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HAMILTON County Recorder IN
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ORDINANCE NO. 70-11-22

**AN ORDINANCE TO AMEND THE UNIFIED DEVELOPMENT ORDINANCE,
A PART OF THE COMPREHENSIVE PLAN OF THE CITY OF NOBLESVILLE,
HAMILTON COUNTY, INDIANA**

This is an Ordinance to amend the Unified Development Ordinance for the City of Noblesville, Hamilton County, Indiana (the "UDO"), enacted by the City of Noblesville under authority of Indiana Code § 36-7-4-600, et seq., as amended.

WHEREAS, the Plan Commission of the City of Noblesville (the "Plan Commission") conducted a public hearing on application number 0165-2022 (the "Petition") at its October 24, 2022, meeting as required by law in regard to the application filed by Birkla Investment Group, LLC, an Indiana limited liability company (the "Developer") for a request in change of zoning (the "Petition"); and

WHEREAS, the Plan Commission sent a favorable recommendation relating to the Petition to the Common Council of the City of Noblesville, Indiana, (the "City Council") by a vote of eight (8) in favor and one (1) opposed;

NOW, THEREFORE, BE IT ORDAINED by the City Council, meeting in regular session, it hereby adopts this ordinance (the "Ordinance") as an amendment to the UDO and the Official City of Noblesville Zoning Map (the "Zoning Map") to establish this Planned Development Overlay District (the "District") to read as follows:

Section 1. Applicability of Ordinance.

- 1.1 The Zoning Map is hereby changed to designate the subject real estate generally located southwest and northwest of the intersection of Campus Parkway and Brooks School and Boden Roads, more particularly described in **Exhibit A**, attached hereto (the "Real Estate"), as a Planned Development Overlay District to be known as The Gateway at Hyde Park Planned Development (the "District").
- 1.2 The District's underlying zoning district shall be the Corporate Campus Planned Development District, with an underlying subdistrict of Mixed Residential Subdistrict. The Mixed Residential District is referred to herein as the "Underlying District."
- 1.3 The standards of the UDO existing on the date of adoption of this Ordinance applicable to the Mixed Residential District shall apply to the development of the District, except as modified, revised, or expressly made inapplicable by this Ordinance. Cross-references to "Article", "Part", "Section" and "Subsection" in this Ordinance shall refer to the corresponding Article, Part, Section and Subsection as specified and referenced in the UDO.
- 1.4 All provisions and representations of the UDO that conflict with the provisions of this Ordinance and its exhibits are hereby rescinded as applied to the Real Estate and shall

be superseded by the terms of this Ordinance. All previous PD Ordinances, and any amendments thereto, applicable to the Real Estate are hereby repealed with respect to the Real Estate.

Section 2. Definitions.

- 2.1 The general rules of construction set forth in Article 2 of the UDO and the definitions set forth in this Ordinance shall apply to the regulations of this Ordinance. Capitalized terms that are not otherwise defined herein and are defined in the UDO shall have the meaning ascribed to them in the UDO.
- 2.2 “Preliminary Development Plan” shall mean the oversized, scaled development plans on file with the City of Noblesville’s Planning and Development Department dated September 21 and 22, 2022. The exhibit attached hereto as **Exhibit B** is a general representation of the oversized plans (collectively, the “Preliminary Development Plan”). A copy of the approved plans is also attached hereto as **Exhibit D**.
- 2.3 “Approved Elevations” shall mean the set of mixed-use building elevations on file with the City of Noblesville’s Planning and Development Department, as reviewed and approved by the City’s Architectural Review Board at its August 17, 2022, meeting. The exhibit attached hereto as **Exhibit C** is a sampling and general representation of those approved elevations (collectively, the “Approved Elevations”).

Section 3. Permitted Uses.

- 3.1 All uses permitted in the Commercial and Commercial/Office land use categories in Appendix D of the UDO shall be permitted within the District. Multi-Family Dwellings and associated uses shall be permitted within the District. There shall be a maximum of 236 Multi-Family Dwelling Units.
- 3.2 Accessory Uses and Accessory Buildings customarily incidental to the permitted uses shall be permitted.

Section 4. Preliminary Development Plan.

- 4.1 The Preliminary Development Plan and the stipulations and waivers listed in **Exhibit F** are hereby incorporated and approved. Pursuant to Article 8 of the UDO, the Preliminary Development Plan is intended to establish the basic goals and policies, bulk standards, variations from the Underlying District and layout of the District.

Section 5. Architectural Standards.

- 5.1 The following standards shall apply to the District:
 - A. The Approved Elevations are hereby incorporated and approved. All mixed-use buildings and multi-family buildings shall be substantially consistent with the Approved Elevations. The Director of Planning and Development, including his or her designees, shall review for compliance and approve building elevations at the time of filing of the Detailed Development Plan and/or Building Permit.
 - B. If a building elevation does not comply with Section 5.1A, then the proposed building elevation(s) shall be submitted for review and approval by the

Architectural Review Board. The Architectural Review Board's review of the building elevation(s) shall be performed in order to determine its compatibility and consistency with the intended quality and character of the District and the Approved Elevations.

Section 6. **Title, Purpose and Effect.** The regulations of *ARTICLE 1. TITLE, PURPOSE AND EFFECT* shall apply.

Section 7. **Definitions and Rules of Word Usage.** The regulations of *ARTICLE 2. DEFINITIONS AND RULES OF WORD USAGE* shall apply.

Section 8. **Administrative Bodies and Officials.** The regulations of *ARTICLE 3. ADMINISTRATIVE BODIES AND OFFICIALS* shall apply.

Section 9. **Zoning Applications and Approvals.** The regulations of *ARTICLE 4. ZONING APPLICATIONS AND APPROVALS* shall apply.

Section 10. **Subdivision Procedure.** The regulations of *ARTICLE 5. SUBDIVISION PROCEDURE* shall apply.

Section 11. **Site Design and Improvement Standards.** The regulations of *ARTICLE 6. SITE DESIGN AND IMPROVEMENT STANDARDS* shall apply, except as modified below:

- 11.1 *Article 6, Part A, Section 5.F. Sidewalks:* Shall not apply to the internal drives. Instead, sidewalks shall be provided as shown on the Preliminary Development Plan.
- 11.2 *Article 6, Part C, Section 2.B.2. Corner Lots:* Shall not apply.
- 11.3 *Article 6, Part D, Section 1.D – G. Streets and Roads:* Shall not apply because all internal drives are private. Instead, internal circulation shall be provided as shown on the Preliminary Development Plan.
- 11.4 *Article 6, Part D, Section 3. Sidewalks and Pedestrian Access:* Shall not apply to the internal drives. Instead, sidewalks shall be provided as shown on the Preliminary Development Plan.

Section 12. **Plans, Maps, and Zoning Districts.** The regulations of *ARTICLE 7. PLANS, MAPS, AND ZONING DISTRICTS* shall apply.

Section 13. **Zoning Districts.** The regulations of *ARTICLE 8. ZONING DISTRICTS* shall apply, except as modified below:

- 13.1 *Article 8, Part A, Section 5. Landscaping and Screening:* Shall not apply. Instead, landscaping and screening shall be provided as shown on the Preliminary Development Plan.
- 13.2 *Table 8.B. Summary of Residential Bulk Requirements and Article 8(E)(4)(B) and (C) (Mixed Use Residential Subdistrict Regulations):* Shall not apply. Instead, the following requirements shall apply:

| | |
|---|---------------------------|
| Min. Lot Area | 2 acres |
| Min. Lot Width | 150' |
| Maximum Building Height | 75' |
| Campus Parkway, Boden Road and Brooks School Road Building Setback | 0' |
| All Other Perimeter Setbacks | 15' (side and rear yards) |
| Floor Area Ratio | Not Applicable |
| Min. Floor Area | 700 SF/Unit |
| Maximum Lot Coverage | Not Applicable |

Note: Accessory structures such as entry monument signs, roundabout walls and gateway structures shall be permitted within the building setbacks, subject to the City Engineering Department's approval.

- 13.3 **Article 8, Part E, Section 5.B.8.c. Roofs:** Shall not apply. Instead, the following shall apply: All rooftop equipment, including vents greater than 1 foot in height, shall be screened from street level view to the greatest extent possible to preclude viewing of same from directly adjacent public rights-of-ways by parapet walls, rooftop walls or recesses in sloped roofs.
- 13.4 **Article 8, Part E, Section 6. Parking/Loading:** Shall not apply. Instead, parking and loading shall be as shown on the approved Preliminary Development Plan.
- 13.5 **Article 8, Part H, Section 3.F.1.b. Establishment of Site Development Intensity:** Shall not apply. Instead, the maximum number of Dwelling Units within the District shall not exceed two hundred fifty (250).
- 13.6 **Article 8, Part H, Section 3.F.2. Establishment of Peripheral Yard:** Shall not apply. Instead, perimeter landscaping shall be as shown on the approved Preliminary Development Plan.
- 13.7 **Article 8, Part H, Section 3.H. Designation of Permanent Common Open Space:** Shall not apply in light of the District's inclusion within the overall Hyde Park master plan.

Section 14. General Regulations. The regulations of *ARTICLE 9. GENERAL REGULATIONS* shall apply, except as modified below.

- 14.1 **Article 9, Part A, Section 3. Number of Buildings per Lot:** Shall not apply.
- 14.2 **Article 9, Part A, Section 8. Vision Corner Clearance:** Shall not apply. Instead, the vision corner clearance as shown in the Preliminary Development Plan shall apply.

Section 15. Off-Street Parking and Loading. The regulations of *ARTICLE 10. OFF-STREET PARKING AND LOADING* shall apply, except as modified below:

- 15.1 **Table 10.0.3.B. Required Parking Spaces:** Shall not apply; instead, parking spaces shall be provided as follows:

| Use | Parking Spaces Required |
|------------------------|-------------------------|
| Multi-Family Dwellings | 1.5 per unit |
| Commercial | 4 per 1000 sf |
| Office | 3 per 1000 sf |

- 15.2 **Table 10.0.4.A. Off-Street Parking Dimensions:** Shall apply, except the vehicle projection for a ninety-degree (90°) parking stall shall be eighteen (18) feet and aisle width shall be 22' minimum and a typical module will be 58'.
- 15.3 **Article 10, Section 4.B.1. Dimensions and Layout:** Shall not apply; instead, the off-street parking shall be located as shown on the approved Preliminary Development Plan.
- 15.4 **Article 10, Section 4.C.2. Driveways:** Shall not apply; instead, the entrances and exits shall be as generally shown on the approved Preliminary Development Plan.
- 15.5 **Article 10, Section 4.C.4. Location of Parking and Loading Behind Required Setback:** Shall not apply; instead, the parking and loading shall be as generally shown on the approved Preliminary Development Plan.
- 15.6 **Article 10, Section 4.D.3. Marking of Parking:** Shall apply, except bumper guards or wheel guards shall not be required. Instead, curbs shall be integrated with the sidewalk.
- 15.7 **Article 10, Section 6.A. and B. Pedestrian Access:** Shall not apply. Instead, the pedestrian walkways shall be as shown generally on the approved Preliminary Development Plan.
- 15.8 **Article 10, Section 9. Required Off-Street Loading Standards:** Shall not apply.

