



13

**ORDINANCE NO. 34-09-23**

**AN ORDINANCE AMENDING THE UNIFIED DEVELOPMENT ORDINANCE  
NO. 62-12-95, AND THE SAXONY CORPORATE CAMPUS ORDINANCE NO.  
03-02-20 AND ALL AMENDMENTS THERETO, A PART OF THE COMPREHENSIVE MASTER  
PLAN FOR THE CITY OF NOBLESVILLE, HAMILTON COUNTY, INDIANA**

*Document Cross-Reference No: 2020010832, 2019046915, 2022026260*

An Ordinance to amend the Unified Development Ordinance and Ordinance No. 49-08-16, and all amendments thereto for the City of Noblesville, Hamilton County, Indiana, enacted by the City of Noblesville under the authority of Chapter 174 of the Acts of the Indiana General Assembly 1947, as amended, and

WHEREAS, the Plan Commission of the City of Noblesville has conducted a public hearing on Application No. LEGP NO. 0065-2023 as required by law concerning an amendment for a waiver to permit the installation of canopies and driveways within a side yard setback on "Lot B", a part of the "Saxony Corporate Campus", all a part of the Unified Development Ordinance and after due consideration has sent a favorable recommendation for adoption to the Council with a vote of 8 ayes, 0 nays, and 0 abstentions at their August 21, 2023 meeting, and

NOW, THEREFORE, BE IT ORDAINED by the Common Council of the City of Noblesville, Hamilton County, Indiana, meeting in regular session, that the Unified Development Ordinance, and the "Saxony Corporate Campus" Planned Development Ordinance, and all amendments thereto are hereby amended as follows:

**SECTION 1.** That the subject real estate located at 14098 Bergen Boulevard and legally described as “Lot B in the Saxony Corporate Campus” subdivision also known as Hamilton County Parcel No. 13-11-23-00-00-011.011 which is located within the zoning jurisdiction of the City of Noblesville, Hamilton County, Indiana and is currently zoned “CCPD Corporate Campus Planned Development” district with a land use category of “Commercial” and a subdistrict overlay of “Interchange” and a planned development overlay of “Saxony Corporate Campus Planned Development.”

**SECTION 2.** That this ordinance and attached “Exhibit 1” indicates the site plan and drawings of the proposed 80-SF dry storage facility and the elimination of landscaping with the addition of pervious pavers. As per the attached “Exhibit 1”, a waiver is hereby granted to allow for the reduction in landscaping adjacent to the trash receptacle enclosure.




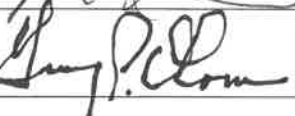
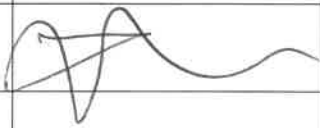




**SECTION 3.** Unless a development standard, specification, guideline, and/or requirement contained in the Unified Development Ordinance or the “Saxony Corporate Campus” Planned Development Ordinances No. 27-05-22, 03-02-20 and/or No. 38-09-19 is varied, altered, or modified by this ordinance and/or exhibits, then such development standards, specifications, guidelines, and/or requirements as specified in the Unified Development Ordinance and/or Ordinances No. 27-05-22, 03-02-20, No. 38-09-19, the Saxony Corporate Campus Planned Development Ordinances shall apply.

**SECTION 4.** This Ordinance shall be in full force and effect from and upon its adoption and publication in accordance with the law. All prior ordinances or parts thereof in conflict therewith are repealed and deemed to conform to the provisions of these amendments.

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**SECTION 5.** Upon motion duly made and seconded; this Ordinance was fully passed by the

members of the Common Council this 26<sup>th</sup> day of September, 2023.

AYE		NAY	ABSTAIN
	Brian Ayer		
	Mark Boice		
	Michael J. Davis		
	Gregory P. O'Connor		
	Darren Peterson		
	Pete Schwartz		
	Aaron Smith		
	Dan Spartz		
	Megan G. Wiles		

ATTEST:   
Evelyn L. Lees, City Clerk

*Intentionally Left Blank*

Presented by me to the Mayor of the City of Noblesville, Indiana, this 26<sup>th</sup> day of September, 2023 at 8:33 P.M.

Evelyn L. Lees  
Evelyn L. Lees, City Clerk

Chris Jensen  
Chris Jensen, Mayor

MAYOR'S APPROVAL

9-26-23  
Date

MAYOR'S VETO

\_\_\_\_\_  
Chris Jensen, Mayor

\_\_\_\_\_  
Date

ATTEST: Evelyn L. Lees  
Evelyn L. Lees, City Clerk



I, affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law.

Joyceann Yelton  
Printed Name of Declarant

Prepared by: Joyceann Yelton, Development Services Manager, City of Noblesville, 16 South 10<sup>th</sup> Street, Noblesville, IN 46060 (317) 776-6325



Chick-fil-A  
5200 Buffington Road  
Atlanta, Georgia 30349-2998

GBC Design, Inc.  
465 White Pond Dr.  
Akron, OH 44320-1123  
Phone 330-836-0228  
Fax 330-836-5782



CHICK-FIL-A  
SAXONY & I-69 FSU  
2023 CUSTOM PROJECT SOLUTIONS  
14098 BERGEN BOULEVARD  
NOBLESVILLE, IN 46060

FSU# 03623

REVISION	DATE	DESCRIPTION

GBC PROJECT # 232623  
PRINTED FOR Permit  
DATE 4/17/23  
DRAWN BY BAW

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Permit  
SHEET NUMBER  
C-000

FLOOD ZONE DESIGNATION: THIS PROPERTY IS LOCATED WITHIN AN AREA HAVING SOME DESIGNATIONS OF "X" BY THE REGIONAL EMERGENCY MANAGEMENT AGENCY, ON FLOOD INSURANCE RATE MAP NO. 1805702250G, WITH A MAP REVISED DATE OF NOVEMBER 19, 2014, IN HAMILTON COUNTY, STATE OF INDIANA, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.

LAND DESCRIPTION  
PER INSTR. NO. 2016024226  
LOT 3 OF SAXONY CORPORATE CAMPUS PLANNED DEVELOPMENT AS PER PLAT THEREOF RECORDED JUNE 25, 2015, AS INSTRUMENT NUMBER 2015011700, IN PLAT CACKET 5, SUBD. 389, IN THE OFFICE OF THE RECORDER OF HAMILTON COUNTY, INDIANA.  
PROPERTY ADDRESS: 14098 BERGEN BOULEVARD, NOBLESVILLE, INDIANA  
TAX ID. NO.: 13-11-23-00-00-011.011 / 28-11-23-00-011.011-021

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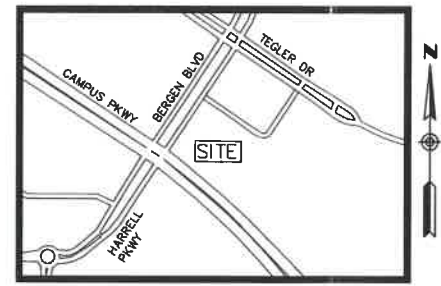


# SAXONY & I-69 FSU

STORE #3623

## CUSTOM PROJECT SOLUTIONS SITE PLANS

14098 BERGEN BOULEVARD  
CITY OF NOBLESVILLE  
COUNTY OF HAMILTON  
STATE OF INDIANA



LOCATION MAP  
NOT TO SCALE  
LATITUDE N 39°59'38" (39.9939)  
LONGITUDE W 85°55'37.9" (-85.9272)

PREPARED FOR:  
APPLICANT/DEVELOPER: CHICK-FIL-A, INC.  
5200 BUFFINGTON RD.  
ATLANTA, GEORGIA 30349-2998  
CONTACT: JOHN ROMANELLO  
PHONE: (336) 406-9128  
EMAIL: john.romanello@cfacorp.com



PREPARED BY:  
**GBC Design, Inc.**  
565 White Pond Dr. Akron, OH 44320-1123  
Phone 330-836-0228 Fax 330-836-5782  
CONTACT: GARY R. ROUSE, P.E.  
EMAIL: grouse@gbcdesign.com

CONTRACTOR RESPONSIBLE TO FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITY TIE-INS AND CROSSINGS AS SHOWN ON SITE PLANS (SANITARY, STORM, WATER, GAS, ELECTRIC, PHONE, ETC.) PRIOR TO THE START OF CONSTRUCTION. CONTACT ALLAN WILEY AT GBC DESIGN, INC., 330-836-0228, WITH ANY CONCERNS OR CONFLICTS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR TO VERIFY THE THICKNESS OF ANY OFF-SITE PAVEMENT (ASPHALT AND CONCRETE) AND SIDEWALK SO THE RESTORATION WORK IS INCLUDED IN THE BID.

