damaged during planting operations: at the Contractor's expense. Refer to the irrigation specifications, irrigation plan and irrigation details.

Do not begin landscape accessory work before completion of final grading or auriacing.

WARRANTY
Warrant plant meterial to remain alive, be healthy and in a vigorous condition for a period of 1 year effer completion and final acceptance of antire project.

Replace, in accordance with the drawings and specifications, all plants that are dead or, are in an unhealthy, or unsightly condition, and have lost their natural shape due to dead branches, or other or due to the Contra

Warranty shall not include damage, loss of trees, plants, or ground covers caused by lires, floods, freezing rains. Bightning atoms, white ever 75 miles per hour, where till caused by extreme cold, severe winter conditions not typical of planting area, and/or acts of viewfalls nor nongligence on a part of the Owner, Remove and immediately replace all plants, found to be unsatisfactory during the initial planting installation

ACCEPTANCE Inspection of planted areas will be made by the Owner's representative,

1. Planted ereas will be accepted provided all requirements, including maintenance, have been compiled with and plant materials are allive and in a healthy, vigorous condition.

Upon acceptance, the Contractor shall commence the specified plant maintenance

CODES, PERMITS AND FEES

Obtain any necessary permits for this Section of Work and pay any fees required for permits.

The entire installation shall fully comply with all local and state laws and ordinances, and with all established codes applicable thereto; also as depicted on the landscape and irrigation construction

PART 2 - PRODUCTS

MATERIALS MATERIALS.

Plants: Provide hypical of their species or variety, with normal, densely developed brancher and vigorous, fibrous root systems. Provide only sound, healthy, vigorous plants free from defects, disfiguring knots, sun ecald injuries, force creeks, between one of the bare, plant diseases, insect degree, borners, and all forms of infestation. All plants shall have a fully developed from without voids and open spaces. Plants hald on storage with or greated if they share signs of growth during the storage period.

1. Balled and plants wrapped with burley, to have firm, natural balls of earth of sufficient dismeter and depth to encorages the fiscula and freshing not system necessary for kill recovery of the plant. Frorids hall state complying with the latest ording on the same cases of kill recovery of the plant. Frorids hall state complying with the latest ording on the same case of the containers.

2. Container grown book Grown in a container for sufficient length of time for the root system to have developed to hold its col topoleter, firm and whole.

3. Plants hall be loosed in the container.

5. Container stock shall not be got bound.

7. Plants planted in rows hall be matched in form.

8. Plants planted in rows hall be matched in form.

- andscape Architect.
 If the use of larger plants is acceptable, increase the spread of roots or root ball in proportion to the size of the plant, no height of the trees, measured from the crown of the roots to the top of the tap branch, shall
- to legal to the uses, incession and the cover of the cooks to the top of the top branch, and the legal than the minimum size designated in the plant list. pruning wounds shall be present with a diameter of more than 1° and such wounds must ow vigorous bark on all edges.
- show vigorous bark on all edges. Evergraen trees shall be branched to the ground or as specified in plent list. Shrubs and small plants shall meet the requirements for spread and height indicated in the plant
- Ist.

 The measurements for height shall be taken from the ground level to the height of the top of the plant and not be knoped branch.

 Single stemmed or this plants will not be accepted,

 Single stemmed or this plants will not be accepted,

 Single stemments shall be generous, well-shigged, and the plant as a whole well-busted to the ground.

 Plants shall be in a moist, vigorous condition, free from dead wood, brutsee, or other root

ACCESSORES
Topool: Shall be Fertile, friable, natural topsoil of loamy charactor, without adminture of subsoil material, obtained from city, lumps, coarse sends, stones, note, sticks, and other foreign materials, with scidity range of between pH 6.0 and 6.8.

Note: All planting areas shall be cleaned of construction debris (le. Concrete, rubble, stones, building material, etc.) prior to adding and spreading of the top soil,

1. Sod Areas: Spread a minimum 4* layer of top soil and rake smooth,

2. Planting bod oreas: Spread a minimum 4* layer of top soil and rake smooth,

- Landscape Islands/Medians: Fracture/loosen existing subgrade to a minimum 24" depth. Remove and replace any subgrade unsuitable for planting. Once subgrade is clean of debris and loosened, add lopsoil to a minimum berm 6"-9" height above
- clean of debnis and phaemes, and орожно 1 4* organic matter and till to a imum 12* depth.

- Mutch: Type selected dependent on region and availability, see landscape plans for type of mutch to be used. Hold mutch if from tree trunks and shads stems.