Section 16. Signs. The regulations of *ARTICLE 11. SIGNS* shall apply, except as modified below:

- 16.1 **Article 11, Part B, Section 2. Sign Calculation Standards:** Shall not apply. Instead, signs shall comply substantially with the sign package attached hereto as **Exhibit E**.
- 16.2 **Article 11, Part B, Section 3.A. Design:** Shall not apply. Instead, signs shall comply substantially with the sign package attached hereto as **Exhibit E**.
- 16.3 **Article 11, Part C. Signs:** Shall not apply. Instead, signs shall comply substantially with the sign package attached hereto as **Exhibit E**. The sign package shows the conceptual intent and the sizes for the proposed ground and building signs. Wayfinding, directional, informational, traffic control, incidental and similar signage are not shown on **Exhibit E** and shall be permitted per the UDO.
- 16.4 **Additional Provisions**

- A. **Vision Clearance.** Monument (ground) signs shall not be established within the vision corner clearance areas and are subject to approval by the Planning Department and Engineering Department.
- B. **Building Mounted Signs.** All building mounted signs shall be individual lettering and, if lit, shall be back-lit.

Section 17. Landscaping and Screening. The regulations of *ARTICLE 12. LANDSCAPING AND SCREENING* shall not apply. Instead, landscaping and screening shall be as shown generally on the approved Preliminary Development Plan.

Section 18. Environmental Performance Standards. The regulations of *ARTICLE 13. ENVIRONMENTAL PERFORMANCE STANDARDS* shall apply.




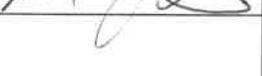




Section 19. Nonconforming Uses and Structures. The regulations of *ARTICLE 14. NONCONFORMING USES AND STRUCTURES* shall apply.

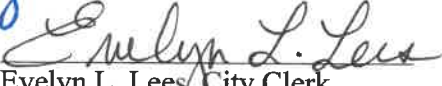
Section 20. Enforcement. The regulations of *ARTICLE 15. ENFORCEMENT* shall apply.

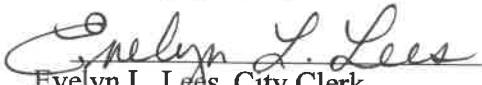
Section 21. Procedures.

- 21.1 **Detailed Development Plan.** Approval of a Detailed Development Plan (“DDP”) shall follow the procedures set out in Article 8, subject to the following clarification: (i) the Director of Planning and Zoning shall approve Minor Changes; and (ii) if a DDP includes a Major Change from the approved Preliminary Development Plan, then, prior to approval of the DDP, an amended Preliminary Development Plan shall be submitted to the City for review by the Technical Advisory Committee and then for review and approval by the Plan Commission following a public hearing. A Major Change from the approved Preliminary Development Plan shall be reviewed and approved by the Technical Advisory Committee and the Plan Commission based upon compliance with the development standards set forth herein and shall be compatible and consistent with the intended quality and character of the District. A Secondary Plat shall be submitted for review and approval as part of any approved DDP.
- 21.2 **Major Change.** For purposes of this Ordinance, a “Major Change” shall mean: (i) a substantial change to the **location** of a perimeter entrance as shown on the Preliminary Development Plan; and (ii) significant changes to the drainage management systems, including, but not limited to, BMP’s and legal drains.
- 21.3 **Minor Change.** For purposes of this Ordinance, a “Minor Change” shall mean any change that: (i) is not a Major Change; and (ii) is consistent with the intent of this Ordinance and consistent with the quality and character represented in this Ordinance for the District. Specifically, changes to the internal street configurations and building configurations, are expected and shall be deemed to be Minor Changes for purposes of this Ordinance.

Approved on this 9th day of November, 2022 by the Common Council of the City of Noblesville, Indiana:

| AYE | | NAY | ABSTAIN |
|---|---------------------|-----|---------|
|  | Brian Ayer | | |
|  | Mark Boice | | |
|  | Michael J. Davis | | |
|  | Gregory P. O'Connor | | |
|  | Darren Peterson | | |
|  | Pete Schwartz | | |
| | Aaron Smith | | |
|  | Dan Spartz | | |
|  | Megan G. Wiles | | |

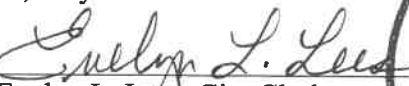
ATTEST: 
 Evelyn L. Lees, City Clerk

Presented by me to the Mayor of the City of Noblesville, Indiana, this 9th day of November, 2022 at 7:42 P.M.

 Evelyn L. Lees, City Clerk


 Chris Jensen, Mayor

MAYOR'S APPROVAL
 Date 11-9-22

Chris Jensen, Mayor

ATTEST: 
 Evelyn L. Lees, City Clerk



I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security Number in this document, unless required by law: Steven D. Hardin

Prepared by: Steven D. Hardin, Attorney-At-Law, Faegre Drinker Biddle & Reath, LLP
600 East 96th Street, Suite 600, Indianapolis, Indiana 46032 | (317) 569-9600.

EXHIBIT A
REAL ESTATE

PART OF THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 18 NORTH, RANGE 5 EAST OF THE SECOND PRINCIPAL MERIDIAN, HAMILTON COUNTY, INDIANA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID NORTHEAST QUARTER; THENCE ALONG THE EAST LINE THEREOF SOUTH 00 DEGREES 05 MINUTES 55 SECONDS EAST (BASIS OF BEARINGS) 924.01 FEET; THENCE SOUTH 89 DEGREES 39 MINUTES 18 SECONDS WEST 65.00 FEET TO THE WEST LINE OF THE LAND OF CITY OF NOBLESVILLE AS DESCRIBED IN INSTRUMENT NO. 2006017144 IN THE OFFICE OF THE RECORDER OF HAMILTON COUNTY, INDIANA AND THE POINT OF BEGINNING; THENCE THE FOLLOWING EIGHT (8) COURSES ALONG THE LINES OF SAID LAND DESCRIBED IN INSTRUMENT NO. 2006017144; (1) SOUTH 00 DEGREES 05 MINUTES 55 SECONDS EAST 150.99 FEET; (2) SOUTH 89 DEGREES 54 MINUTES 08 SECONDS WEST 20.00 FEET; (3) SOUTH 00 DEGREES 05 MINUTES 51 SECONDS EAST 65.00 FEET; (4) NORTH 89 DEGREES 54 MINUTES 09 SECONDS EAST 20.00 FEET; (5) SOUTH 00 DEGREES 05 MINUTES 51 SECONDS EAST 350.00 FEET; (6) SOUTH 12 DEGREES 13 MINUTES 57 SECONDS WEST 183.71 FEET; (7) NORTH 89 DEGREES 59 MINUTES 47 SECONDS WEST 138.77 FEET TO A POINT ON A CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 645.00 FEET AND A CHORD BEARING NORTH 73 DEGREES 21 MINUTES 06 SECONDS WEST 369.50 FEET; (8) NORTHWESTERLY ALONG SAID CURVE 374.75 FEET; THENCE NORTH 19 DEGREES 49 MINUTES 01 SECONDS EAST 422.79 FEET; THENCE NORTH 00 DEGREES 01 MINUTES 14 SECONDS WEST 110.00 FEET; THENCE NORTH 89 DEGREES 58 MINUTES 46 SECONDS EAST 141.24 FEET; THENCE NORTH 17 DEGREES 42 MINUTES 10 SECONDS EAST 137.12 FEET; THENCE NORTH 89 DEGREES 39 MINUTES 18 SECONDS EAST 204.51 FEET TO THE POINT OF BEGINNING, CONTAINING 6.76 ACRES MORE OR LESS.

ALSO INCLUDING:

A PART OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 18 NORTH, RANGE 5 EAST, FALL CREEK TOWNSHIP, HAMILTON COUNTY, STATE OF INDIANA AND BEING A PORTION OF A PARCEL OF REAL ESTATE DESCRIBED IN THAT CERTAIN DEED TO THE CITY OF NOBLESVILLE, PER INST. NO. 2006-17144, AS RECORDED IN THE HAMILTON COUNTY RECORDER'S OFFICE, STATE OF INDIANA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

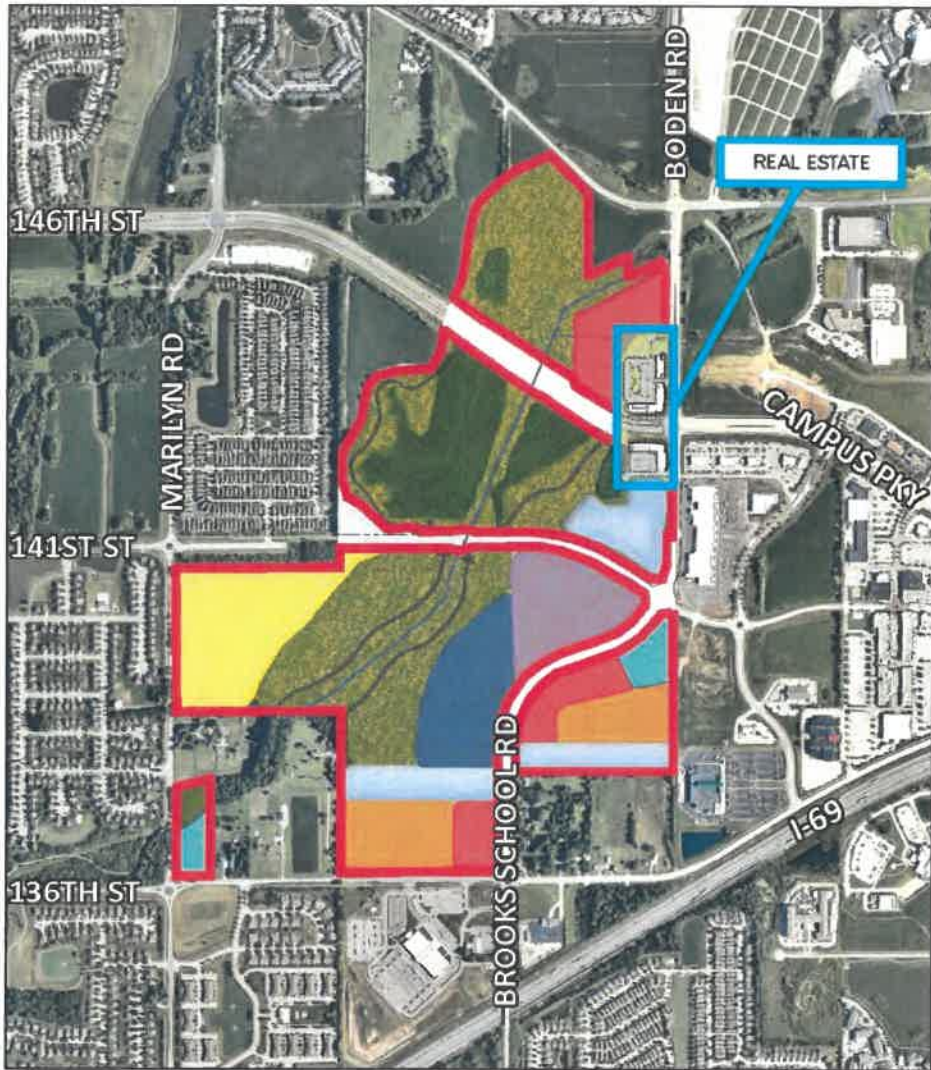
COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 22, THENCE SOUTH 00 DEGREES 05 MINUTES 55 SECONDS EAST, ALONG THE EAST LINE THEREOF, 1874.93 FEET TO THE SOUTHEAST CORNER OF PARCEL #18 (RIGHT OF WAY FOR EAST 146TH STREET) IN SAID INST. NO. 2006-17144; THENCE NORTH 89 DEGREES 59 MINUTES 51 SECONDS WEST, ALONG THE SOUTH LINE THEREOF, 65.00 FEET TO THE POINT OF BEGINNING OF THE REAL ESTATE DESCRIBED HEREIN; THENCE SOUTH 00 DEGREES 05 MINUTES 55 SECONDS EAST, PARALLEL TO SAID EAST QUARTER SECTION LINE, 200.00 FEET; THENCE NORTH 89 DEGREES 59 MINUTES 51 SECONDS WEST, PARALLEL TO SAID SOUTH RIGHT OF WAY LINE, 178.68 FEET TO THE POINT OF CURVATURE OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 1050.00 FEET, THE RADIUS POINT OF WHICH BEARS NORTH 00 DEGREES 00 MINUTES 09 SECONDS EAST; THENCE NORTHWESTERLY ALONG SAID CURVE AN ARC LENGTH OF 83.96 FEET TO A POINT WHICH BEARS SOUTH 04 DEGREES 35 MINUTES 03 SECONDS WEST FROM SAID RADIUS POINT; THENCE SOUTH 04 DEGREES 35 MINUTES 03 SECONDS WEST, ALONG A RADIAL LINE FROM SAID PREVIOUS CURVE, 25.00 FEET TO A POINT ON A NON-TANGENT CURVE TO THE RIGHT