LEGEND	UTILITY CONTACTS
PROF. PDC	<b>PLANNING/ENGINEERING</b> CITY OF NOBLESVILLE PLANNING DEPARTMENT 18 S. 10TH STREET NOBLESVILLE, IN 46060 ROBERTA TELFER 317-778-4333 roberta@noblesville.in.gov
EX. FIRE HYDRANT	<b>FIRE DEPARTMENT</b> NOBLESVILLE FIRE DEPARTMENT 130 S. 8TH STREET NOBLESVILLE, IN 46060 MATT MITCHELL 317-778-4333 matt@noblesville.in.us
PROF. VALVE	<b>ENGINEERING</b> CITY OF NOBLESVILLE - DEPARTMENT OF ENGINEERING 18 S. 10TH STREET NOBLESVILLE, IN 46060 JIM HELLMANN, P.E. 317-778-4333 jhellmann@noblesville.in.us
EX. VALVE	<b>ENGINEERING</b> CITY OF NOBLESVILLE - DEPARTMENT OF ENGINEERING 18 S. 10TH STREET NOBLESVILLE, IN 46060 JIM HELLMANN, P.E. 317-778-4333 jhellmann@noblesville.in.us
PROF. MANHOLE	<b>ENGINEERING</b> CITY OF NOBLESVILLE - DEPARTMENT OF ENGINEERING 18 S. 10TH STREET NOBLESVILLE, IN 46060 JIM HELLMANN, P.E. 317-778-4333 jhellmann@noblesville.in.us
EX. MANHOLE	<b>ENGINEERING</b> CITY OF NOBLESVILLE - DEPARTMENT OF ENGINEERING 18 S. 10TH STREET NOBLESVILLE, IN 46060 JIM HELLMANN, P.E. 317-778-4333 jhellmann@noblesville.in.us
PROF. BOX INLET	<b>ENGINEERING</b> CITY OF NOBLESVILLE - DEPARTMENT OF ENGINEERING 18 S. 10TH STREET NOBLESVILLE, IN 46060 JIM HELLMANN, P.E. 317-778-4333 jhellmann@noblesville.in.us
EX. BOX INLET	<b>ENGINEERING</b> CITY OF NOBLESVILLE - DEPARTMENT OF ENGINEERING 18 S. 10TH STREET NOBLESVILLE, IN 46060 JIM HELLMANN, P.E. 317-778-4333 jhellmann@noblesville.in.us
PROF. POWER POLE	<b>ENGINEERING</b> CITY OF NOBLESVILLE - DEPARTMENT OF ENGINEERING 18 S. 10TH STREET NOBLESVILLE, IN 46060 JIM HELLMANN, P.E. 317-778-4333 jhellmann@noblesville.in.us
EX. POWER POLE	<b>ENGINEERING</b> CITY OF NOBLESVILLE - DEPARTMENT OF ENGINEERING 18 S. 10TH STREET NOBLESVILLE, IN 46060 JIM HELLMANN, P.E. 317-778-4333 jhellmann@noblesville.in.us
PROF. TRIZZ	<b>ENGINEERING</b> CITY OF NOBLESVILLE - DEPARTMENT OF ENGINEERING 18 S. 10TH STREET NOBLESVILLE, IN 46060 JIM HELLMANN, P.E. 317-778-4333 jhellmann@noblesville.in.us
EX. TRIZZ	<b>ENGINEERING</b> CITY OF NOBLESVILLE - DEPARTMENT OF ENGINEERING 18 S. 10TH STREET NOBLESVILLE, IN 46060 JIM HELLMANN, P.E. 317-778-4333 jhellmann@noblesville.in.us
PROF. LIGHT POLE	<b>ENGINEERING</b> CITY OF NOBLESVILLE - DEPARTMENT OF ENGINEERING 18 S. 10TH STREET NOBLESVILLE, IN 46060 JIM HELLMANN, P.E. 317-778-4333 jhellmann@noblesville.in.us
EX. LIGHT POLE	<b>ENGINEERING</b> CITY OF NOBLESVILLE - DEPARTMENT OF ENGINEERING 18 S. 10TH STREET NOBLESVILLE, IN 46060 JIM HELLMANN, P.E. 317-778-4333 jhellmann@noblesville.in.us
PROF. CABLE T.V. LINE	<b>ENGINEERING</b> CITY OF NOBLESVILLE - DEPARTMENT OF ENGINEERING 18 S. 10TH STREET NOBLESVILLE, IN 46060 JIM HELLMANN, P.E. 317-778-4333 jhellmann@noblesville.in.us
EX. CABLE T.V. LINE	<b>ENGINEERING</b> CITY OF NOBLESVILLE - DEPARTMENT OF ENGINEERING 18 S. 10TH STREET NOBLESVILLE, IN 46060 JIM HELLMANN, P.E. 317-778-4333 jhellmann@noblesville.in.us
PROF. ELECTRIC LINE	<b>ENGINEERING</b> CITY OF NOBLESVILLE - DEPARTMENT OF ENGINEERING 18 S. 10TH STREET NOBLESVILLE, IN 46060 JIM HELLMANN, P.E. 317-778-4333 jhellmann@noblesville.in.us
EX. ELECTRIC LINE	<b>ENGINEERING</b> CITY OF NOBLESVILLE - DEPARTMENT OF ENGINEERING 18 S. 10TH STREET NOBLESVILLE, IN 46060 JIM HELLMANN, P.E. 317-778-4333 jhellmann@noblesville.in.us
PROF. GAS LINE	<b>ENGINEERING</b> CITY OF NOBLESVILLE - DEPARTMENT OF ENGINEERING 18 S. 10TH STREET NOBLESVILLE, IN 46060 JIM HELLMANN, P.E. 317-778-4333 jhellmann@noblesville.in.us
EX. GAS LINE	<b>ENGINEERING</b> CITY OF NOBLESVILLE - DEPARTMENT OF ENGINEERING 18 S. 10TH STREET NOBLESVILLE, IN 46060 JIM HELLMANN, P.E. 317-778-4333 jhellmann@noblesville.in.us
PROF. TELEPHONE LINE	<b>ENGINEERING</b> CITY OF NOBLESVILLE - DEPARTMENT OF ENGINEERING 18 S. 10TH STREET NOBLESVILLE, IN 46060 JIM HELLMANN, P.E. 317-778-4333 jhellmann@noblesville.in.us
EX. TELEPHONE LINE	<b>ENGINEERING</b> CITY OF NOBLESVILLE - DEPARTMENT OF ENGINEERING 18 S. 10TH STREET NOBLESVILLE, IN 46060 JIM HELLMANN, P.E. 317-778-4333 jhellmann@noblesville.in.us
PROF. SANITARY SEWER	<b>ENGINEERING</b> CITY OF NOBLESVILLE - DEPARTMENT OF ENGINEERING 18 S. 10TH STREET NOBLESVILLE, IN 46060 JIM HELLMANN, P.E. 317-778-4333 jhellmann@noblesville.in.us
EX. SANITARY SEWER	<b>ENGINEERING</b> CITY OF NOBLESVILLE - DEPARTMENT OF ENGINEERING 18 S. 10TH STREET NOBLESVILLE, IN 46060 JIM HELLMANN, P.E. 317-778-4333 jhellmann@noblesville.in.us
PROF. SANITARY LATERAL	<b>ENGINEERING</b> CITY OF NOBLESVILLE - DEPARTMENT OF ENGINEERING 18 S. 10TH STREET NOBLESVILLE, IN 46060 JIM HELLMANN, P.E. 317-778-4333 jhellmann@noblesville.in.us
EX. SANITARY LATERAL	<b>ENGINEERING</b> CITY OF NOBLESVILLE - DEPARTMENT OF ENGINEERING 18 S. 10TH STREET NOBLESVILLE, IN 46060 JIM HELLMANN, P.E. 317-778-4333 jhellmann@noblesville.in.us
PROF. STORM SEWER	<b>ENGINEERING</b> CITY OF NOBLESVILLE - DEPARTMENT OF ENGINEERING 18 S. 10TH STREET NOBLESVILLE, IN 46060 JIM HELLMANN, P.E. 317-778-4333 jhellmann@noblesville.in.us
EX. STORM SEWER	<b>ENGINEERING</b> CITY OF NOBLESVILLE - DEPARTMENT OF ENGINEERING 18 S. 10TH STREET NOBLESVILLE, IN 46060 JIM HELLMANN, P.E. 317-778-4333 jhellmann@noblesville.in.us
PROF. ROOF DRAIN	<b>ENGINEERING</b> CITY OF NOBLESVILLE - DEPARTMENT OF ENGINEERING 18 S. 10TH STREET NOBLESVILLE, IN 46060 JIM HELLMANN, P.E. 317-778-4333 jhellmann@noblesville.in.us
EX. ROOF DRAIN	<b>ENGINEERING</b> CITY OF NOBLESVILLE - DEPARTMENT OF ENGINEERING 18 S. 10TH STREET NOBLESVILLE, IN 46060 JIM HELLMANN, P.E. 317-778-4333 jhellmann@noblesville.in.us
PROF. WATER LINE	<b>ENGINEERING</b> CITY OF NOBLESVILLE - DEPARTMENT OF ENGINEERING 18 S. 10TH STREET NOBLESVILLE, IN 46060 JIM HELLMANN, P.E. 317-778-4333 jhellmann@noblesville.in.us
EX. WATER LINE	<b>ENGINEERING</b> CITY OF NOBLESVILLE - DEPARTMENT OF ENGINEERING 18 S. 10TH STREET NOBLESVILLE, IN 46060 JIM HELLMANN, P.E. 317-778-4333 jhellmann@noblesville.in.us
PROF. FENCE	<b>ENGINEERING</b> CITY OF NOBLESVILLE - DEPARTMENT OF ENGINEERING 18 S. 10TH STREET NOBLESVILLE, IN 46060 JIM HELLMANN, P.E. 317-778-4333 jhellmann@noblesville.in.us
EX. FENCE	<b>ENGINEERING</b> CITY OF NOBLESVILLE - DEPARTMENT OF ENGINEERING 18 S. 10TH STREET NOBLESVILLE, IN 46060 JIM HELLMANN, P.E. 317-778-4333 jhellmann@noblesville.in.us
PROF. CURB	<b>ENGINEERING</b> CITY OF NOBLESVILLE - DEPARTMENT OF ENGINEERING 18 S. 10TH STREET NOBLESVILLE, IN 46060 JIM HELLMANN, P.E. 317-778-4333 jhellmann@noblesville.in.us
EX. CURB	<b>ENGINEERING</b> CITY OF NOBLESVILLE - DEPARTMENT OF ENGINEERING 18 S. 10TH STREET NOBLESVILLE, IN 46060 JIM HELLMANN, P.E. 317-778-4333 jhellmann@noblesville.in.us
PROF. CURB	<b>ENGINEERING</b> CITY OF NOBLESVILLE - DEPARTMENT OF ENGINEERING 18 S. 10TH STREET NOBLESVILLE, IN 46060 JIM HELLMANN, P.E. 317-778-4333 jhellmann@noblesville.in.us
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*****	<b>ENGINEERING</b> CITY OF NOBLESVILLE - DEPARTMENT OF ENGINEERING 18 S. 10TH STREET NOBLESVILLE, IN 46060 JIM HELLMANN, P.E. 317-778-4333 jhellmann@noblesville.in.us
FLOOD PLAN LIMITS	<b>ENGINEERING</b> CITY OF NOBLESVILLE - DEPARTMENT OF ENGINEERING 18 S. 10TH STREET NOBLESVILLE, IN 46060 JIM HELLMANN, P.E. 317-778-4333 jhellmann@noblesville.in.us

BENCHMARK	PK NAIL SET
TM #1	ELEVATION = 831.40
TM #2	ELEVATION = 830.44

As-built Type	Required		Required before Certificate of Occupancy		Signed and Sealed Survey Required	
	Yes	No	Yes	No	Yes	No
Sanitary Service	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Storm Sewer	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Storm Water BMP's	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Water Service	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Full Site	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