 1. Hardwood: (boot) dark brown, 8 morth old well rotted double shredded native hardwood bark mutch not larger than a"in length and %" in width, free of wood chips and sewduck. Install minimum depith of 3".

 2. Pine Straw- Pine straw to be fresh harvest, free of debris, bright in color, Bales to be wired and highly bound. Needles to be dry, Install minimum depith of 3".

 3. River Rock: (color) light gary to buff to dark trown, weshed river rock, 1" 3" in state, install in shrinb beds to an even depith of 3". Whed control beariner to be installed under all rock mutch were. Use catalor during installation not to damage plant material.

 all rock mutch were. Use catalor during installation not to damage plant material. and colors that the stems and loaves of the annuals and carefully apread the mutch to avoid injuring the plants. Gently brush the mutch off the plants.

ring/Stating: 1. Abordis: Cirean (or white) staking and guying material to be flat, woven, polypropylene material; ½" wide 900 lb. break strength. Abordie shall be fastened to stakes in a manner which permits these movement and supports the tree. 2. Remove Guying/Staking after one year from planting.

Tree Wrap: Tree wraps should be used on young, newly planted thin-barried trees (Cherry, Crubupple, Honey Locust, Linden, Maple, Mountain Ash, Plum) that are most susceptible to an scald/Subman. Standard veloateprocled free vertepping pance, 2-1/2 wide, made of 2 layer of craps Draft paper weighing ned least han 30 lbs., per ream, comented together with asphalt. Wrap the tree in the fall and leave the wrap in place throughout the writer and cardy spring, Tree wraps are temporary and no longer needed once trees develop con'ty bark.

PART 3 - EXECUTION

PECTION to beginning work, the Lendscape Contractor shall inspect the subgrade, general site to beginning work, the Lendscape Contractor shall inspect the subgrade, general site ratios and observe the site contractors under which the work is to be done. Notify the ratio Contractor of any unsetificatory conditions, and work shall not proceed until such filtred contractor of any unsetificatory conditions, and work shall not proceed until such filtred contractors.

PREPARATION
Planting shall be performed only by experienced workman familiar with planting procedures under the supervision of a qualified supervisor.

Locate plants as indicated on the plans or as approved in the field after staking by the Landecape Contractor. If obstructions are encountered that are not shown on the drawings, not proceed with planting operations until alternate plant locations have been selected and approved by the Landecape Architect, spacing of plant material shall be as shown on the

Excavate circular plant pits with vertical sides, except for plants specifically indicated to be planted in beds. Provide shrutb pits at least 12° greater than the diameter of the root system 24° greater for trees. Depth of get shall accommodate the root system. Provide undaturbed a grede to hold root bell at numery grade as shown on the drawings.

INSTALLATION

into incurrence so plant intuitival in the planting pit to proper grade and alignment. Set plants upright, plumb, and faced to give the state appearance or relationship to each other or adjacent entrotuce. Set plant material 2 — 2 above the finding grade, he filling will be permitted around trunks or stems Backfill he pit with topid mit and accounted material. Do not use force nor under mitted backfilling. Form a ring of soil around the edge of each planting tilt to relatinate to.

After belied and wrapped in burlap plants are set, muddle planting soil mixture around bases of balls and fill all volds.

1. Remove all burlap, ropes, and wires from the top 1/3 of the root bell

Space ground cover plants in accordance with indicated dimensions, Adjust spacing as necessary to evenly fill planting bed with indicated quantity of plants, Plant to within 24" of the trunks of trees and shrubs within planting bed and to within 18" of edge of bed,

siting: Mulcib tree and shrub planting pits and shrub beds with required mulcibing material (see landscape piter for mutch type; depth of mulch as noted above. Hald mulch back 4° away from the strukes and shruh atams. Throotophly water mulched areas. After westering, rake mulch to provide a uniform finished surface.

- constive Stone: (where indicated on landscape plan)

 1. Install weed control benrier over sub-grade prior to installing stone. Lap 6° on all sides.

 2. Place stone without damaging weed barrier.

 3. Arrange stones for best appearance and to over all weed barrier fabric.
- Wrapping, guying, staking:
 1. Inspect trees for injury to trunks, evidence of insect infestation, and improper pruning before wrapping.