HAVING A RADIUS OF 1075.00 FEET; THENCE NORTHWESTERLY ALONG SAID CURVE AN ARC LENGTH OF 267.66 FEET TO A POINT ON THE EAST LIMITS OF THE FLOODWAY FOR SAND CREEK, PER FLOOD INSURANCE RATE MAP #18057C0255F FOR HAMILTON COUNTY, WHICH POINT BEARS SOUTH 18 DEGREES 51 MINUTES 00 SECONDS WEST FROM SAID RADIUS POINT, THE FOLLOWING SIX (6) CALLS BEING ALONG SAID SAND CREEK FLOODWAY LIMITS, (1) THENCE NORTH 22 DEGREES 08 MINUTES 09 SECONDS EAST 25.04 FEET; (2) THENCE NORTH 20 DEGREES 19 MINUTES 33 SECONDS EAST 57.68 FEET; (3) THENCE NORTH 17 DEGREES 52 MINUTES 16 SECONDS EAST 50.00 FEET; (4) THENCE NORTH 15 DEGREES 34 MINUTES 13 SECONDS EAST 55.55 FEET; (5) THENCE NORTH 14 DEGREES 08 MINUTES 14 SECONDS EAST 26.72 FEET; (6) THENCE NORTH 13 DEGREES 38 MINUTES 48 SECONDS EAST 10.31 FEET TO A POINT ON THE AFORESAID SOUTH RIGHT OF WAY LINE OF EAST 146TH STREET, PER SAID INST. NO. 2006-17144; SAID POINT BEING A POINT OF CURVATURE OF A CURVE TO THE LEFT, HAVING A RADIUS OF 850.00 FEET, THE RADIUS POINT OF WHICH BEARS NORTH 19 DEGREES 08 MINUTES 10 SECONDS EAST; THENCE SOUTHEASTERLY ALONG SAID CURVE AN ARC LENGTH OF 283.85 FEET TO A POINT WHICH BEARS SOUTH 00 DEGREES 00 MINUTES 09 SECONDS WEST FROM SAID RADIUS POINT; THENCE SOUTH 89 DEGREES 59 MINUTES 51 SECONDS EAST, ALONG SAID SOUTH RIGHT OF WAY LINE, 178.33 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION, CONTAINING 2.40 ACRES, MORE OR LESS.

ALSO INCLUDING:

PART OF THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 18 NORTH, RANGE 5 EAST OF THE SECOND PRINCIPAL MERIDIAN, HAMILTON COUNTY, INDIANA, DESCRIBED AS FOLLOWS:

COMMENCING AT A HARRISON MONUMENT MARKING THE SOUTHEAST CORNER OF THE NORTHEAST QUARTER; THENCE ALONG THE EAST LINE THEREOF NORTH 00 DEGREES 05 MINUTES 55 SECONDS WEST (BASIS OF BEARINGS) 793.84 FEET; THENCE NORTH 89 DEGREES 59 MINUTES 51 SECONDS WEST 65.00 FEET TO THE NORTHEAST CORNER OF THE LAND OF MAB CAPITAL INVESTMENTS LLC AS DESCRIBED IN TRACT II OF INSTRUMENT NO. 2019059131 IN THE OFFICE OF THE RECORDER OF HAMILTON COUNTY, INDIANA; THENCE ALONG THE EAST LINE OF SAID TRACT II SOUTH 00 DEGREES 05 MINUTES 55 SECONDS EAST 200.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 00 DEGREES 05 MINUTES 55 SECONDS EAST 134.51 FEET; THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS WEST 292.69 FEET; THENCE SOUTH 27 DEGREES 40 MINUTES 42 SECONDS WEST 60.68 FEET; THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS WEST 98.67 FEET; THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST 100.88 FEET; THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS EAST 41.50 FEET; THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST 80.99 FEET TO THE SOUTH LINE OF THE AFORESAID TRACT II IN INSTRUMENT NO. 2019059131 AND A POINT ON A CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 1075.00 FEET AND A CHORD BEARING SOUTH 82 DEGREES 22 MINUTES 08 SECONDS EAST 114.28 FEET; THENCE THE FOLLOWING FOUR (4) COURSES ALONG THE SOUTH LINE OF SAID TRACT II; (1) SOUTHEASTERLY ALONG SAID CURVE 114.33 FEET; (2) NORTH 04 DEGREES 35 MINUTES 03 SECONDS EAST 25.00 FEET TO A POINT ON A CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 1050.00 FEET AND A CHORD BEARING SOUTH 87 DEGREES 42 MINUTES 24 SECONDS EAST 83.94 FEET; (3) SOUTHEASTERLY ALONG SAID CURVE 83.96 FEET; (4) SOUTH 89 DEGREES 59 MINUTES 51 SECONDS EAST 178.68 FEET TO THE POINT OF BEGINNING, CONTAINING 1.31 ACRES MORE OR LESS.



 HYDE PARK

**EXHIBIT B
PRELIMINARY DEVELOPMENT PLAN**



THE GATEWAY AT HYDE PARK
NOBLESVILLE, IN | SEPTEMBER 2022

EXHIBIT C
SAMPLING AND GENERAL REPRESENTATION
OF THE APPROVED ELEVATIONS



EXHIBIT C, CONT.
SAMPLING AND GENERAL REPRESENTATION
OF THE APPROVED ELEVATIONS



EXHIBIT C, CONT.
SAMPLING AND GENERAL REPRESENTATION
OF THE APPROVED ELEVATIONS



EXHIBIT D
PRELIMINARY DEVELOPMENT PLAN

NOVO DEVELOPMENT GROUP
THE GATEWAY AT HYDE PARK
PRELIMINARY DEVELOPMENT PLANS
BROOKS SCHOOL ROAD, NOBLESVILLE, INDIANA 48060

SEPTEMBER 21, 2022

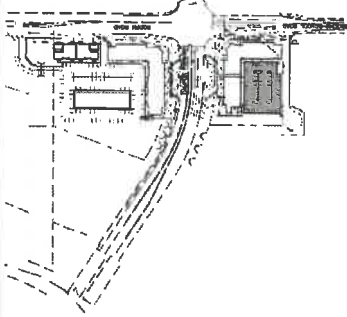
PROJECT TEAM



VICINITY MAP
VERTICAL SCALE



SITE PLAN
VERTICAL SCALE



SHEET INDEX

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| 4 | NOBLESVILLE, INDIANA | 09/21/22 |
| 5 | BROOKS SCHOOL ROAD | 09/21/22 |
| 6 | INDIANA 48060 | 09/21/22 |
| 7 | SEPTEMBER 21, 2022 | 09/21/22 |
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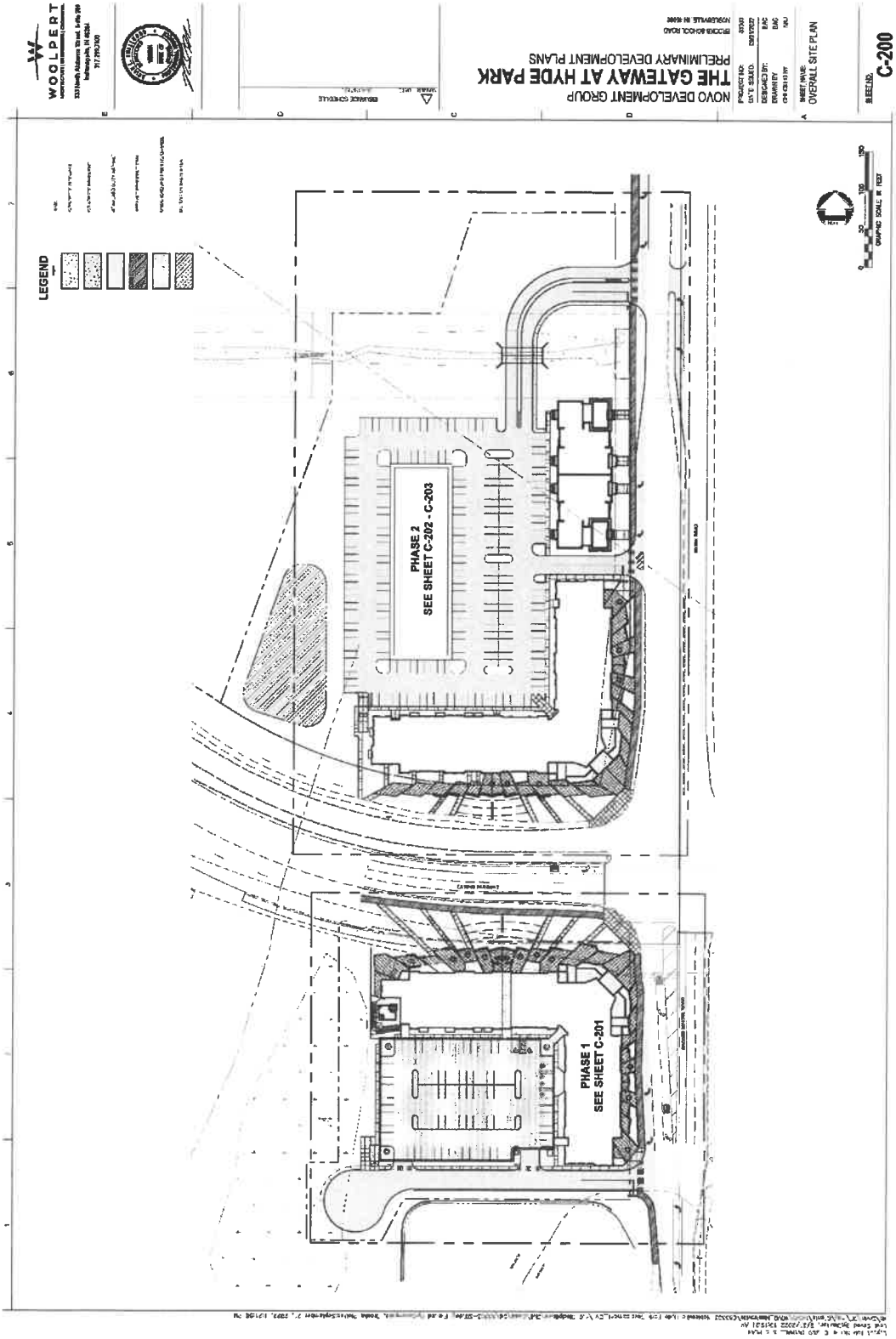
NOVO DEVELOPMENT GROUP
THE GATEWAY AT HYDE PARK
PRELIMINARY DEVELOPMENT PLANS
NOBLESVILLE, INDIANA