- GENERAL NOTES**
- THE CONSTRUCTION OF THIS PROJECT SHALL BE GOVERNED BY THE INDIANA DEPARTMENT OF TRANSPORTATION (INDOT) CONSTRUCTION AND MATERIAL SPECIFICATIONS, CURRENT EDITION, THE INDOT STANDARD CONSTRUCTION DRAWINGS, AND THE CITY ENGINEERS AND STANDARD CONSTRUCTION DRAWINGS.
  - ALL DISTURBED GREEN AREAS SHALL BE TOP DRESSED AND RE-SEEDED.
  - CALL INDOT ONE CALL, 811, 48 HOURS PRIOR TO CONSTRUCTION.
  - ALL STORM SEWERS SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) SMOOTH LINED PIPE MEETING ASTM D3034 (UNLESS OTHERWISE STATED). TYPE 5 MAY BE USED.
  - EARTHWORK AND SITE PREPARATION SHALL BE AS SPECIFIED IN THE SOILS REPORT.
  - ELECTRICAL CONDUIT SHALL BE AS REQUIRED BY THE POWER COMPANY.
  - TELEPHONE CONDUIT SHALL BE AS REQUIRED BY THE PHONE COMPANY.
  - GAS SERVICE SHALL BE AS REQUIRED BY THE GAS COMPANY.
  - THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS IN THE ENGINEERING AND BUILDING DEPARTMENTS.
  - ROOF DRAINS MUST BE CONNECTED DIRECTLY TO THE STORM SEWER.
  - THE CONTRACTOR IS RESPONSIBLE FOR ANY ADDITIONAL SILTATION CONTROL MEASURES NECESSARY TO PREVENT SILT FROM LEAVING THE SITE.
  - THE CONTRACTOR IS RESPONSIBLE FOR LEGAL REMOVAL OF DEMOLITION MATERIAL AND DEBRIS.
  - THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL DISTURBED AREAS TO THEIR ORIGINAL CONDITION, OR BETTER.
  - ROOF DRAINS, FOUNDATION DRAINS AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
  - PROCES BID PER FOOT FOR ALL PIPES IS COMPLETE IN PLACE REGARDLESS OF SOIL OR ROCK CONDITIONS.
  - TEMPORARY SOIL EROSION AND SEDIMENT CONTROL WILL BE REQUIRED IN ACCORDANCE WITH THE CITY OF NOBLESVILLE ENGINEERING DEPARTMENT.
  - THE CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE TO THE CITY ENGINEER AND PUBLIC WORKS DEPARTMENT PRIOR TO BEGINNING WORK TO ARRANGE FOR INSPECTION.
  - ALL STORM SEWER RUN DISTANCES ARE FROM CENTERLINE TO CENTERLINE OF MANHOLES OR CATCH BASINS. ALL PIPE INVERT ELEVATIONS GIVEN AT MANHOLES ARE AT CENTERLINE OF MANHOLE. ALL STORM SEWER INLETS AND MANHOLES ARE TO HAVE TOP ELEVATIONS.
  - A 12 INCH MINIMUM VERTICAL CLEARANCE SHALL BE MAINTAINED FROM THE OUTSIDE EDGE OF ALL WATER MAIN PIPE TO THE OUTSIDE EDGE OF ALL STORM SEWER PIPE.
  - A 4 FOOT MINIMUM HORIZONTAL CLEARANCE SHALL BE MAINTAINED FROM THE OUTSIDE EDGE OF ALL WATER MAIN PIPE TO THE OUTSIDE EDGE OF THE SANITARY SEWER PIPE OR FORCE MAIN PIPE.
  - A 10 FOOT MINIMUM HORIZONTAL CLEARANCE SHALL BE MAINTAINED FROM THE OUTSIDE EDGE OF THE WATER MAIN PIPE TO THE OUTSIDE EDGE OF THE SANITARY SEWER PIPE OR FORCE MAIN PIPE.
  - AN 18" MINIMUM VERTICAL CLEARANCE SHALL BE MAINTAINED FROM THE OUTSIDE EDGE OF ALL WATER MAIN PIPE TO THE OUTSIDE EDGE OF ALL SANITARY SEWER PIPE.
  - ALL SANITARY SEWERS SHALL CONSIST OF PVC SDR-35 MEETING ASTM D-3034 WITH JOINTS CONFORMING TO ASTM D-3212 UNLESS OTHERWISE NOTED.

FLOOD ZONE DESIGNATION: THIS PROPERTY IS LOCATED WITHIN AN AREA HAVING ZONE DESIGNATIONS OF "X" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, ON FLOOD INSURANCE RATE MAP NO. 18057C0226D, WITH A MAP REVISED DATE OF NOVEMBER 19, 2014, IN HAMILTON COUNTY, STATE OF INDIANA, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD LENGTH	CHORD BEARING
C1	232.08'	3374.04'	3°59'28"	116.09'	232.04'	N 49°50'52" W

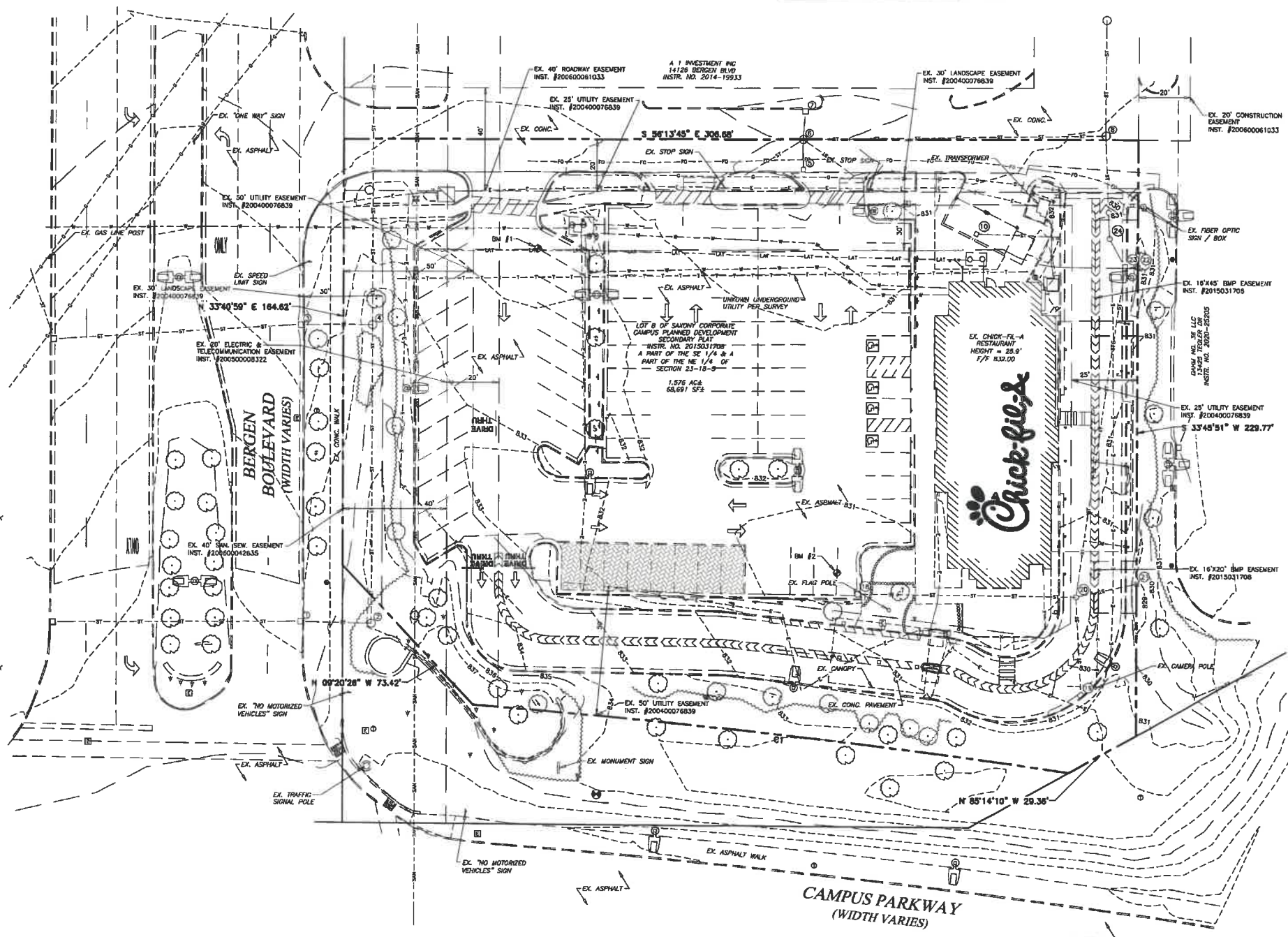


SCALE: 1" = 20'

- LEGEND**
- EX. FIRE HYDRANT
  - EX. VALVE
  - EX. MANHOLE
  - EX. CATCH BASIN
  - EX. BOX INLET
  - EX. LIGHT POLE
  - EX. DECORATIVE LAMP
  - EX. POWER POLE
  - EX. TREE
  - EX. TELEPHONE LINE
  - EX. ELECTRIC LINE
  - EX. OVER-HEAD WIRE
  - EX. GAS LINE
  - EX. SANITARY SEWER
  - EX. STORM SEWER
  - EX. WATER LINE
  - EX. CURB

**EXISTING STORM SEWER STRUCTURE SCHEDULE**

1. EX. CURB INLET  
TOP 833.66  
INV. 828.86, 12" NW  
INV. 828.86, 12" SE
2. EX. STA. M.A.  
TOP 836.32  
INV. 828.51, 12" NW  
INV. 828.51, 12" NE
3. EX. CURB INLET  
TOP 831.30  
INV. 827.15, 12" NW  
INV. 827.15, 12" SE
4. EX. STA. M.A.  
TOP 834.70  
INV. 828.41, 12" SW  
INV. 828.41, 12" NE  
INV. 828.41, 12" W
5. EX. CATCH BASIN  
TOP 828.69  
INV. 824.09, 12" NE
6. EX. STA. M.A.  
TOP 828.91  
INV. 825.11, 12" SW  
INV. 825.11, 15" NE  
INV. 825.11, 15" S  
INV. 825.11, 15" W  
INV. 825.11, 15" SE
7. EX. CURB INLET  
TOP 828.40  
UNABLE TO MEASURE INVERTS
8. EX. STA. M.A.  
TOP 831.05  
INV. 823.04, 15" NW  
INV. 823.04, 15" NE  
INV. 823.04, 24" SW
9. EX. RHD. INLET  
TOP 831.05  
INV. 823.18, 24" NE  
INV. 823.18, 24" SW
10. EX. CATCH BASIN  
TOP 831.73  
INV. 828.40, 15" SE
11. EX. CURB INLET  
TOP 830.19  
INV. 827.28, 12" SE  
INV. 827.96, 4" SW
12. EX. INLET TYPE M/A W/  
E/W 7030 W/ M2 GRATE & T1 BACK  
TOP 830.25  
INV. 825.75, 12" NE
13. EX. MANHOLE TYPE C W/  
TYPE A LED  
TOP 830.78  
INV. 825.58, 12" SW  
INV. 825.31, 15" NE  
INV. 825.63, 12" SE  
INV. 826.25, 12" NW
14. EX. INLET TYPE A W/ E/W 5250  
TOP 828.75  
INV. 825.75, 12" NW
15. EX. INLET TYPE A W/ E/W 5250  
TOP 830.50  
INV. 827.50, 12" NW
16. EX. INLET TYPE M/A W/  
E/W 7030 W/ M2 GRATE & T1 BACK  
TOP 831.05  
INV. 824.04, 15" SW  
INV. 823.90, 18" W  
INV. 827.35, 12" SE
17. PROP. HYDRO INTERNATIONAL FIRST  
DEFENSE HIGH CAPACITY UNIT  
TOP 833.69  
INV. 825.71, 18" S  
INV. 823.21, 24" NE



Chick-fil-A  
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Atlanta, Georgia 30349-2998

GBC Design, Inc.  
665 Wilkes Road Dr.  
Altoona, OH 44803-3128  
Phone 800-858-0293



**CHICK-FIL-A**  
SAXONY & I-69 FSU  
2023 CUSTOM PROJECT SOLUTIONS  
14098 BERGEN BOULEVARD  
NOBLESVILLE, IN 46060

FSU# 03623

REVISION	NO.	DATE	DESCRIPTION

GBC PROJECT #	5320292
PREPARED FOR	Permit
DATE	4/17/23
DRAWN BY	BAW

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**Permit**  
EXISTING  
CONDITIONS  
PLAN

SHEET NUMBER

C-100

CONTRACTOR RESPONSIBLE TO FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITY TIE-INS AND CROSSINGS AS SHOWN ON SITE PLANS (SANITARY, STORM, WATER, GAS, ELECTRIC, PHONE, ETC.) PRIOR TO THE START OF CONSTRUCTION. CONTACT ALLAN WILEY AT GBC DESIGN, INC., 330-B36-0228, WITH ANY CONCERNS OR CONFLICTS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR TO VERIFY THE THICKNESS OF ANY OFF-SITE PAVEMENT (ASPHALT AND CONCRETE) AND SIDEWALK SO THE RESTORATION WORK IS INCLUDED IN THE BID.