- Desire wrapping.

 a. Whos trusts of all young newly planted trees known to have thin bark. Whap spirally wrapping:

 a. Whos trusts of all young newly planted brees known to have thin bark. Whap spirally from bottom to top with specified tree wrap and secure in place.

 b. Ovedap ¼ the width of the tree wrap strip and cover the trust from the ground to the height of the second branch.

 c. Secure tree wrap in place with whice wound spirally downward in the opposite direction, seld around the tree in at least 3 places in addition to the top and bottom.

 d. Wrap the trees in the fall and leave the wrap in place throughout the winter and early spiring. apring. Tree wraps are temporary and no longer needed once the trees develop corky bank.
- Staking/Guying: Stake/guy all trees immediately after lawn sodding operations and prior to
- acceptance, Stake deciduous trees 2" caliper and less. Stake evergreen trees under 7"-0" tall. 1. Stakes are placed in line with prevailing wind direction and driven into Stakes are packed in one with previously with subsets branch, undistribled soil.

 Thes are attached to the tree, usually at the lowest branch, by deciduous trees over 2" caliper, Guy evergreen trees 7"-9" tall and over
- Guy deciduous trees over 2' calger. Guy evergreen trees "7-0" tall and over.

 Guy where to be attached to here ablase charts into undisturbed soil, with one stake placed in the direction of the prevailing wind.

 The are extincted to the tree as high as practical.

 The are of the stake should be at 90 diagree angle to the axis on the pull of the
- guy wire.

 4. Remove all guying and staking after one year from planting.

runing: 1. Prune deciduous trees and evergreens only to remove broken or damaged branches

WORMANSHIP

During landscape/irrigation installation operations, all areas shall be kept neat and clean.

Precaulions shall be taken to avoid damage to existing structures, All work shall be performed in a safe manner to the operators, the occupants and any pedestrians.

Upon completion of installation operations, all excess materials, eguipment, debris and waste materials shall be cleaned up and removed from the site: unless provisions have been granted by the owner to use on-site bash receptacles. Sweep parting and walks clean of dirt and debris. Remove all plant tags and other debris from lavers and planting areas.

Any damage to the landscape, the structure, or the imigation system caused by the landscape contractor without charge to the owner.

MAINTENANCE
Contractor shall provide maintenance until work has been accepted by the Owner's

Maintenance shall include mowing, fertilizing, mulching, pruning, cultivation, weeding, watering and application of appropriate insecticides and fungicides necessary to meintain plants and

- and application of appropriate insecticides and fungicides necessary to meintain plants and tewns free of insects and disease.

 1. Re-set settled plants to proper grade and position. Restore planting saucer and adjacent Re-56 sensed parts or proper grace and processors and state and guy wires after 1 year, repair guy wires and states as required. Remove all states and guy wires after 1 year, Correct defective work as soon as possible after deficiencies become apparent and
- weather and season permit.

 Water trees, glants and ground cover beds within the first 24 hours of initial planting, and not less than twice per week until final acceptance.

LANDSCAPE MAINTENANCE SPECIFICATIONS

The Contractor shall provide as a separate bid, maintenance for a pariod of 1 year after final acceptance of the project landscaping. The Contractor must be able to provide continued maintanance it requested by the Owner or provide the name of a reputable landscape

STANDARDS
All landscape maintenance services shall be performed by trained personnel using current acceptable hardcultural practices.

All work shall be performed in a manner that maintains the original intent of the landscap

APPROVALS

Any work performed in addition to that which is outlined in the contract shall only be done upon upon a program approval to the Course's Representative (General Manager of the restaurant), All seasonal color selections shall be approved by the General Manager prior to ordering and

SOIL TESTING one is a made on tractor shall perform soll tests as needed to identify imbalances eliciandes causing plant material decline. The owner shall be notified of the recomm or approved, and the necessary corrections made at an additional cost to the owner.

	Landscape Trees and Shrube	Turf
H Range	5.0-7.0	6.0-7.0
rganic Matter	>1.5%	>2.5%
egneelum (lifg)	100+lbs./acre	100+lbs/scre
hesphorus (P2O5)	150+lbs./scre	150+Mzs_/accre
otassium (K2G)	120+lbs./scre	120+ltrs./ecre
Okthie saltsi	Not to exceed 900ppm/1,9 mmhos/cm	Not to exceed 750ppm/0,75 mmhos/cm
onductivity	in soft not to exceed 1400 ppm/2.5	in soft not to exceed 2000 ppm/2.0
	mmhos/cm in high grounic mix	mmhos/om in high organic mix

Manganese Potensium (K2O)

WORMANSHIP
During landscape maintenance operations, all areas shall be kept neat and clean. Precautio shall be taken to avoid damage to existing structures. All work shall be performed in a safe manner to the operators, the occupants and any pedestrians.