NOVO DEVELOPMENT GROUP, INC. (NOVO) IS A SUBSIDIARY OF THE NOVOPARTNERS GROUP, INC. (NOVOPARTNERS), A PUBLIC COMPANY LISTED ON THE NYSE UNDER THE TICKER SYMBOL "NOVO". NOVOPARTNERS IS A LEADER IN THE DEVELOPMENT AND CONSTRUCTION OF HIGH-QUALITY, MIDDLE-INCOME HOUSING COMMUNITIES ACROSS THE UNITED STATES. NOVOPARTNERS IS COMMITTED TO PROVIDING AFFORDABLE HOUSING AND COMMUNITY AMENITIES TO IMPROVE THE QUALITY OF LIFE FOR ITS RESIDENTS AND THE COMMUNITIES IN WHICH IT OPERATES. NOVOPARTNERS IS CURRENTLY DEVELOPING AND CONSTRUCTING SEVERAL HOUSING COMMUNITIES IN THE NOBLESVILLE, INDIANA AREA, INCLUDING THE GATEWAY AT HYDE PARK. THE GATEWAY AT HYDE PARK IS A MIXED-USE DEVELOPMENT THAT WILL INCLUDE RESIDENTIAL, COMMERCIAL, AND PUBLIC SPACE. THE DEVELOPMENT IS SCHEDULED TO BE COMPLETED IN 2023.



NOVO DEVELOPMENT GROUP
THE GATEWAY AT HYDE PARK
PRELIMINARY DEVELOPMENT PLANS
PROJECT NO: 2022-001
DATE: 09/21/22
SHEET NO: 16
COVER SHEET
SCALE: AS SHOWN
C-001

EXHIBIT D, CONT. PRELIMINARY DEVELOPMENT PLAN



**EXHIBIT D, CONT.
PRELIMINARY DEVELOPMENT PLAN**

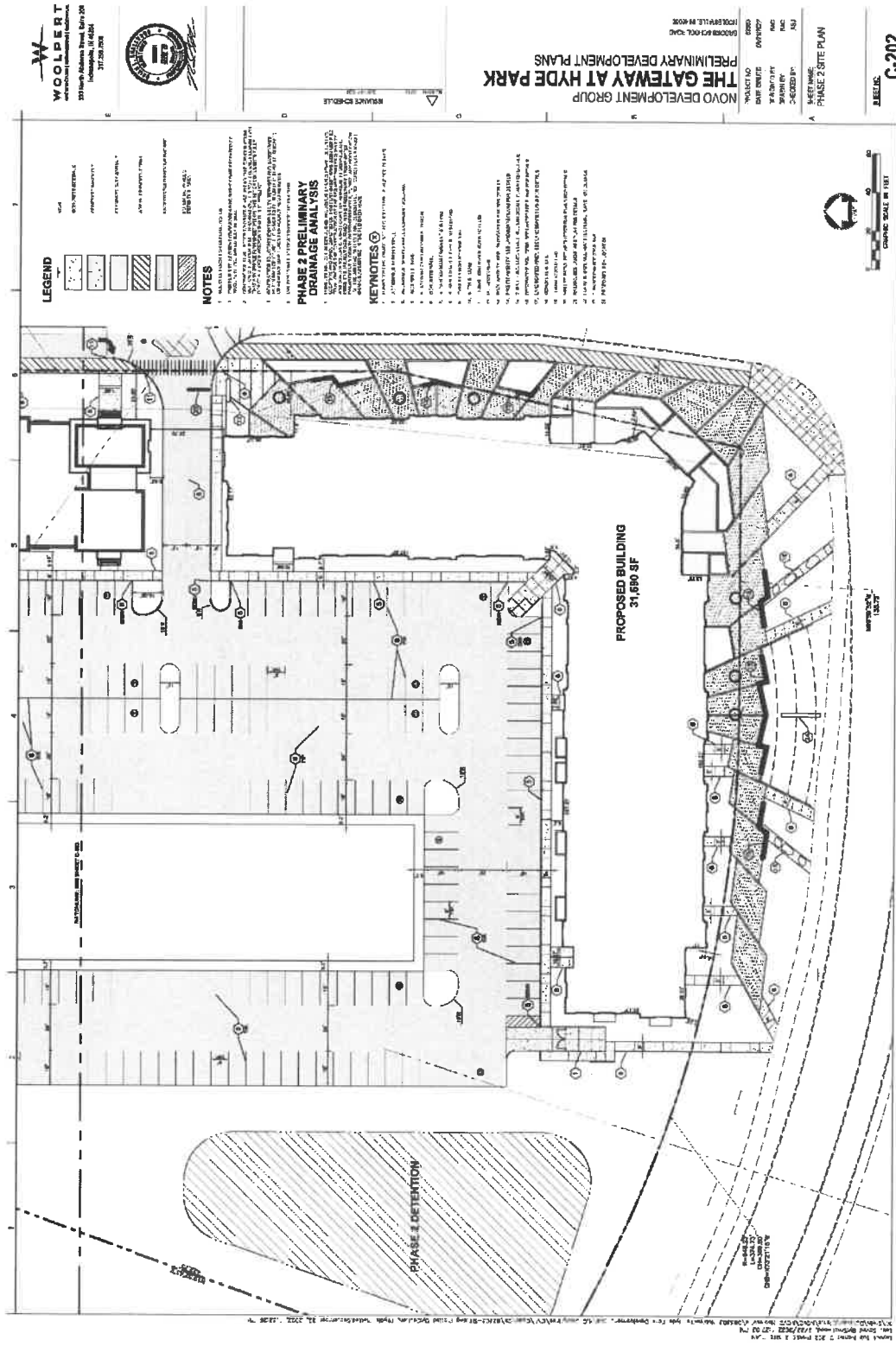
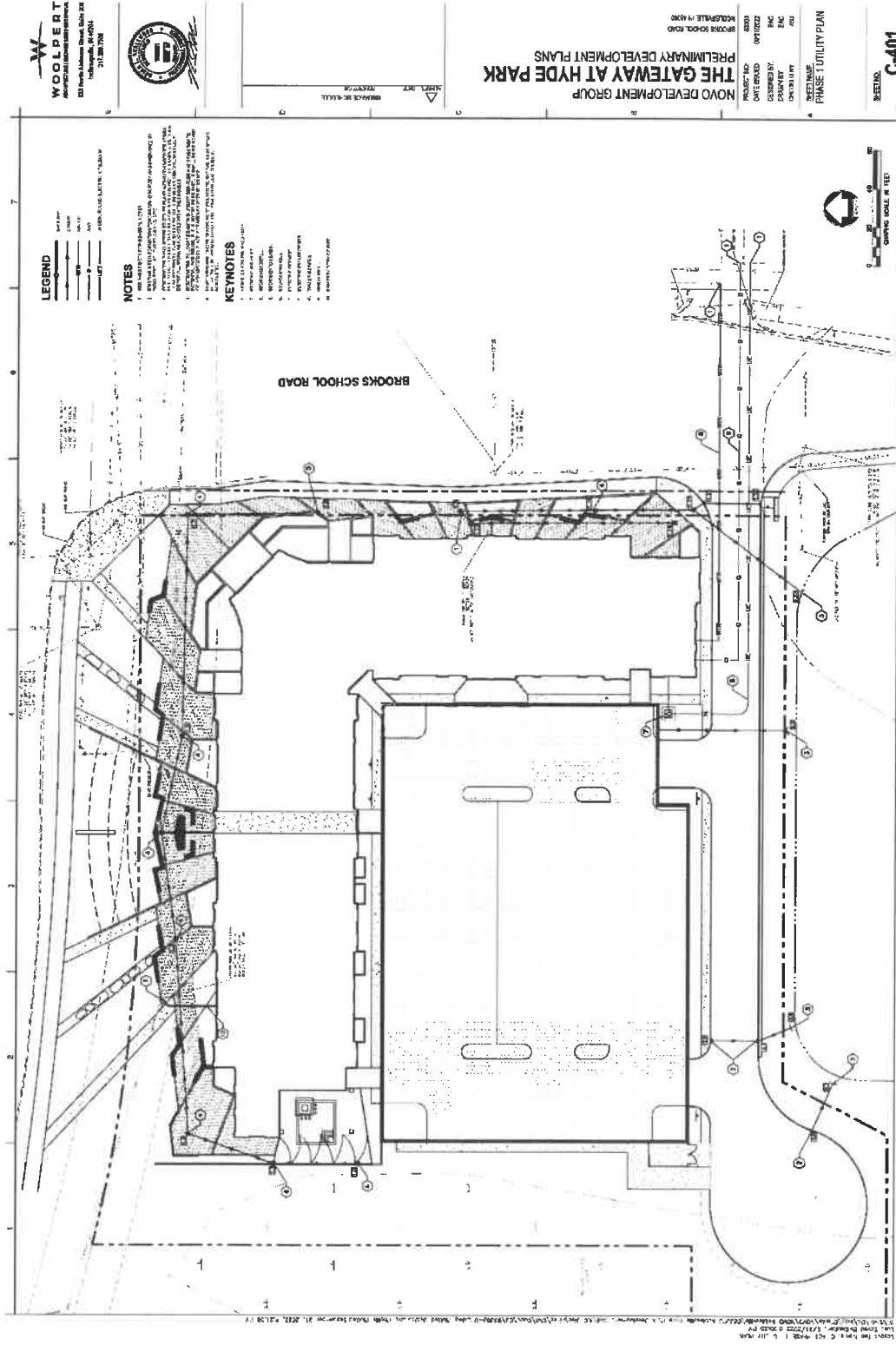


EXHIBIT D, CONT. PRELIMINARY DEVELOPMENT PLAN



WOOLPERT
INCORPORATED
220 Irving Avenue, Suite 200
Hicksville, NY 11801
311.388.1700




NOVO DEVELOPMENT GROUP
PRELIMINARY DEVELOPMENT PLANS
THE GATEWAY AT HYDE PARK
NOVEMBER 14, 2018


PROJECT NO. 18001
DATE REVISED 11/14/2018
DESIGNED BY JAC
DRAWN BY JAC
CHECKED BY JAC
SCALE: AS SHOWN
PHASE: UTILITY PLAN

SECTION C-401

EXHIBIT D, CONT.
PRELIMINARY DEVELOPMENT PLAN

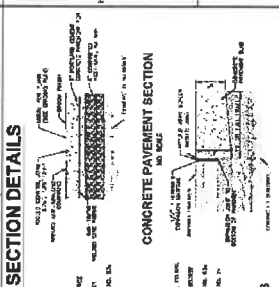


WOOLPERT
INCORPORATED
201 North Adams Street, Suite 200
Harrisburg, PA 17104
717.633.7800