**DEMOLITION NOTES**

- ① EXISTING ASPHALT PAVEMENT TO BE SAWCUT FULL DEPTH AND REMOVED AS NEEDED FOR NEW CONSTRUCTION
- ② EXISTING CONCRETE CURB TO BE SAWCUT AND REMOVED AS NEEDED FOR NEW CONSTRUCTION
- ③ EXISTING CONCRETE WALK/PATIO TO BE SAWCUT AND REMOVED AS NEEDED FOR NEW CONSTRUCTION
- ④ EXISTING SANITARY LATERAL/CLEANOUT TO REMAIN
- ⑤ EXISTING SIGN TO REMAIN
- ⑥ EXISTING TREE TO REMAIN
- ⑦ EXISTING ELECTRIC TO REMAIN

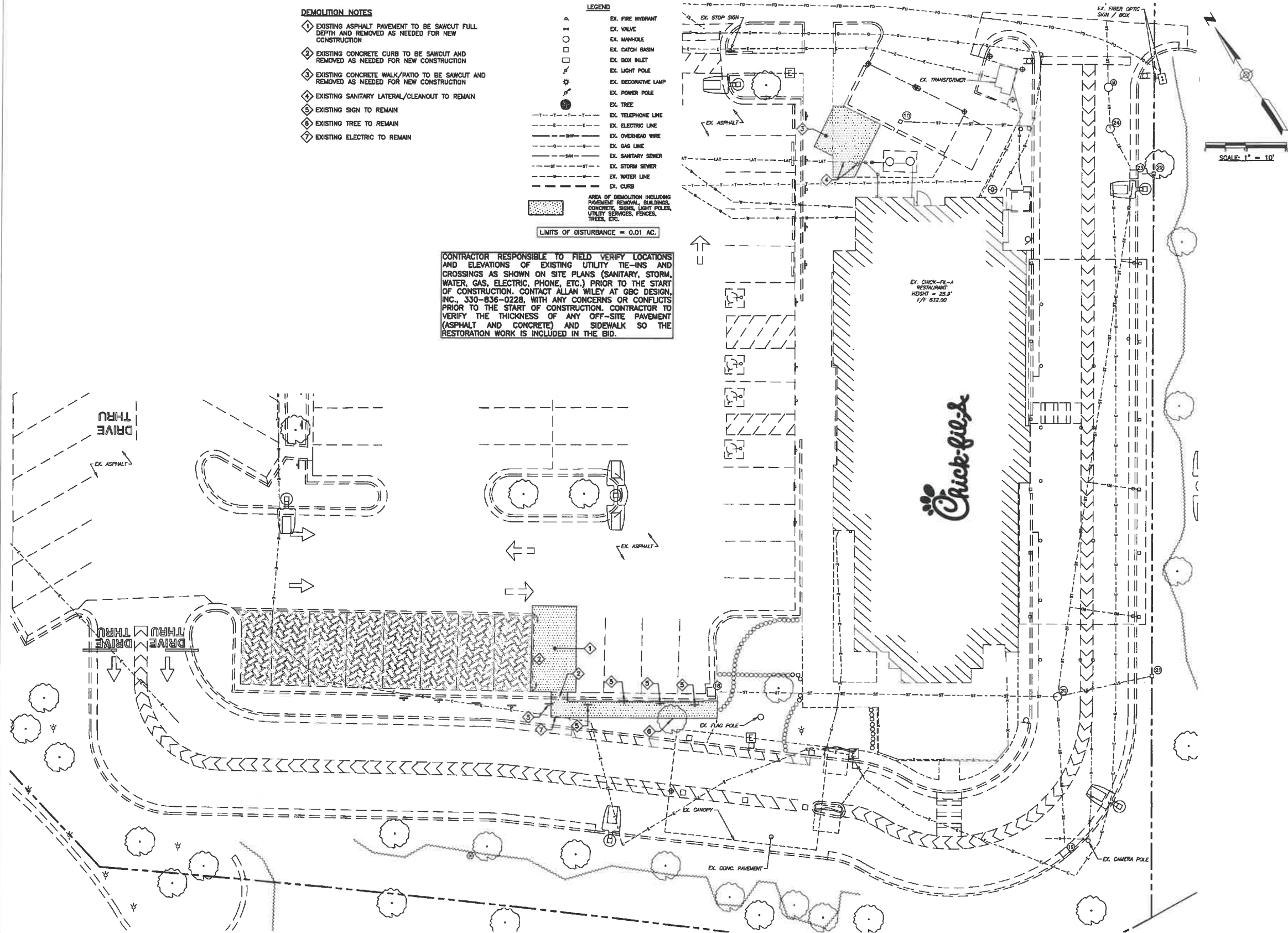
**LEGEND**

- EX. FIRE HYDRANT
- EX. VALVE
- EX. MANHOLE
- EX. CATCH BASIN
- EX. BOX INLET
- EX. LIGHT POLE
- EX. DECORATIVE LAMP
- EX. POWER POLE
- EX. TREE
- EX. TELEPHONE LINE
- EX. ELECTRIC LINE
- EX. OVERHEAD WIRE
- EX. GAS LINE
- EX. SANITARY SEWER
- EX. STORM SEWER
- EX. WATER LINE
- EX. CURB

AREA OF DEMOLITION INCLUDING PAVEMENT REMOVAL, BUILDINGS, CONCRETE SIGNS, LIGHT POLES, UTILITY SERVICES, FENCES, TREES, ETC.

LIMITS OF DISTURBANCE = 0.01 AC.

CONTRACTOR RESPONSIBLE TO FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITY TIE-INS AND CROSSINGS AS SHOWN ON SITE PLANS (SANITARY, STORM, WATER, GAS, ELECTRIC, PHONE, ETC.) PRIOR TO THE START OF CONSTRUCTION. CONTACT ALLAN WILEY AT GBC DESIGN, INC., 330-836-0228, WITH ANY CONCERNS OR CONFLICTS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR TO VERIFY THE THICKNESS OF ANY OFF-SITE PAVEMENT (ASPHALT AND CONCRETE) AND SIDEWALK SO THE RESTORATION WORK IS INCLUDED IN THE BID.



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**CHICK-FIL-A**  
SAXONY & I-69 FSU  
2023 CUSTOM PROJECT SOLUTIONS  
14098 BERGEN BOULEVARD  
NOBLESVILLE, IN 46060

FSU# 03623

NO.	DATE	DESCRIPTION

GBC PROJECT # 5202912  
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DATE 4/17/23  
DRAWN BY BAW

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**DEMOLITION PLAN**

Permit SHEET NUMBER **C-110**

FLOOD ZONE DESIGNATION: THIS PROPERTY IS LOCATED WITHIN AN AREA AMONG ZONE DESIGNATIONS OF "X" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, ON FLOOD INSURANCE RATE MAP NO. 18037C0283C, WITH A MAP REVISION DATE OF NOVEMBER 19, 2014, IN HAMILTON COUNTY, STATE OF INDIANA, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.

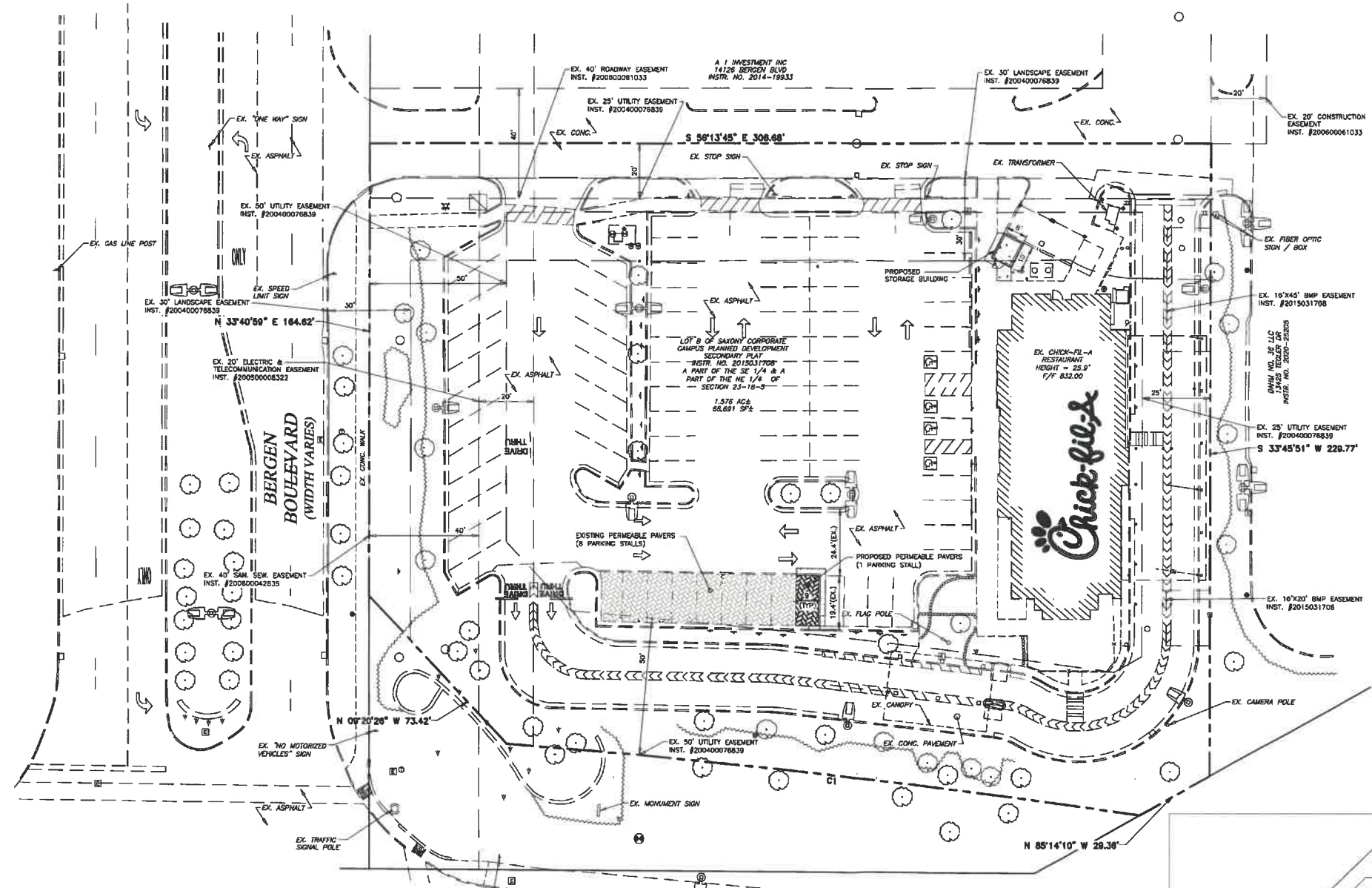
CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BEARING
C1	232.08'	3374.04'	3°56'28"	116.09'	N 49°50'52" W