/pon completion of maintenence operations, all debris and waste material shall be cleane and removed from the site, unless provisions have been granted by the owner to use ones

Any damage to the landscape, the structure, or the irrigation system caused by the maintenance contractor, shall be repaired by the maintenance contractor without ch

TURF

Prior to moving, all trash, sticks, and other unwanted debris shall be removed from tewns, plaibeds, and paved areas.

MOWING Warm season grasses (i.e. Bermuda grass) shall be maintained at a height of 1" to 2" during the crowling season.

The mowing operation includes trimming around all obstacles, raking excessive grass dippings and removing debris from walks, curbs, and parking areas. Caution: Weed exters should NOT be used around trees because of potential damage to the bank.

EDGING Edging of all sidewalks, curbs and other paved areas shall be performed once every other moving. Debris from the edging operations shall be ramoved and the areas swept clean. Caution shall be used to avoid flying debris.

LIMING & FERTILIZING
A soil test shall be taken to determine whether an application of limestone in late fall is necessary. If limestone is required, the landscape contractor shall specify the rate, obtain approved from the owner and apply it at an additional cost. A unit price for liming of furf shall secondary the bit beased on a rate of 48 pounds per 1500 equare the bit beased on a rate of 49 pounds per 1500 equare the state.

Fertilizer shall be applied in areas based on the existing turf species.

LAWN WEED CONTROL: HERBICIDES
Salection and proper use of harbicides that is the landscape contractor's responsibility, All
chamical applications shall be performed under the supervision of a Licensed Certified
Applicator. Read the label prior to applying any chamical.

INSECT A DISEASE CONTROL FOR TURF
The contractor shall be responsible for monitoring the alts conditions on each visit to determine
if any insect past or disease problems exist. The contractor shall identify the insect past or
classes, as well as the host plant, and then consult the most current edition of the Cooperative
Estimation Services "Commercial insecticide Recommensation for Turf for control, The
licensed applicator shall be familiar with the label provided for the selected product prior to

Inspection and treatment to control insect pests shall be included in the contract price.

TREES, SHRUBS, & GROUND COVER

PRUNING
All commental trees, shrubs and ground cover shall be pruned when appropriate to remove dead or damaged branches, develop the natural shopes, <u>No not sheat trees or shrubs</u>, if previous maintenance practice has been to shear and bell, then a natural shape will be

- runting Guidelines:

 I. Prum those that Bover before the end of June Immediately after flowering. Flower buds develop duting the previous growing assacn. Fall, white or spring pruning would reduce develop duting the previous growing assacn. Fall, white or spring pruning would reduce 2. Prums those that flower in sammer or authum in whiter or spring before new growth begins, since these plants develop flowers on new growth.

 Deley pruning plants grown for comensual larks, such as cothonesters, pyracenthas
- and viburnums.

 Hollies and other evergreens may be pruned during winter in order to use their branches for seasonal decoration. However, severe pruning of evergreens should be done in early
- spring only.

 Broadlest evergreen shrubs shall be hand-pruned to maintain their natural appearance atter the new growth hardens off.

 6. Hedges or shrubs that require shearing to maintain a formal appearance shell be pruned as required. Deed wood shall be removed from sheared plants before the first shearing of the season.
- ting or the season. ers shall be pruned, if required, according to their genus. sws. jumpers, hemlocks, arbonvitae, and false-cypress may be pruned afte wy growth has handened off in late summer, if severe pruning is necessar
- new growth make materials and make summer, it severe pruning a necessary, it be done in early spring.

 B. If it and spruces may be lightly prused in late summer, fall, or winter after completing growth. Leave side buck. Never cut central leader.

 C. Pres may be lightly growed in early June by reducing centrels, Coroundover shall be adoped and grunded as needed to contain it within its borders.

9. Thinning: Remove branches and water sprouts by cutting them back to their point of origin on parent stems. This method results in a more open plant, without stimulating excessive grownt. Thinning is used on crepe myrine, illacx, vibnumum, annoko bush, at 10. Removal pruning: Remove oldrest branches of shrub all ground, laxving the younger, more vigorous branches, Also remove week stems. On overgrown pleats, this method may be best done over a three-year period. Removed pruning may be used on shella, forsythia, destudia, spirace, etc.