LAWRENCE J. EMMETT

CONCRETE/SIDEWALK DETAILS



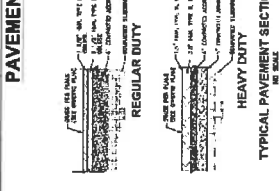
EXPANSION JOINT DETAIL
NO SCALE

CONTROL JOINT
NO SCALE

EXPANSION JOINT AT BUILDING DETAIL
NO SCALE

CONCRETE STOOP DETAIL
NO SCALE

PAVEMENT SECTION DETAILS



REGULAR DUTY
NO SCALE

HEAVY DUTY
NO SCALE

CONCRETE PAVEMENT SECTION
NO SCALE

THICKENED EDGE DETAIL
NO SCALE

CONCRETE WALK DETAIL
NO SCALE

ACCESSIBLE RAMP ALONG CURVE W/ DEPRESSED CURB
NO SCALE

ACCESSIBLE RAMP W/ DEPRESSED CURB
NO SCALE


CONCRETE WALK DETAIL
NO SCALE

5" STRAIGHT CURB
NO SCALE

INTEGRAL WALK AND CURB
NO SCALE

CURB JOINT DETAIL
NO SCALE

ADA DETAILS




ADA SYMBOL
NO SCALE

ADA PAVEMENT SYMBOL
NO SCALE

ADA POST DETAIL
NO SCALE

MISCELLANEOUS DETAILS




PRECAST CONCRETE WHEEL STOP
NO SCALE

GUARD POST DETAIL
NO SCALE

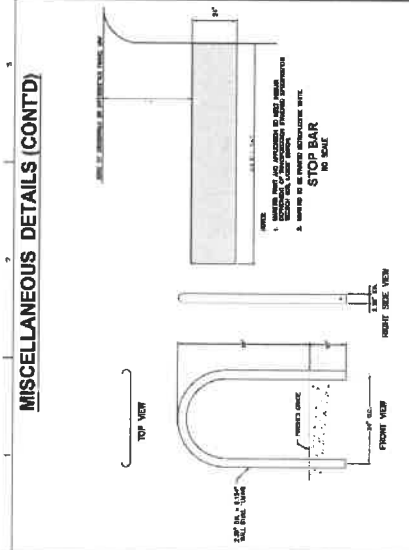
EXHIBIT D, CONT. PRELIMINARY DEVELOPMENT PLAN

W
WOOLPERT
ARCHITECTURAL FIRM
2511 N. UNIVERSITY AVENUE
ANN ARBOR, MI 48106
317.266.1800



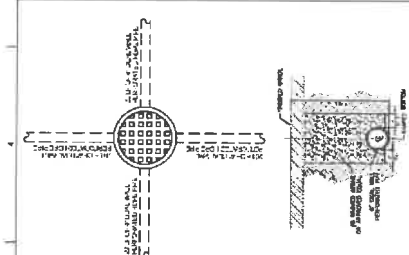
NOVO DEVELOPMENT GROUP
PRELIMINARY DEVELOPMENT PLANS
THE GATEWAY AT HYDE PARK

MISCELLANEOUS DETAILS (CONT'D)




"INVERTED U" BICYCLE RACK DETAIL
NO SCALE

STOP BAR
NO SCALE



PIPE UNDERDRIFT STRUCTURES
(UNDER MAIN DRIVE)
NO SCALE



DRIVE TYPICAL SECTION
SCALE: 1/2" = 1'-0"

NOVO DEVELOPMENT GROUP
PRELIMINARY DEVELOPMENT PLANS
THE GATEWAY AT HYDE PARK

| | |
|-------------|------------|
| PROJECT NO. | 2024-001 |
| DATE ISSUED | 08/15/2024 |
| DESIGNED BY | DAW |
| DRAWN BY | DAW |
| CHECKED BY | DAW |
| DATE | 08/15/2024 |

REVISIONS

| NO. | DESCRIPTION |
|-----|-------------------|
| 1 | ISSUED FOR PERMIT |

EXHIBIT D, CONT. PRELIMINARY DEVELOPMENT PLAN

REINFORCED CONCRETE (RCP) Specifications

1. The RCP shall be constructed in accordance with the specifications of the City of Milwaukee, Wisconsin, and shall be subject to the approval of the City Engineer. The RCP shall be constructed in accordance with the specifications of the City Engineer. The RCP shall be constructed in accordance with the specifications of the City Engineer.

Fire Hydrant Specifications

- A water fire hydrant shall be installed in accordance with the specifications of the City of Milwaukee, Wisconsin, and shall be subject to the approval of the City Engineer.
- All fire hydrants shall be installed in accordance with the specifications of the City of Milwaukee, Wisconsin, and shall be subject to the approval of the City Engineer.
- The fire hydrant shall be installed in accordance with the specifications of the City of Milwaukee, Wisconsin, and shall be subject to the approval of the City Engineer.
- The fire hydrant shall be installed in accordance with the specifications of the City of Milwaukee, Wisconsin, and shall be subject to the approval of the City Engineer.

GATE VALVE BOX SETTING

NO SCALE

REINFORCED CONCRETE PIPE (RCP) Specifications

1. The RCP shall be constructed in accordance with the specifications of the City of Milwaukee, Wisconsin, and shall be subject to the approval of the City Engineer.

Plastic Pipe (PVC & HDPE) Specifications

1. The plastic pipe shall be constructed in accordance with the specifications of the City of Milwaukee, Wisconsin, and shall be subject to the approval of the City Engineer.

REINFORCED CONCRETE PIPE (RCP) TRENCH DETAIL (REGARD TO THE SIDE OF PARADE)

REINFORCED CONCRETE PIPE (RCP) TRENCH DETAIL (REGARD TO THE SIDE OF PARADE)

REINFORCED CONCRETE PIPE (RCP) TRENCH DETAIL (REGARD TO THE SIDE OF PARADE)

REINFORCED CONCRETE PIPE (RCP) TRENCH DETAIL (REGARD TO THE SIDE OF PARADE)

EXHIBIT D, CONT. PRELIMINARY DEVELOPMENT PLAN

WOOLPERT
2200A Adams Street, Suite 200
Millsboro, DE 19966
302.839.1000



PLAN
SECTION

LEGEND

NOTE: CONTRACTOR TO INSTALL INAWAC APPROVED WATTS SERIES 706 MODEL DOUBLE CHECK DETECTOR ASSEMBLY OR APPROVED EQUAL

MINIMUM CROSSOVER & SEPARATION REQUIREMENTS FOR WATER MAINS, SANITARY SEWERS, STORM SEWERS

CLEAN-OUT IN PAVEMENT

CLEAN-OUT IN GRASS

WATER MAIN CONNECTION DETAIL

TYPICAL THRUST BLOCKING DETAILS

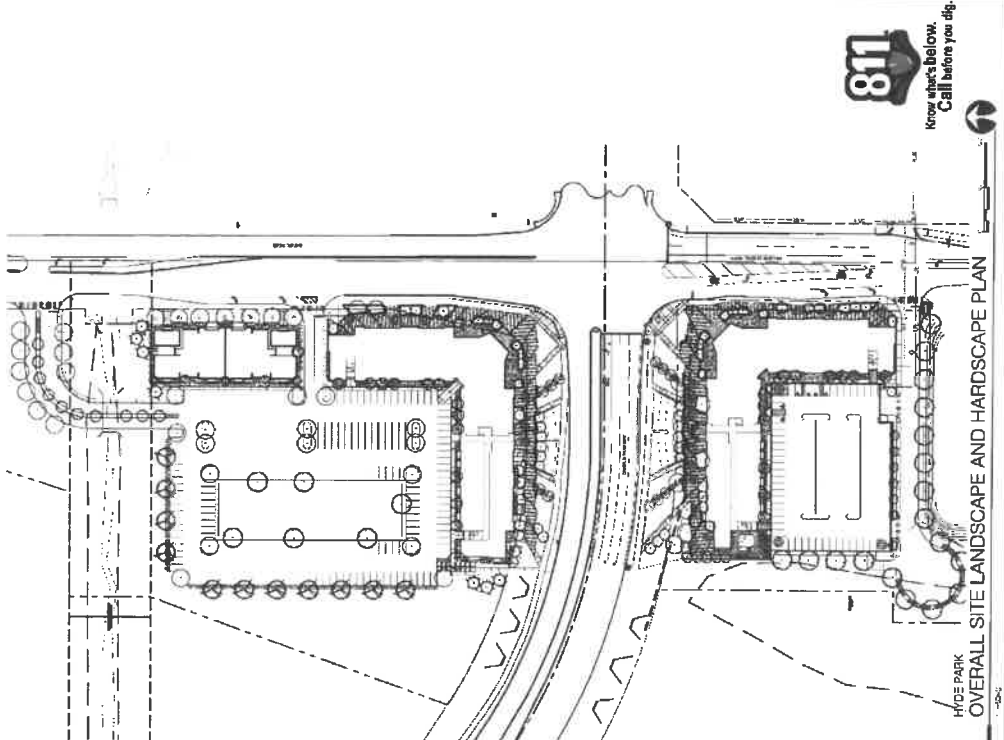
WATERLINE BEDDING AND BACKFILL

NOVIO DEVELOPMENT GROUP
 PRELIMINARY DEVELOPMENT PLANS
 THE GATEWAY AT HYDE PARK
 2000S COLLEGE
 DELEWARE
 SHEET NO. 401
 SHEET NAME
 DETAILS

REVISIONS
 C-504

EXHIBIT D, CONT. PRELIMINARY DEVELOPMENT PLAN

| SYMBOL | DESCRIPTION | NOTES |
|--------|--------------|--------------|
| | Tree | As indicated |
| | Shrub | As indicated |
| | Lawn | As indicated |
| | Paving | As indicated |
| | Concrete | As indicated |
| | Asphalt | As indicated |
| | Gravel | As indicated |
| | Sand | As indicated |
| | Soil | As indicated |
| | Water | As indicated |
| | Irrigation | As indicated |
| | Fence | As indicated |
| | Wall | As indicated |
| | Gate | As indicated |
| | Ramp | As indicated |
| | Stairs | As indicated |
| | Bench | As indicated |
| | Light | As indicated |
| | Fire Hydrant | As indicated |
| | Manhole | As indicated |
| | Utility | As indicated |



LIA PIP
Landscape Institute of America
Professional Institute of Practitioners
Landscape Architecture