SCALE: 1" = 20'

LEGEND

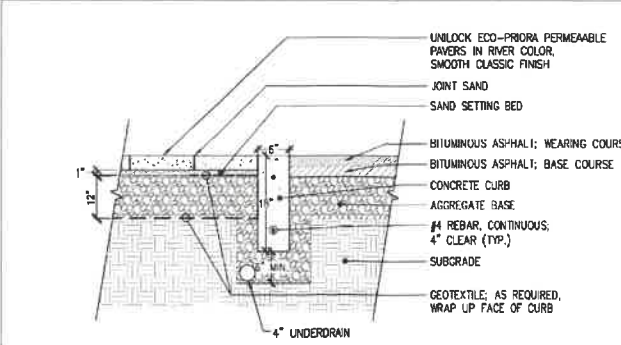
- ▲ PROP. FIRE HYDRANT
- △ EX. FIRE HYDRANT
- ⊕ PROP. VALVE
- ⊖ EX. VALVE
- PROP. MANHOLE
- ⊙ EX. MANHOLE
- PROP. INLET
- ⊠ EX. BOX INLET
- ⊡ EX. LIGHT POLE
- ⊢ PROP. LIGHT POLE
- ▭ PROP. ACCESSIBLE RAMP RAMP IS NOT TO BE SLOPED OR GROOVED
- ▩ EX. CURB
- ▮ PROP. CURB & GUTTER
- ▯ PROP. ASPHALT PAVEMENT
- ▨ PROP. CONCRETE PAVEMENT/WALK
- ▧ PERMEABLE PAVERS SEE DETAIL THIS SHEET



EXISTING AREA TABULATION	
IMPERVIOUS AREA	= 4,878 S.F.
BUILDINGS	= 24,077 S.F.
ASPHALT PAVEMENT	= 22,281 S.F.
CONCRETE PAVEMENT	= 51,344 S.F. (74.78%)
SUBTOTAL	
PERVIOUS AREA	= 1,443 S.F. (2.10%)
PERMEABLE PAVEMENT	= 15,904 S.F. (23.10%)
LANDSCAPE/PLANTING	
TOTAL AREA	= 88,691 S.F. (1.5789 AC.)
NEW DEVELOPMENT AREA TABULATION	
IMPERVIOUS AREA	= 4,878 S.F.
BUILDINGS	= 23,821 S.F.
ASPHALT PAVEMENT	= 22,284 S.F.
CONCRETE PAVEMENT	= 51,301 S.F. (74.68%)
SUBTOTAL	
PERVIOUS AREA	= 1,599 S.F. (2.33%)
PERMEABLE PAVEMENT	= 15,791 S.F. (22.89%)
LANDSCAPE/PLANTING	
TOTAL AREA	= 88,691 S.F. (1.5789 AC.)

PARCEL ID: 13-11-23-00-00-011.011	BUILDING DIMENSIONS (SEE SITE LAYOUT PLAN)
PARCEL SIZE: 1.5789 AC.	SQUARE FOOTAGE AREA (GROSS) 4,878 S.F.
ZONING INFORMATION:	NUMBER OF SECTS 134 INDOOR
EXISTING ZONING: OCCPO (CORPORATE CAMPUS PLANNED DEVELOPMENT)	NUMBER OF STORES SINGLE/ONE (1)
EXISTING LAND USE: CHECK-FIL-A	REQUIREMENT: 4 SPACES PER 1,000 S.F. OF BUILDING AREA
PROPOSED LAND USE: CHECK-FIL-A	4,878 S.F. / 1,000 S.F. x 4 SPACES = 19.5 = 20 SPACES
HEIGHT DISTRICT: 40'	PARKING SPACES PROVIDED (EXISTING):
ADJACENT ZONING & LAND USE:	REGULAR SPACES = 75
FRONT (S) OCCPO HAMILTON TOWN CENTER	ACCESSIBLE SPACES = 4
LEFT SIDE (W) OCCPO BERGEN BOULEVARD	TOTAL = 79
RIGHT SIDE (E) OCCPO CAR WASH	
REAR (N) OCCPO GAS STATION	
REQUIRED SETBACKS:	
BUILDING	LANDSCAPING
FRONT (HAMILTON TOWN CENTER) 20'	20'
LEFT SIDE (BERGEN BOULEVARD) 25'	15'
RIGHT SIDE (CAR WASH) 25'	15'
REAR (GAS STATION) 25'	15'

CONTRACTOR RESPONSIBLE TO FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITY TIE-INS AND CROSSINGS AS SHOWN ON SITE PLANS (SANITARY, STORM, WATER, GAS, ELECTRIC, PHONE, ETC.) PRIOR TO THE START OF CONSTRUCTION. CONTACT ALLAN WILEY AT GBC DESIGN, INC., 330-836-0228, WITH ANY CONCERNS OR CONFLICTS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR TO VERIFY THE THICKNESS OF ANY OFF-SITE PAVEMENT (ASPHALT AND CONCRETE) AND SIDEWALK SO THE RESTORATION WORK IS INCLUDED IN THE BID.



COMMERCIAL APPLICATION PAVER DETAIL	NOTES:	CROSS SECTION
	This cross section is intended for preliminary design purposes only. Confirm site conditions and consult with a qualified design professional or installer prior to installation.	PAVERS WITH CONCRETE SEPARATION CURB AND BITUMINOUS ASPHALT DESIGNED TO CONNECT
CREATED: MARCH 1, 2011		
REVISED: MARCH 8, 2014		
FILE NAME: CS-6-COM-PAVER-BITONG		



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2023 CUSTOM PROJECT SOLUTIONS  
14098 BERGEN BOULEVARD  
NOBLESVILLE, IN 46066

FSU# 03623

REVISION	SCHEDULE	DESCRIPTION

SITE PLAN

Permit

SHEET NUMBER

C-200

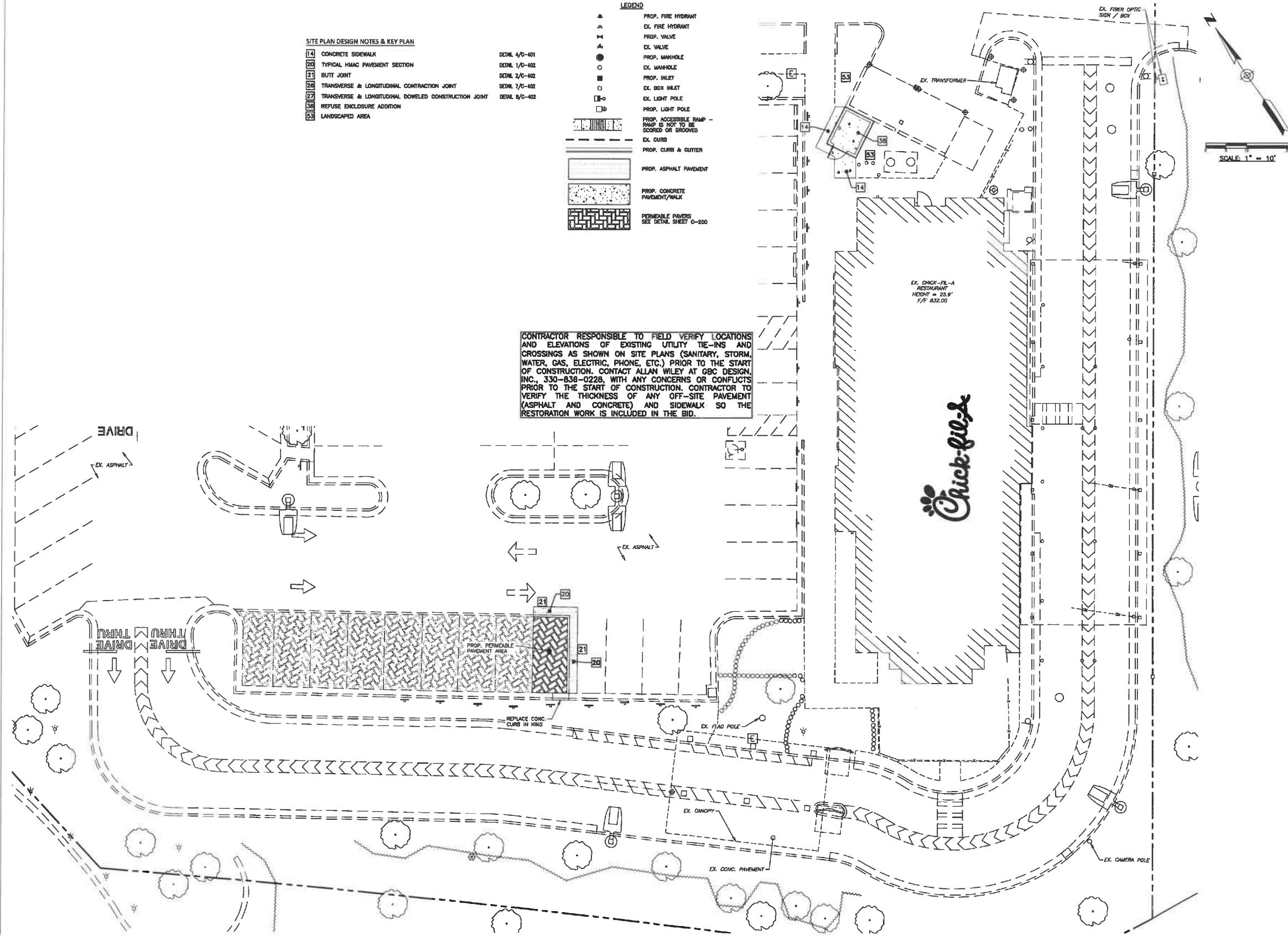


**SITE PLAN DESIGN NOTES & KEY PLAN**

- 14 CONCRETE SIDEWALK DETAIL 4/C-101
- 20 TYPICAL HIAC PAVEMENT SECTION DETAIL 1/C-102
- 21 BUTT JOINT DETAIL 2/C-102
- 26 TRANSVERSE & LONGITUDINAL CONTRACTION JOINT DETAIL 7/C-102
- 27 TRANSVERSE & LONGITUDINAL DOWELED CONSTRUCTION JOINT DETAIL 8/C-102
- 28 REFUSE ENCLOSURE ADDITION
- 29 LANDSCAPED AREA

- LEGEND**
- ▲ PROP. FIRE HYDRANT
  - △ EX. FIRE HYDRANT
  - PROP. VALVE
  - EX. VALVE
  - PROP. MANHOLE
  - EX. MANHOLE
  - PROP. INLET
  - EX. BOX INLET
  - PROP. LIGHT POLE
  - EX. LIGHT POLE
  - PROP. ACCESSIBLE RAMP - RAMP IS NOT TO BE SCORED OR GROOVED
  - EX. CURB
  - PROP. CURB & GUTTER
  - EX. CURB & GUTTER
  - PROP. ASPHALT PAVEMENT
  - EX. ASPHALT PAVEMENT
  - PROP. CONCRETE PAVEMENT/WALK
  - EX. CONCRETE PAVEMENT/WALK
  - PERMEABLE PAVING SEE DETAIL SHEET C-200

CONTRACTOR RESPONSIBLE TO FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITY TIE-INS AND CROSSINGS AS SHOWN ON SITE PLANS (SANITARY, STORM, WATER, GAS, ELECTRIC, PHONE, ETC.) PRIOR TO THE START OF CONSTRUCTION. CONTACT ALLAN WILEY AT GBC DESIGN, INC., 330-838-0228, WITH ANY CONCERNS OR CONFLICTS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR TO VERIFY THE THICKNESS OF ANY OFF-SITE PAVEMENT (ASPHALT AND CONCRETE) AND SIDEWALK SO THE RESTORATION WORK IS INCLUDED IN THE BID.