Shade trees that cannot be adequately pruned from the ground shall not be included in the Maintenance Contract A cartified arborist under a separate contract shall perform this type of

SPRING CLEANUP
Plant bods shall receive a general cleanup before ferilizing and mulching. Cleanup includes
removing debris and inselt from beds and cutting back herebeceous perennials left standing
through whiter, e.g. omamental grasses, Sedum Autumn Joy.

FERTILIZING

For treas, the rate of fertilization depends on the tree species, tree vigor, area available for fertilization, and growth stage of the tree. Nature specimens benefit from fertilization every 4 years; younger trees shall be fertilized more often during rapid growth stages.

The ourrent recommandations is based on the rate of 1000 square feat of area under the trae to be fertilized. For declabuse trees, 2 to 8 pounds of Nitrogen per 1000 square feet, for narrow-leaf avergreens, 1 to 4 pounds of Nitrogen per 1000 square feet, for broadleaf evergreens, 1 to 3 pounds of Nitrogen per 1000 square feet. Shrubs and groundcover shall be top-dressed with compost 1" deep, or farilized once in March with 10-6-4 analysis farilizer at the rate of 3 pounds per 100 square feet of bed area. Efficaceous material shall be farilized with an enfaceous farilizer at the menufacturer's recommendation rate. If plants are growing poorly, a soil sample should be taken.

MULCHING

Annuals, all tree and shrub bods will be grepared and mulched, to a minimum depth of 3" with quality mulch to match existing. Bed preparation shall include removing all weeds, desaring up said bad, adaing and cultivating deseyed mulch into the soil, Debris from edging is to be removed from beds where applicable, if dearend necessary, a pre-emergent herbicide may be applied to the soil to inhibit the growth of future weeds.

Organically maintained gardens shall not receive any pre-emergent herbickles, Mulch in exces of 4" will be removed from the bed ereas, SPECIAL CARE shall be taken in the mulching operation not to over-mulch or cover the base of trees and shrubs. This can be detrimental to the health of the plants.

All beds shall be weeded on a continuous basis throughout the growing season to maintain a

Pre-emergent (sail-applied) and post-emergent (foliar-applied) herbicides shall be used where and when applicable and in accordance with the product's label. INSECT & DISEASE CONTROL: TREES, SHRUES & GROUNDCOVER

The maintanance contractor shell be responsible for monitoring the landscape site on a regular basis. The monitoring frequency shall be monithly except for growing season, which will be every other week. Trailend personned shall disord for Openal demaging insect activity, plent pathogenic diseases and potential cultural problems in the landscape. The pest or cultural problem will be identified under the supervision of the contractor.

For plant damaging insects and mites identified in the landscape, the contractor shall consult and follow the recommendations of the most current edition of the state Cooperative Service publication on insect control on landscape plant material. Plant pathogenic disease problems identified by the contractor that can be resolved by prur or physical removal of damaged plant parts will be performed as part of the contract. For ar additional charge, plant pathogenic diseases that can be resolved through properly timed applications of fungicides shall be made when the owner authorizes it.

If the contractor notes an especially insect-or disease-prone plant species in the landscape, ha/she will suggest replacement with a more pest-resistant cultivar or species that is consist with the intent of the tandscape design.

NOTE: For Identification of plant-damaging Insects and miles, a reference textbook that can be used in insects that feed on Trees and Shrubs by Johnson and Lyon, Constock Publishing Associates, For plan pathogenic diseases, two references are suggested: Scouling and Controlling Woody Omamental Diseases in Landscapes and Munaries, authorized by Gary Moorman, published by Penn State College of Agricultural Sciences, and Diseases of Trees and Shrubs by Sincellar and Lyon, published by Constolic Publishing Price State College of Trees and Shrubs by Sincellar and Lyon, published by Constolic Publishing Price Price Published by Constolic Publishing Published by Constolic Publishing Price Published by Constolic Publishing Price Published by Constolic Publishing Price Publishing Price Published by Constolic Publishing Price Published by Constolic Publishing Price Published Price Pu

TRASH REMOVAL over. Ince contractor shall remove trash from all shrub and groundcover beds with each

REMOVAL
an leaves shall be removed from the site in November and once in December, if
sted by the cowner, the maintenance contractor, at an additional cost to the owner shall
m supplemental leaf removals.

WINTER CLEAN-UP

The project shall receive a general clean-up once during each of the winter months, i.e., January, February, and March.