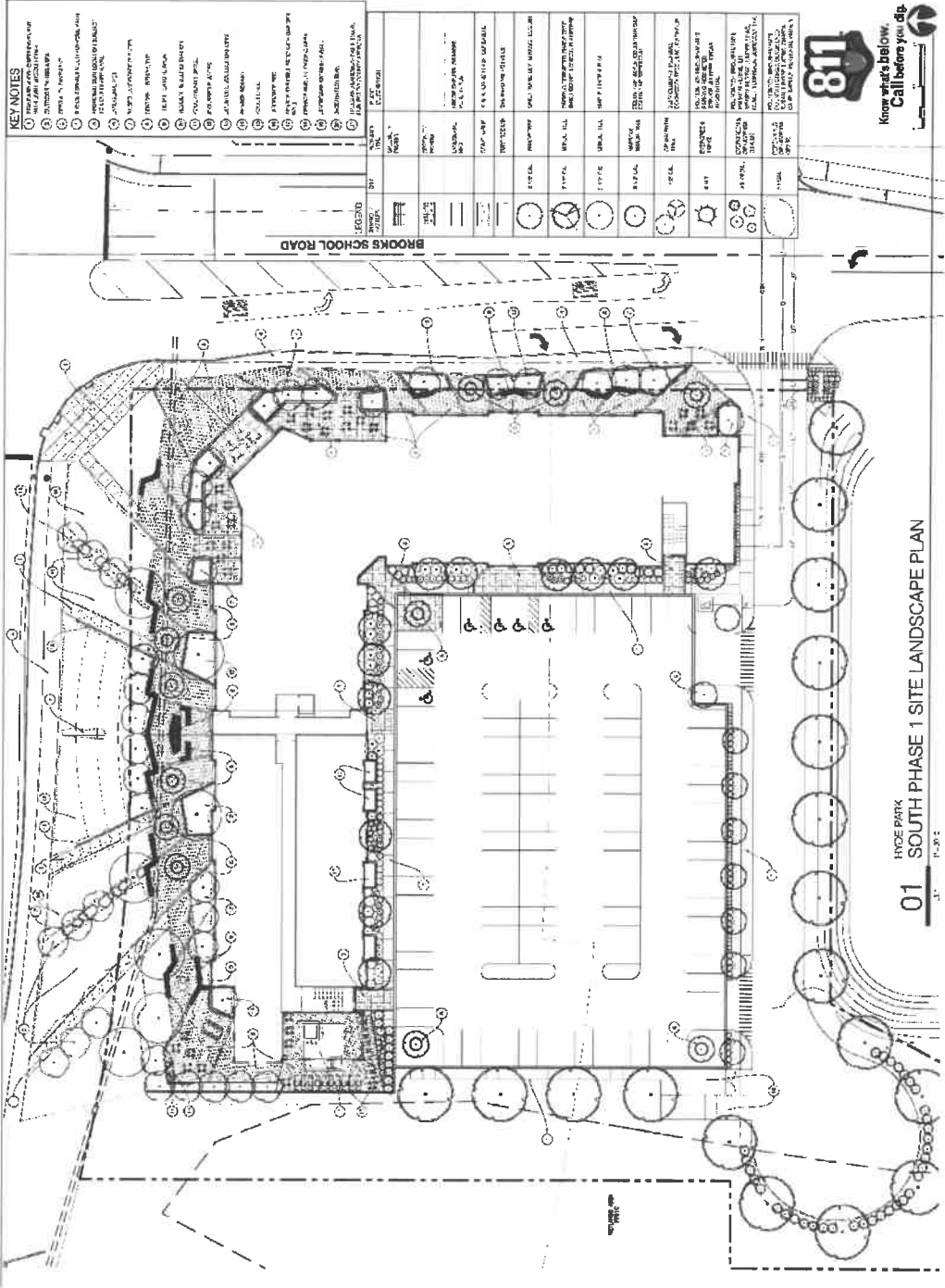
Callaway of Hyde Park
Noblesville, IN
PRELIMINARY DEVELOPMENT PLAN
"DESIGNED BY CALLAWAY OF HYDE PARK"

OVERALL SITE LANDSCAPE PLAN
DATE: 06/20/17
PROJECT: 17-010

L1.0

NOT FOR CONSTRUCTION
PRELIMINARY

EXHIBIT D, CONT.
PRELIMINARY DEVELOPMENT PLAN



811
 Know what's below. Call before you dig.

01 SOUTH PHASE 1 SITE LANDSCAPE PLAN
 1/2" = 1' - 0"

LIA
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 Landscaping
 architecture
 planning
 professionals
 317-258-5239
 landlia.com

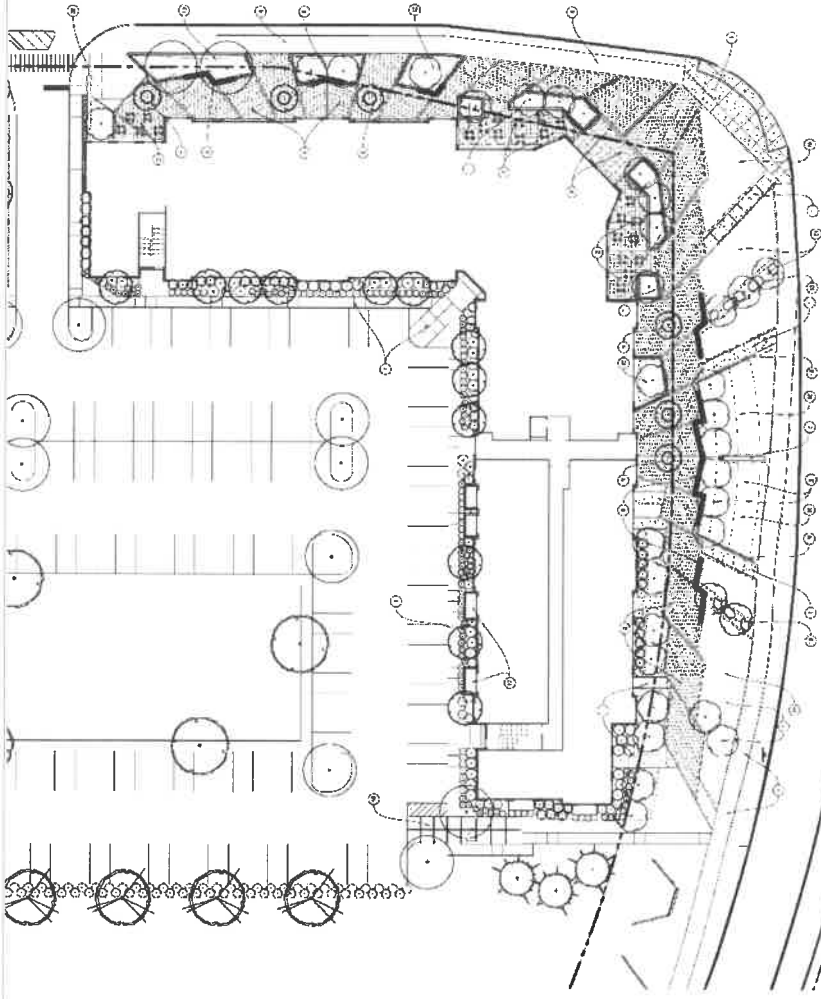
11000 N.W. 51st Street
 Suite 1000
 Miami, FL 33149
 Phone: 317-258-5239
 Fax: 317-258-5238
 Email: info@landlia.com

Gateway at
 Hyde Park
 Noblesville, IN
 PRELIMINARY
 DEVELOPMENT
 PLAN

PROPERTY: 811 COUNTY
 PROJECT: HYDE PARK
 DRAWN BY: [Name]

L1.1

EXHIBIT D, CONT. PRELIMINARY DEVELOPMENT PLAN



KEY NOTES

1. SEE EXHIBIT D FOR PRELIMINARY DEVELOPMENT PLAN
2. SEE EXHIBIT E FOR PRELIMINARY DEVELOPMENT PLAN
3. SEE EXHIBIT F FOR PRELIMINARY DEVELOPMENT PLAN
4. SEE EXHIBIT G FOR PRELIMINARY DEVELOPMENT PLAN
5. SEE EXHIBIT H FOR PRELIMINARY DEVELOPMENT PLAN
6. SEE EXHIBIT I FOR PRELIMINARY DEVELOPMENT PLAN
7. SEE EXHIBIT J FOR PRELIMINARY DEVELOPMENT PLAN
8. SEE EXHIBIT K FOR PRELIMINARY DEVELOPMENT PLAN
9. SEE EXHIBIT L FOR PRELIMINARY DEVELOPMENT PLAN
10. SEE EXHIBIT M FOR PRELIMINARY DEVELOPMENT PLAN
11. SEE EXHIBIT N FOR PRELIMINARY DEVELOPMENT PLAN
12. SEE EXHIBIT O FOR PRELIMINARY DEVELOPMENT PLAN
13. SEE EXHIBIT P FOR PRELIMINARY DEVELOPMENT PLAN
14. SEE EXHIBIT Q FOR PRELIMINARY DEVELOPMENT PLAN
15. SEE EXHIBIT R FOR PRELIMINARY DEVELOPMENT PLAN
16. SEE EXHIBIT S FOR PRELIMINARY DEVELOPMENT PLAN
17. SEE EXHIBIT T FOR PRELIMINARY DEVELOPMENT PLAN
18. SEE EXHIBIT U FOR PRELIMINARY DEVELOPMENT PLAN
19. SEE EXHIBIT V FOR PRELIMINARY DEVELOPMENT PLAN
20. SEE EXHIBIT W FOR PRELIMINARY DEVELOPMENT PLAN
21. SEE EXHIBIT X FOR PRELIMINARY DEVELOPMENT PLAN
22. SEE EXHIBIT Y FOR PRELIMINARY DEVELOPMENT PLAN
23. SEE EXHIBIT Z FOR PRELIMINARY DEVELOPMENT PLAN

LIA PIP
 Landscape Architecture
 317.228.5239
 200 N. W. 10th St.

Gateway of
Hydo Park
 Noblesville, IN
**PRELIMINARY
DEVELOPMENT
PLAN**
 PREPARED BY
Landscape Architecture
Landscape Architecture

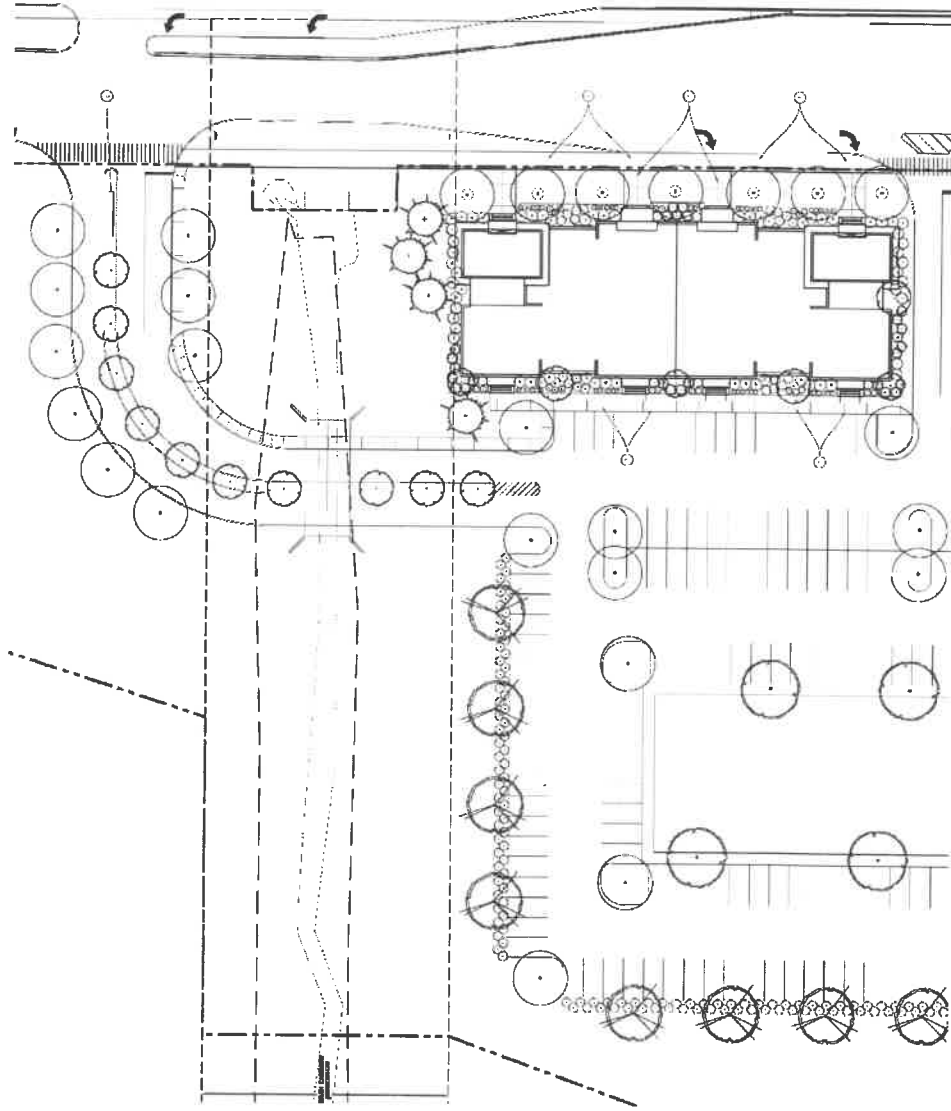
NOT FOR CONSTRUCTION

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 Know what's below.
 Call before you dig.