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**CHICK-FIL-A**  
SAXONY & I-69 FSU  
2023 CUSTOM PROJECT SOLUTIONS  
14098 BERGEN BOULEVARD  
NOBLESVILLE, IN 46060

FSU# 03623

REVISION	NO.	DATE	DESCRIPTION

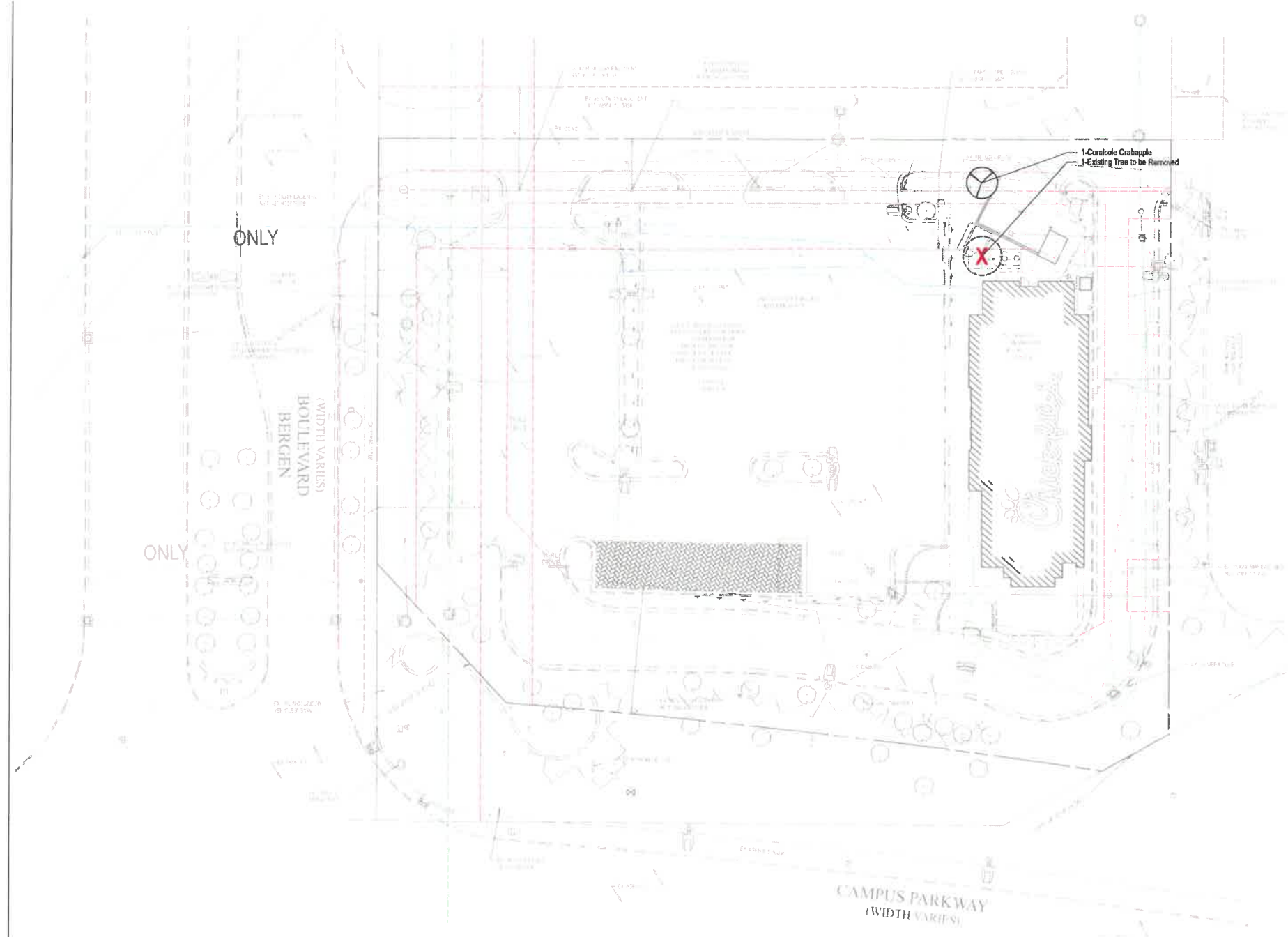
GBC PROJECT #	5332823
PRINTED FOR	Permit
DATE	4/17/22
DRAWN BY	BAW

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SHEET  
**SITE PLAN  
DETAIL**

Permit  
SHEET NUMBER

C-210






**MIDWEST LANDSCAPE NOTES**

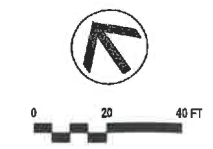
- Landscape Contractor to read and understand the Landscape Specifications prior to finalizing bids. The Landscape Specifications shall be adhered to throughout the construction process.
- Contractor is responsible for locating and protecting all underground utilities prior to digging.
- Contractor is responsible for protecting existing trees from damage during construction.
- All tree protection devices to be installed prior to the start of land disturbance, and maintained until final landscaping.
- All tree protection areas to be inspected daily, and repaired or replaced as needed.
- All tree protection fencing to be inspected daily, and repaired or replaced as needed.
- No parking, storage or other construction activities are to occur within tree protection areas.
- All planting areas shall be cleaned of construction debris (i.e. concrete, rock, rubble, building materials, etc.) prior to adding and spreading of the topsoil.
- General Contractor is responsible for adding a min of 4" clean friable topsoil in all planting beds and all grassed areas. Graded areas to be held down the appropriate elevation to account for topsoil depth. See Landscape Specifications for required topsoil characteristics.
- In all parking lot islands, the General Contractor is responsible to remove all debris, (fractured/loose) aggregate to a min. 24" depth. Add topsoil to a 4"-6" farm height above island curbing; refer to landscape specifications and landscape island detail.
- Prior to beginning work, the Landscape Contractor shall inspect the subsurface, general site conditions, verify elevations, utility locations, encroachments, approved topsoil provided by the General Contractor and observe the site conditions under which the work is to be done. Notify the General Contractor of any unsatisfactory conditions, work shall not proceed until such conditions have been corrected and are acceptable to the Landscape Contractor.
- Any deviations from the approved set of plans are to be approved by the Landscape Architect.
- Landscaping shall be installed in conformance with ANSI Z60.1 the "American Standard for Nursery Stock" and the accepted standards of the American Association of Nurserymen.
- Existing grass in proposed planting areas shall be killed and removed. Hand rake to remove all rocks and debris larger than 1 inch in diameter, prior to adding topsoil and planting shrubs.
- Soil to be tested to determine fertilizer and lime requirements prior to laying soil.
- Annual and perennial beds: add min. 4 inch layer of organic material and fill to a min. depth of 12 inches. Match annual and perennial beds with 3-3 inch depth of rain gutters.
- All shrub beds (existing and new) to be mulched with a min. 3 inch layer of mulch. Rock Mulch to be provided around the building as shown and called out on the landscape plan, all other planting beds are to be mulched with double shredded hardwood mulch.
- Planting holes to be dug a minimum of twice the width of the root ball, for both shrub and tree. Set plant material 2-3" above finish grade. Backfill planting pit with topsoil and native excavated soil.
- Soil to be delivered fresh (Cut less than 24 hours prior to arriving on site), laid immediately, rolled, and watered thoroughly immediately after planting. Edge of soil at planting beds are to be "V" inverted; see Landscape Details.
- Any existing grass disturbed during construction to be fully removed, regraded and replaced. All tree marks and indications to be repaired.
- Water thoroughly twice in first 24 hours and apply mulch immediately.
- The Landscape Contractor shall guarantee all plants installed for one full year from date of acceptance by the owner. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period. The Landscape Contractor shall not be responsible for acts of God or vandalism. See Landscape Specifications for Warranty requirements/expectations.
- Any plant that is determined dead, in an unhealthy, unsightly condition, lost its shape due to frost damage, or other symptoms of poor, non-vigorous growth, shall be replaced by the Landscape Contractor. See Landscape Specifications for Warranty requirements/expectations.
- Site to be 100% irrigated in all planting beds and grass area by an automatic underground irrigation system. Irrigation as-built shall be provided to the Landscape Architect within 24 hours of irrigation install completion.
- Stake all emergent and deciduous trees as shown in the planting detail and as per the Landscape Specifications.
- Remove stakes and guying from all trees after one year from planting.

**PLANT LIST**

Qty	Botanical Name	Common Name	Substituted Size
1	Mahoe x 'Cornucopia'	Cornucopia Crabapple	8' Hgt. 1.5" Cal.