Clean-up Includes: Clean-up Incl SEASONAL COLOR: PERENNIALS, ANNUALS, AND BULBS

The installation of perennials, annuals, and bulbs, unless specified herein, shall be reviewed with the owner, and, if accepted, installed and billed to the owner. SEASONAL COLOR MAINTENANCE

Perennialization of Bulbs:

- Cut off at base, Allow leaves of other bulbs to yellow naturally end then cut off at base. Apply fertilizer after flowering in spring, possibly again in fall, Apply 10-10-10 at the rate of 2 pounds per 1000 equare feet, or top-dress with compost 11 deep. Fell fertilization with a bulb fertilizer or mulching with 11 of compost is optional.

er Rotation:

Bulbs: Remove the entire plant and bulb after flowers have faded or at the direction of the contract.

1. Bulber: Remove the entire plant and bulb after flowers have facted or at the direction of the owner, and install new plants if included in contract.
2. Summer Annuals and install new plants if included in contract.
3. Dard heading: Pinch and remove dead flowers on annuals has necessary.
4. Dard heading: Pinch and remove dead flowers on annuals has necessary as deverted to the contract of the plants of the contract of the plants of the contract of the plants of the plant

- Perannials:

 1. After initial installation, if a time-released farilitizer has been incorporated during plant installation, no more farilitizer need be applied the first growing season.

 2. The following year:

 a. Farilitize perannials with a sicu-valease farilitizer or any 50% organic farilitizer, or a. Farilitizer perannials with a sicu-valease farilitizer or any 50% organic farilitizer, or a. Cut sit decidiouse perannials fast in the ground by March 1, if this was not done the previous fast its allow new growth to develop healy.

 c. Mutch the perannial bed once in early spring at 11-22 depth. It soil is bared in late fall, exemulating highly ship reground is frizen to protect perannials.

 d. Inspect for insect or disease problems on perannials. Monthir and control stugs on hostes and fallustrians. Proderly millions on plant, monardia, and asters can be prevented with properly timed tangloties or use of disease-resistant varieties.

 Purus branching species to increase density, cut only the flowering stame after blooming. Do not remove the follago.

 The following fall cut back dependenting plant parts unless instructed to retain for wholar interest, a.g. Sectum Auturns, Joy and ornamental grasses.

- impleton Cate:

 Divide plants that overcrowd the space provided, Divide according to the species, Some need frequent dividing, e.g. states and yearous every two years: other rarely, if every e.g. poncies, hasts, and settle be care of specific perennicists, refer to Alf Abort. For divided dividing land, regarding the care of specific perennicists, refer to Alf Abort. For dividing the care of specific perennicists, refer to Alf Abort. For any the care of specific perennicists for the specific perennicists for the specific perennicists for the specific perennicists for the specific perennicists or the specific perennicists of the specific perennicists. The specific perennicists of the specific perennicists of the specific perennicists.

SUMMARY OF MAINTENANCE

- MAINTENANCE
 Soil analysis performed annually to determine pi-l. If pH does not fell within specified range, adjust according to soil test recommendations.
 Maintain proper fartifly and pH levels of the soil to provide an environment conductive to that vitably for coll season grasses.
 More warm and cool season or a rogular basis and as season and weather diclates. Remove an more than the top 1/3 of leaf blade. Clippings on preved and bad areas will
- terriowe in more sum and the sum of the sum
- barrier.
 Apply post emergent as nesded to confrol Weeds,
 Mechanically edge curbs and walks,
 Apply non-extense furthings, to mulched bad ereas and pavement and remove excess
 runners to maintain clean defined beds.
- TREE, GROUNDCOVER, AND SHRUB BED MAINTENANCE
 1. Prune shrubs, trees and groundcover to encourage healthy growth and create a nature
- Poter include, ore and groundcovers to decide the feath of your and costal a matural application to be applied in February and April.

 Mulch to be applied in February and April.

 Menuel weed control to maintain clean bed appearance.

 Menuel weed control to maintain clean bed appearance.

 Apply tampfolds and insecticates as needed to control insects and disease.

 Omamental shrubs, trees and groundcovers to be fertilized three (3) times per year with a belanced material (January)* February, April/Nay, and Cotoberthownshar)

GENERAL MAINTENANCE

1. Remove all man-made debris, blow edges.

2. Inspect grounds on a monthly basis and schedule inspection with Unit Operator.

Chick-fil-& Chick-fil-A 5200 Buffington Road Atlanta, Georgia 30349-2998





51 Old Canton Street Alpharetta, Georgia 30009

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MID PROJECT #

NO. DATE BY DESCRIPTION

FSU# 03623

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☐ Specifications

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