**NORTH PHASE 2 SITE
LANDSCAPE PLAN**
 01
 1/2" = 1'-0"

L1.2

EXHIBIT D, CONT. PRELIMINARY DEVELOPMENT PLAN



| SYMBOL | DESCRIPTION |
|----------|----------------|
| (Symbol) | 1-10' TREE |
| (Symbol) | 15-20' TREE |
| (Symbol) | 25-30' TREE |
| (Symbol) | 35-40' TREE |
| (Symbol) | 45-50' TREE |
| (Symbol) | 55-60' TREE |
| (Symbol) | 65-70' TREE |
| (Symbol) | 75-80' TREE |
| (Symbol) | 85-90' TREE |
| (Symbol) | 95-100' TREE |
| (Symbol) | 105-110' TREE |
| (Symbol) | 115-120' TREE |
| (Symbol) | 125-130' TREE |
| (Symbol) | 135-140' TREE |
| (Symbol) | 145-150' TREE |
| (Symbol) | 155-160' TREE |
| (Symbol) | 165-170' TREE |
| (Symbol) | 175-180' TREE |
| (Symbol) | 185-190' TREE |
| (Symbol) | 195-200' TREE |
| (Symbol) | 205-210' TREE |
| (Symbol) | 215-220' TREE |
| (Symbol) | 225-230' TREE |
| (Symbol) | 235-240' TREE |
| (Symbol) | 245-250' TREE |
| (Symbol) | 255-260' TREE |
| (Symbol) | 265-270' TREE |
| (Symbol) | 275-280' TREE |
| (Symbol) | 285-290' TREE |
| (Symbol) | 295-300' TREE |
| (Symbol) | 305-310' TREE |
| (Symbol) | 315-320' TREE |
| (Symbol) | 325-330' TREE |
| (Symbol) | 335-340' TREE |
| (Symbol) | 345-350' TREE |
| (Symbol) | 355-360' TREE |
| (Symbol) | 365-370' TREE |
| (Symbol) | 375-380' TREE |
| (Symbol) | 385-390' TREE |
| (Symbol) | 395-400' TREE |
| (Symbol) | 405-410' TREE |
| (Symbol) | 415-420' TREE |
| (Symbol) | 425-430' TREE |
| (Symbol) | 435-440' TREE |
| (Symbol) | 445-450' TREE |
| (Symbol) | 455-460' TREE |
| (Symbol) | 465-470' TREE |
| (Symbol) | 475-480' TREE |
| (Symbol) | 485-490' TREE |
| (Symbol) | 495-500' TREE |
| (Symbol) | 505-510' TREE |
| (Symbol) | 515-520' TREE |
| (Symbol) | 525-530' TREE |
| (Symbol) | 535-540' TREE |
| (Symbol) | 545-550' TREE |
| (Symbol) | 555-560' TREE |
| (Symbol) | 565-570' TREE |
| (Symbol) | 575-580' TREE |
| (Symbol) | 585-590' TREE |
| (Symbol) | 595-600' TREE |
| (Symbol) | 605-610' TREE |
| (Symbol) | 615-620' TREE |
| (Symbol) | 625-630' TREE |
| (Symbol) | 635-640' TREE |
| (Symbol) | 645-650' TREE |
| (Symbol) | 655-660' TREE |
| (Symbol) | 665-670' TREE |
| (Symbol) | 675-680' TREE |
| (Symbol) | 685-690' TREE |
| (Symbol) | 695-700' TREE |
| (Symbol) | 705-710' TREE |
| (Symbol) | 715-720' TREE |
| (Symbol) | 725-730' TREE |
| (Symbol) | 735-740' TREE |
| (Symbol) | 745-750' TREE |
| (Symbol) | 755-760' TREE |
| (Symbol) | 765-770' TREE |
| (Symbol) | 775-780' TREE |
| (Symbol) | 785-790' TREE |
| (Symbol) | 795-800' TREE |
| (Symbol) | 805-810' TREE |
| (Symbol) | 815-820' TREE |
| (Symbol) | 825-830' TREE |
| (Symbol) | 835-840' TREE |
| (Symbol) | 845-850' TREE |
| (Symbol) | 855-860' TREE |
| (Symbol) | 865-870' TREE |
| (Symbol) | 875-880' TREE |
| (Symbol) | 885-890' TREE |
| (Symbol) | 895-900' TREE |
| (Symbol) | 905-910' TREE |
| (Symbol) | 915-920' TREE |
| (Symbol) | 925-930' TREE |
| (Symbol) | 935-940' TREE |
| (Symbol) | 945-950' TREE |
| (Symbol) | 955-960' TREE |
| (Symbol) | 965-970' TREE |
| (Symbol) | 975-980' TREE |
| (Symbol) | 985-990' TREE |
| (Symbol) | 995-1000' TREE |

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architecture
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1000 N. STATE ST.
CHICAGO, IL 60610
312.467.1100
WWW.LARIP.COM

Project No.
Gateway of
Hyde Park
Noblesville, IN
PRELIMINARY
DEVELOPMENT
PLAN
**SUBJECT TO 2021
SPECIAL BOE
A. PROVISIONS**

NOT FOR CONSTRUCTION
PRELIMINARY

Drawn: Scott
**NORTH PHASE 2 SIT
LANDSCAPE PLAN**
Scale: 1"=40'
Date: 11/15/2021
Project: Gateway of Hyde Park
Sheet: L1.3

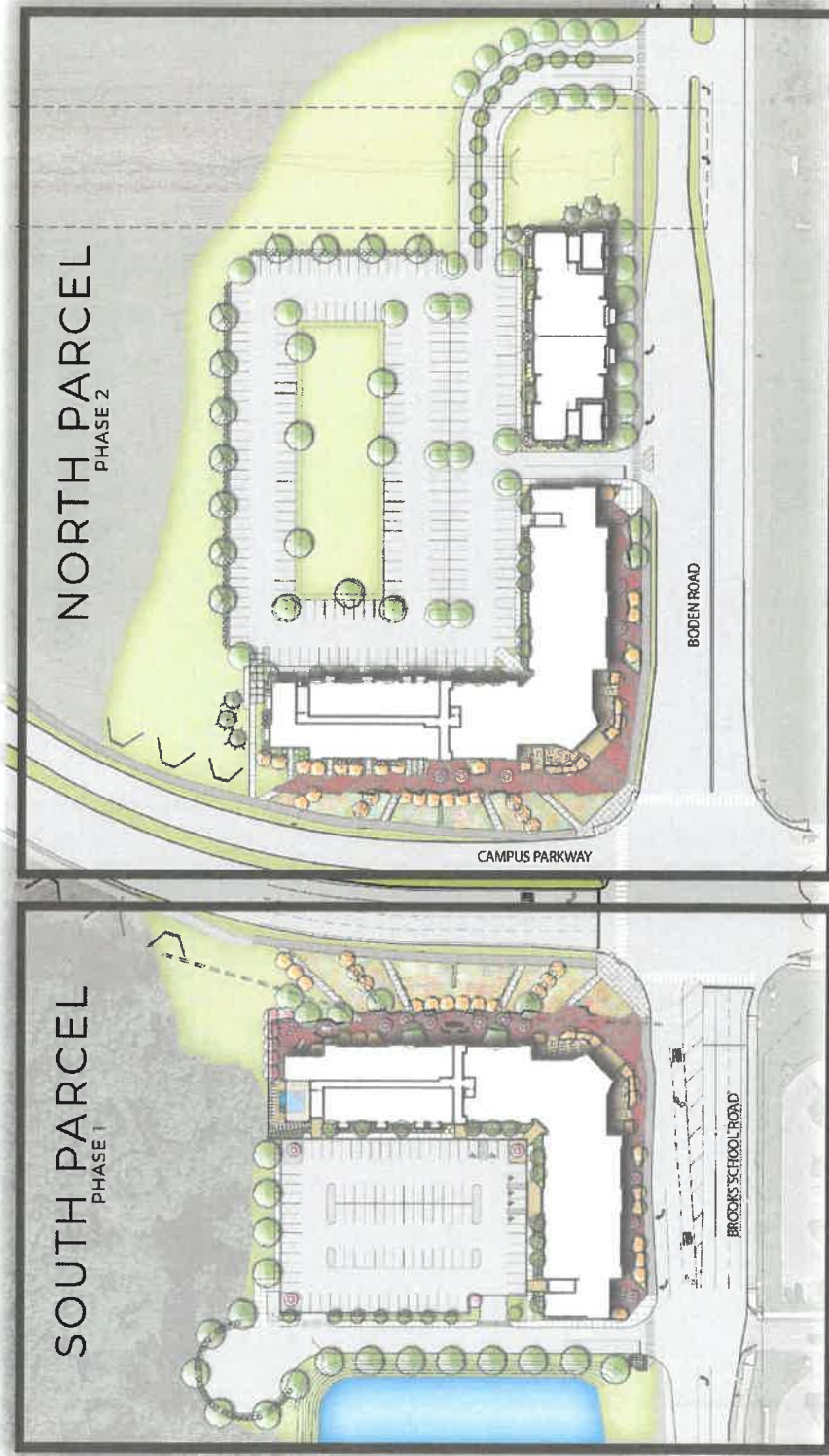
EXHIBIT E
CONCEPTUAL SIGN PACKAGE



THE "GATEWAY"
INTEGRATED
SIGNAGE PACKAGE

09.21.22

EXHIBIT E, CONT.
CONCEPTUAL SIGN PACKAGE



L/A PIP
Landscape Architecture
Professionals



THE GATEWAY AT HYDE PARK
NOBLESVILLE, IN | SEPTEMBER 2022

EXHIBIT E, CONT.
CONCEPTUAL SIGN PACKAGE

**INTEGRATED DEVELOPMENT
SIGNAGE PLANS
SOUTH PARCEL - Sheet 1**



1 EXTERIOR ELEVATION - NORTH



2 EXTERIOR ELEVATION - SOUTH

**"GATEWAY"
AT HYDE PARK
INTEGRATED DEVELOPMENT
SIGN LEGEND**








| | |
|---|--|
|  | PROJECTIONS SIGN A1 TRESTLE BRIDGE AVENUE 72'W x 246'H x 30'P |
|  | AWNING SIGN - 1ST FLOOR TERRACE B1 Terrace Awning Area 180'W x 54'H B2 Terrace Awning Area 120'W x 52'H |
|  | WINDOW TERRACE GRAPHIC NETWORK SIGN 35% OF PANEL |
|  | BLACK IRON - TERRACE PROJECTIONS SIGN C1 Projection Area 20'W x 50'H x 10'P |
|  | PROJECTIONS AND WALL SIGNS - PARKING GARAGE P1 Garage Wall Sign Area 27'W x 31'H P2 Garage Wall Sign Area 27'W x 31'H |
|  | ORIENTATIONS AND OCCURED SIGNS O1 Orientation Sign 12'W x 12'H O2 Occured Sign Area 21'-6"W x 12'H |
|  | WALL SIGN - PROXIMITY NAME E1 "Gateway" Proximity Sign Area 10'W x 1.5'H E2 "Gateway" Leading Sign Area 21'W x 11'H |