**LEGEND**

-  EXISTING TREE TO BE REMOVED
-  EXISTING TREE TO REMAIN
-  TREE PROTECTION FENCING



**CHICK-FIL-A**  
**SAXONY & 1-69**  
**14098 BERGEN BOULEVARD**  
**NOBLESVILLE, IN 46060**

**FSU# 03623**

**REVISION SCHEDULE**  
 NO. DATE BY DESCRIPTION

MLD PROJECT #	2023140
PRINTED FOR	PERMIT
DATE	5/16/23
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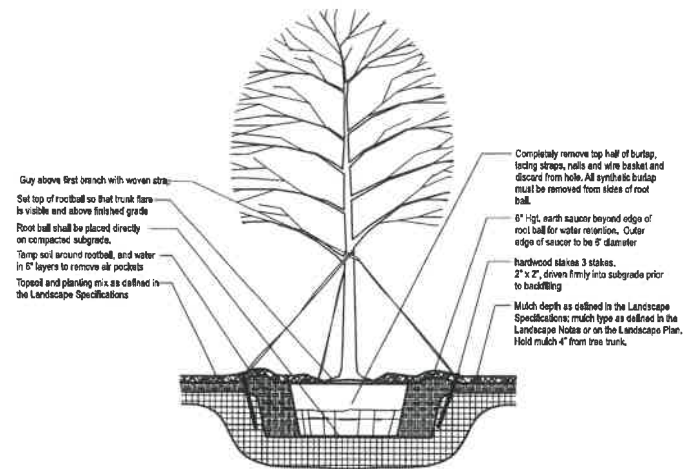
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**SECRET**

**Landscape Plan**

**SHEET NUMBER**  
**L-100**

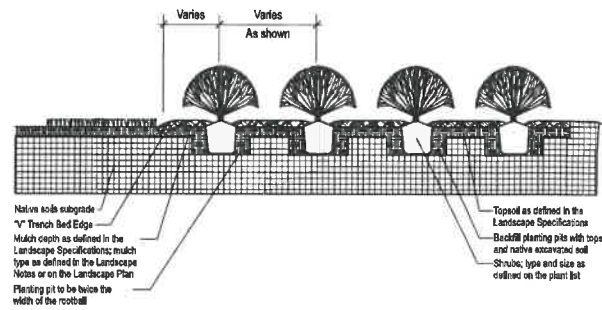
**PERMIT**



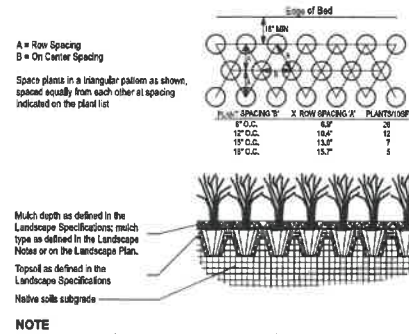
**NOTE**

1. Hole to be twice the width of the rootball.
2. Do not heavily prune trees at planting. Prune only crossover limbs, broken or dead branches; Do not remove the terminal buds of branches that extend to the edge of the crown.
3. Each tree must be planted such that the trunk flare is visible at the top of a rootball. Trees where the trunk flare is not visible shall be rejected. Do not cover the top of the rootball with soil. Mulch to be held back 4" away from trunk.
4. Remove Guy Wires and Staking when warranty period has expired (after one year).

**1 TREE PLANTING & STAKING**  
SCALE: NTS



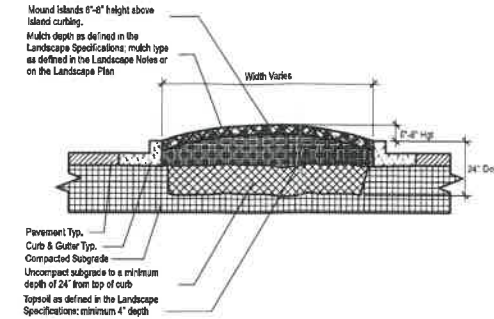
**2 SHRUB BED PLANTING DETAIL**  
SCALE: NTS



**NOTE**

1. Space groundcover plants in accordance with indicated spacing listed on the plant list, or as shown on the landscape plan.
2. Adjust spacing as necessary to evenly fill planting bed with indicated quantity of plants.
3. Plant to within 24" of the trunks of trees and shrubs within planting bed and to within 18" of edge of bed.

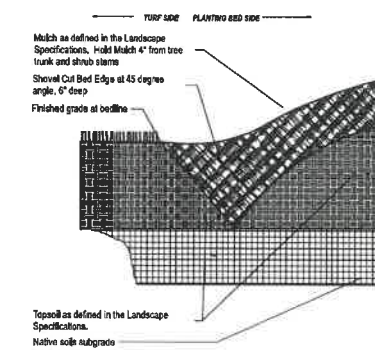
**3 GROUND COVER PLANTING DETAIL**  
SCALE: NTS



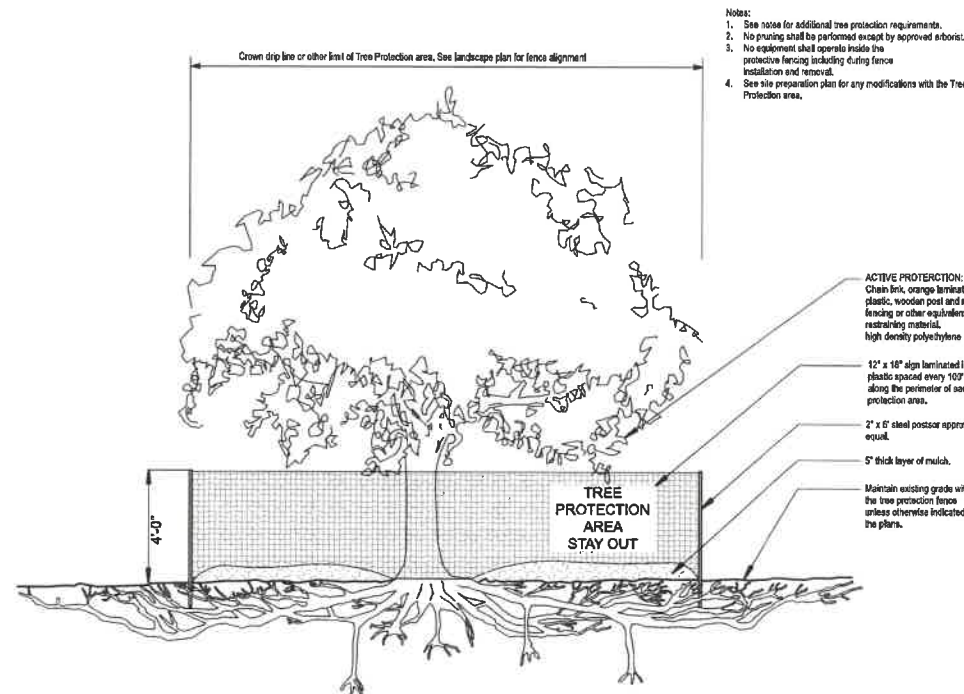
**NOTE**

1. Clean construction debris from within landscape island areas (i.e. concrete, rocks, rubble, building materials, etc), prior to installing topsoil and plant material.
2. Feed/loosen existing subgrade to a minimum 24" depth. Remove and replace any subgrade unsuitable for planting. Once subgrade is clean of debris and loosened, add topsoil to a minimum tamped 6" height above island curbing.
3. Island plant material as per the Landscape Plan.
4. Install plant material as per tree, shrub and ground cover planting details, and as defined in the Landscape Specifications.
5. Install mulch or soil as specified on the Landscape Plan, and as defined in the Landscape Specifications.

**4 PARKING ISLAND DETAIL**  
SCALE: NTS



**5 4" TRENCH BED EDGING**  
SCALE: NTS



**6 TREE PROTECTION FENCING DETAIL**  
SCALE: NTS



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Atlanta, Georgia 30349-2998



Manley Land Design, Inc.  
51 Old Canton Street  
Alpharetta, Georgia 30009  
770.442.8171



**CHICK-FIL-A**  
**SAXONY & 1-69**  
**14098 BERGEN BOULEVARD**  
**NOBLESVILLE, IN 46060**

**FSU# 03623**

REVISION SCHEDULE  
NO. DATE BY DESCRIPTION

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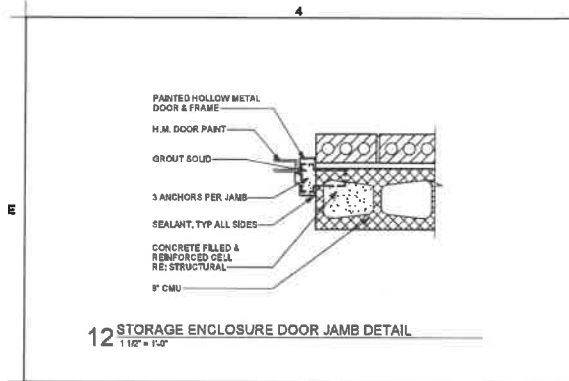
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**SHEET**  
**Landscape Details**

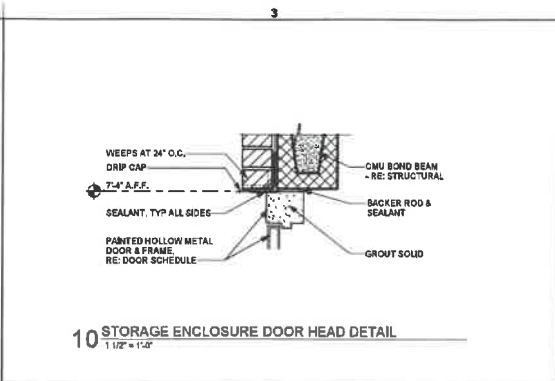
**SHEET NUMBER**  
**L-101**

**PERMIT**

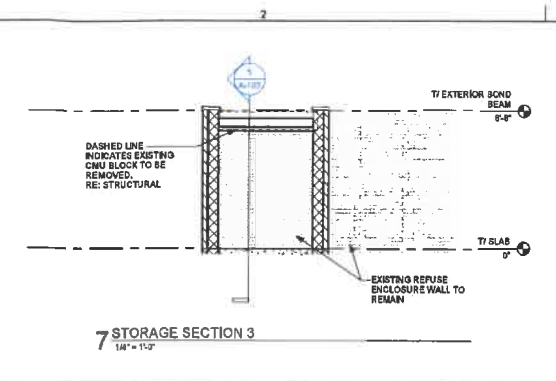




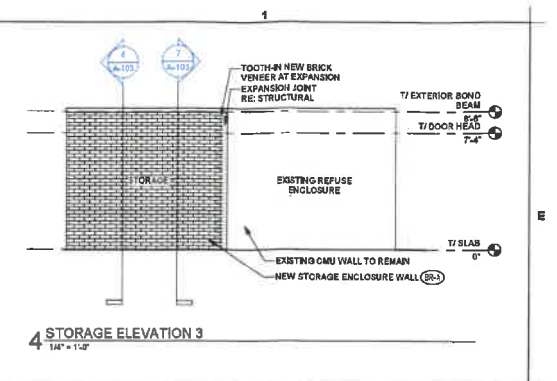
12 STORAGE ENCLOSURE DOOR JAMB DETAIL  
1 1/2" x 1 1/2"



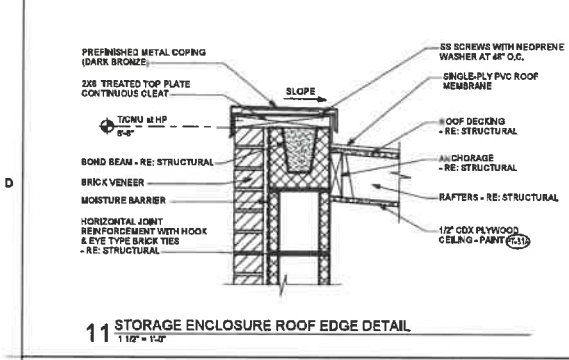
10 STORAGE ENCLOSURE DOOR HEAD DETAIL  
1 1/2" x 1 1/2"



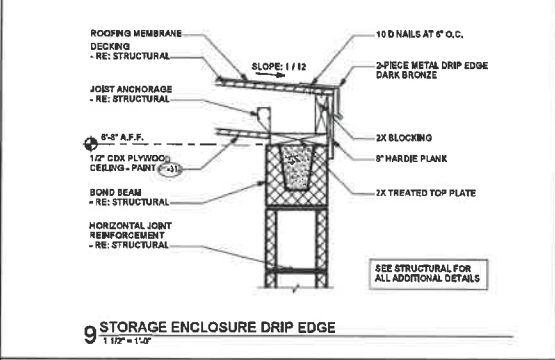
7 STORAGE SECTION 3  
1 1/2" x 1 1/2"



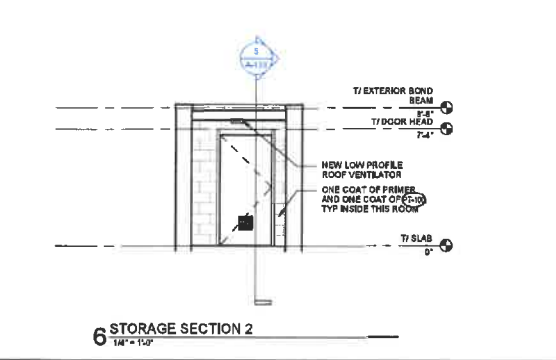
4 STORAGE ELEVATION 3  
1 1/2" x 1 1/2"



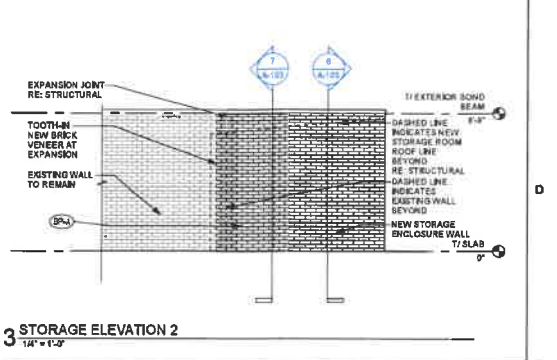
11 STORAGE ENCLOSURE ROOF EDGE DETAIL  
1 1/2" x 1 1/2"



9 STORAGE ENCLOSURE DRIP EDGE  
1 1/2" x 1 1/2"



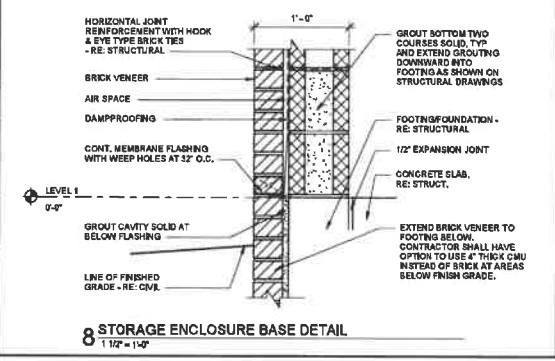
6 STORAGE SECTION 2  
1 1/2" x 1 1/2"



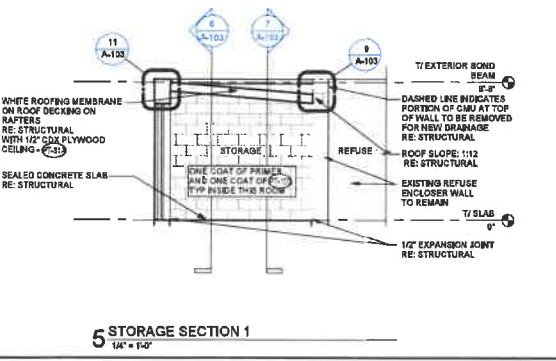
3 STORAGE ELEVATION 2  
1 1/2" x 1 1/2"

1 DOOR SCHEDULE

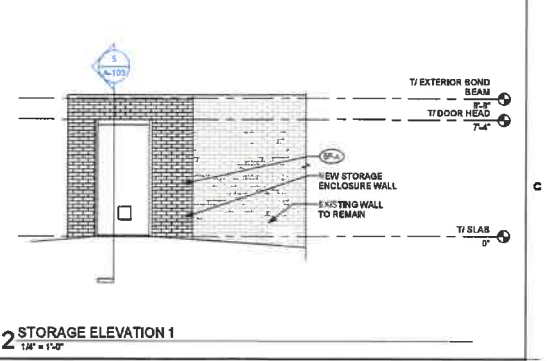
NUMBER	DOOR							REMARKS
	SIZE	TYPE	MATERIAL	FINISH	HWD	MATERIAL	FINISH	
1	STORAGE 7'-0" X 3'-4" X 1'-3 1/4"	1	HOLLOW METAL	PT-113	SET #1	INSULATED METAL	PT-113	LOCATED IN NEW STORAGE ROOM AT REFUSE ENCLOSURE. PROVIDE 4\"/>



8 STORAGE ENCLOSURE BASE DETAIL  
1 1/2" x 1 1/2"



5 STORAGE SECTION 1  
1 1/2" x 1 1/2"



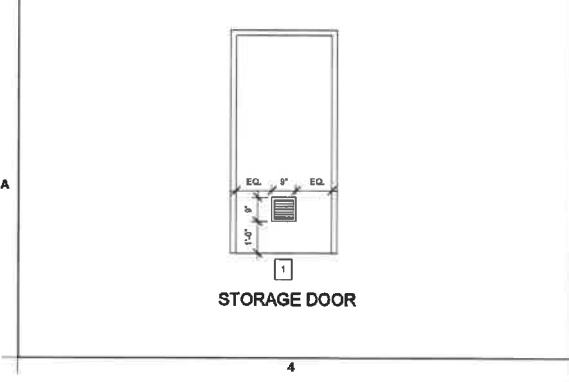
2 STORAGE ELEVATION 1  
1 1/2" x 1 1/2"

SET #1 EXTERIOR DOOR HARDWARE SCHEDULE

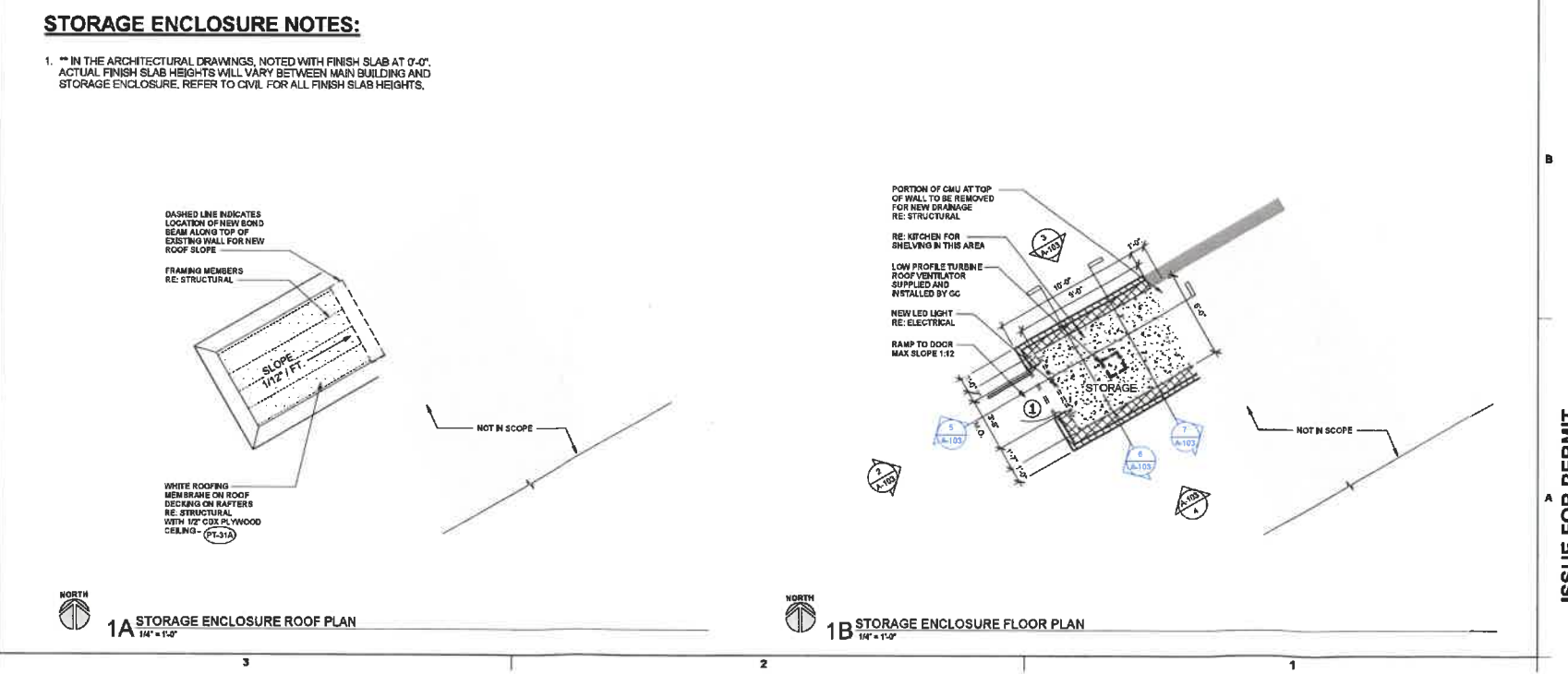
SUPPLIER	QTY.	ITEM	MANUFACTURER	MODEL NUMBER
SET #1 - EXTERIOR STORAGE				
LOCKSET OR DR PAGE	1	HINGE	PENKO	CHRS HD X ALLUM X TEK
LOCKSET OR DR PAGE	1	LOCKSET	SARGENT	26-1184-1034 LL US260 MK
LOCKSET OR DR PAGE	1	LOCK GUARD	ROCKWOOD	321 X US250
LOCKSET OR DR PAGE	1	THRESHOLD	PENKO	171A
LOCKSET OR DR PAGE	1	DOOR SWEEP	PENKO	315CR (1/2\"/>

**STORAGE ENCLOSURE NOTES:**

1. \*\* IN THE ARCHITECTURAL DRAWINGS, NOTED WITH FINISH SLAB AT 0'-0\"/>



STORAGE DOOR



1A STORAGE ENCLOSURE ROOF PLAN  
1 1/2" x 1 1/2"

1B STORAGE ENCLOSURE FLOOR PLAN  
1 1/2" x 1 1/2"



**CHICK-FIL-A**  
SAXONY & I-69 FSU  
14098 BERGEN BLVD.  
NOBLESVILLE, IN 46060

FSR#03623

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

ISSUE FOR PERMIT

CONSULTANT PROJECT #	25-03823
PRINTED FOR	ISSUE FOR PERMIT
DATE	06/16/2023
CREATED BY	JC
CHECKED BY	CG
<small>Information is shown as a service and does not constitute a contract. The user shall verify the accuracy of the information shown on this drawing. The user shall be responsible for obtaining all necessary permits and approvals. The user shall be responsible for obtaining all necessary permits and approvals. The user shall be responsible for obtaining all necessary permits and approvals.</small>	
STORAGE ENCLOSURE	
SHEET NUMBER	

A-103