EXHIBIT E, CONT.
CONCEPTUAL SIGN PACKAGE

**INTEGRATED DEVELOPMENT
SIGNAGE PLANS
SOUTH PARCEL - Sheet 2**



① EXTERIOR ELEVATION - EAST
1/8" = 1'-0"



② EXTERIOR ELEVATION - WEST
1/8" = 1'-0"

**"GATEWAY"
AT HYDE PARK
INTEGRATED DEVELOPMENT
SIGN LEGEND**

| PROJECTIONS SIZE | |
|---|-----------------------|
| A1 Transit Sign Area | 12' W x 246" H x 3' D |
| AWNING SIGN - 1ST FLOOR TYPICAL | |
| B1 Transit Sign Area | 18' W x 54" H |
| B2 Transit Sign Area | 12' W x 54" H |
| WINDOW TYPICAL GRAPHIC Not more than 25% OF FRAME | |
| SLIDE SIGN - 1ST FLOOR TYPICAL | |
| C1 Projections Area | 20' W x 50" H x 1' D |
| PROJECTIONS WALL MOUNT - PAVEMENT MOUNT | |
| D1 Projections Sign Area | 20' W x 20' H |
| D2 Ground Sign Area | 20' W x 1.5' H |
| GROUND SIGN ON SIGNAGE MOUNT | |
| D3 Projections Sign Area | 12' W x 12' H |
| D4 Projections Sign Area | 21' 6" W x 12' H |
| WALL SIGN - PROPERTY NAME | |
| E1 "Gateway" Marque Sign Area | 9' W x 3.5' H |
| E2 "Gateway" Building Sign Area | 20' W x 1' H |



EXHIBIT E, CONT.
CONCEPTUAL SIGN PACKAGE

**INTEGRATED DEVELOPMENT
SIGNAGE PLANS
NORTH PARCEL - Sheet 1**



**"GATEWAY"
AT HYDE PARK
INTEGRATED DEVELOPMENT
SIGN LEGEND**

- PROJECTION SIGN
 - A1 Tenant Sign Area 7'W x 24'H x 3.00'
- AVENUE SIGN - 15' PLAZA SIGNAGE
 - B1 Tenant Sign Area 10'W x 9'4"
 - B2 Tenant Sign Area 12'W x 5'2"
- WINDOW SIGNAGE GRAPHIC Not more than 35% OF PANEL
- BLANK SIGN - TENANT PROJECTION SIGN
 - C1 Projection Area 8'W x 5'0" x 18"
- PROJECTION WALL SIGN - PARKING GARAGE
 - D1 Projection Sign Area 7'W x 5'0" x 20"
 - D2 Sign Wall Sign Area 2'W x 1.5"
- DESTINATION AND ORIENTED SIGN
 - D3 Oriented Sign Area 10'W x 5'0"
 - D4 Oriented Sign Area 7'W x 5'0"
- WALL SIGN - PROPERTY NAME
 - D5 "Gateway" Leading Sign Area 10'W x 1.5"
 - D6 "Gateway" Leading Sign Area 5'W x 11'4"



EXHIBIT E, CONT.
CONCEPTUAL SIGN PACKAGE

**INTEGRATED DEVELOPMENT
SIGNAGE PLANS
NORTH PARCEL - Sheet 2**



**"GATEWAY"
AT HYDE PARK
INTEGRATED DEVELOPMENT
SIGN LEGEND**

- PROJECTION SIGN
 - A1 Translucent Area 77" w x 240" h x 30" d
- AVIS SIGNAGE - 1ST FLOOR TERRACE
 - B1 Translucent Area 100" w x 84" h
 - B2 Translucent Area 100" w x 82" h
- SIGNAGE REARER OR SIGNAGE NOT MORE THAN 3/4" OF PANEL
- BLIND SIGN - TERRACE PROJECTION SIGN
 - C1 Projection Area 96" w x 50" h x 18" d
- PROJECTION WITH WALL SIGNAGE - PARKING GARAGE
 - D1 Translucent Area 120" w x 60" h x 30" d
 - D2 Glass Wall Sign Area 20' x 15' x 30"
- SIGNAGE AS ABOVE SIGNAGE
 - E1 Translucent Area 110" w x 110" h
 - E2 Ground Sign Area 23' 4" x 8' 8"
- WALL SIGNAGE - SIGNAGE WITH WALL
 - E1 Translucent Sign Area 80" w x 135" h
 - E2 "Gateway" Leading Sign Area 82" w x 116" h



EXHIBIT E, CONT.
CONCEPTUAL SIGN PACKAGE

**INTEGRATED DEVELOPMENT
Signage Examples**

A1

PROJECTION SIGN - TENANT BLADE SIGN - SAMPLE



SIDE ELEVATION

FRONT/BACK ELEVATION

FABRICATE AND INSTALL INTERNALLY ILLUMINATED D/F BLADE SIGN

FACES - 3/16" WHITE POLYCARBONATE

VINYL - MATCH SPECS

RETAINERS - 1" TO MATCH SPECS

ARMS - 2" 50 ALUMINUM TUBING PAINTED TO MATCH SPECS

BRACKET - 1/4" PLATE ALUMINUM PAINTED TO MATCH SPECS

LEDS - WHITE

INSTALLATION - PROJECTED OFF BUILDING WITH ARMS AND BRACKETS

| | | | | |
|--|-----------------------------|---|--|------------------------------------|
| <p>COLOR SPECIFICATIONS:</p> <ul style="list-style-type: none"> A) 400527 - EQUINOXIAL - 6000K CCT B) 400527 - EQUINOXIAL - 6000K CCT C) 400527 - EQUINOXIAL - 6000K CCT D) 400527 - EQUINOXIAL - 6000K CCT E) 400527 - EQUINOXIAL - 6000K CCT | | <p>NOTES: THIS PROJECT IS SUBJECT TO THE 2021 ILLINOIS BUILDING DEPARTMENT (IDPH) REGULATIONS. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2021 ILLINOIS BUILDING DEPARTMENT (IDPH) REGULATIONS. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2021 ILLINOIS BUILDING DEPARTMENT (IDPH) REGULATIONS. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2021 ILLINOIS BUILDING DEPARTMENT (IDPH) REGULATIONS.</p> | <p>DESIGNED: N.A.</p> | <p>PERMIT INFORMATION: N/A</p> |
| <p>SCALE: 1" = 1'-0"</p> | <p>DATE: 11/15/2024</p> | <p>REVISION DATE: 11/15/2024</p> | <p>FINAL DATE & BY: 11/15/2024</p> | <p>SHEET #: 1</p> |

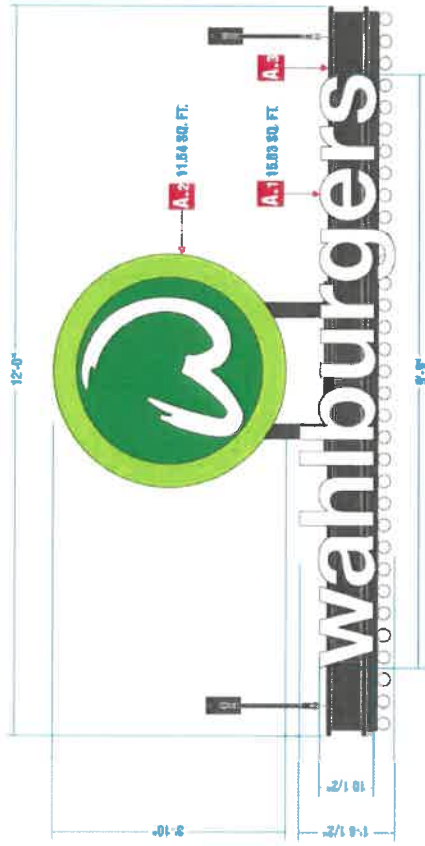
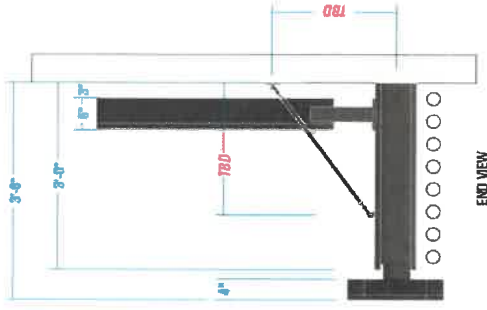
ART SCALE: 1" = 1'-0"

EXHIBIT E, CONT.
CONCEPTUAL SIGN PACKAGE

**INTEGRATED DEVELOPMENT
Signage Examples**

B1

AWNING SIGN - 1ST FLOOR TENANT - SAMPLE



36" HT. ILLUM. CHANNEL LETTERS W/ WIREWAY
ONE (1) SET REQ'D. SCALE: 3/4" = 1'-0"
18.03 SQ. FT.

48" HT. ILLUM. MONOGRAM
ONE (1) SET REQ'D. SCALE: 3/4" = 1'-0"
11.54 SQ. FT.

SCOPE OF WORK: MANUFACTURE & INSTALL ONE (1) TOP-MOUNTED W/ ILLUM. MONOGRAM ONTO COMPONENT SIGN A.3

SPECIFICATIONS:
FACER: POLYCARBONATE ALUMINUM CHANNEL, PAINTED SATIN BLACK & INTERIOR PAINTED SATIN WHITE
FACER: CLEAR ACRYLIC W/ 1ST SURFACE DIGITAL PRINT W/AL, 2ND SURFACE #70 DIFFUSER
& 1" BLACK TRIM CAP

ILLUMINATION: PROVIDED BY 4800K WHITE LEDS & REMOTE POWER SUPPLIES HOUSED IN TRANSFORMER BOX, PAINTED BLACK, BEHIND WALL.
SUPPORTS: 3" SQ. STEEL TUBE W/ 1/2" STEEL MOUNTING PLATE, PAINTED SATIN BLACK. *NOTE: DIMS. BOX MAY VARY, SEE VISUAL.*
MOUNTING: BOLTED TO TOP OF CONCRETE AS W/ NON-CORROSIVE HARDWARE PER ENGINEERING.

COLOR SPECIFICATIONS:

| | | | |
|---|-----------|-------------|---|
| A | 1870-547 | BRONZE MET | F |
| B | 305 | GREEN | G |
| C | 3062A-951 | GREEN BLACK | H |
| D | | | I |
| E | | | J |

NOTE: THIS DRAWING IS A PRELIMINARY DESIGN AND IS SUBJECT TO CHANGE WITHOUT NOTICE. THE CLIENT ACCEPTS THE DESIGN AS SHOWN AND IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

DESIGNER: H&E
PERMIT INFORMATION: N/A

DATE:
REVISION DATE:

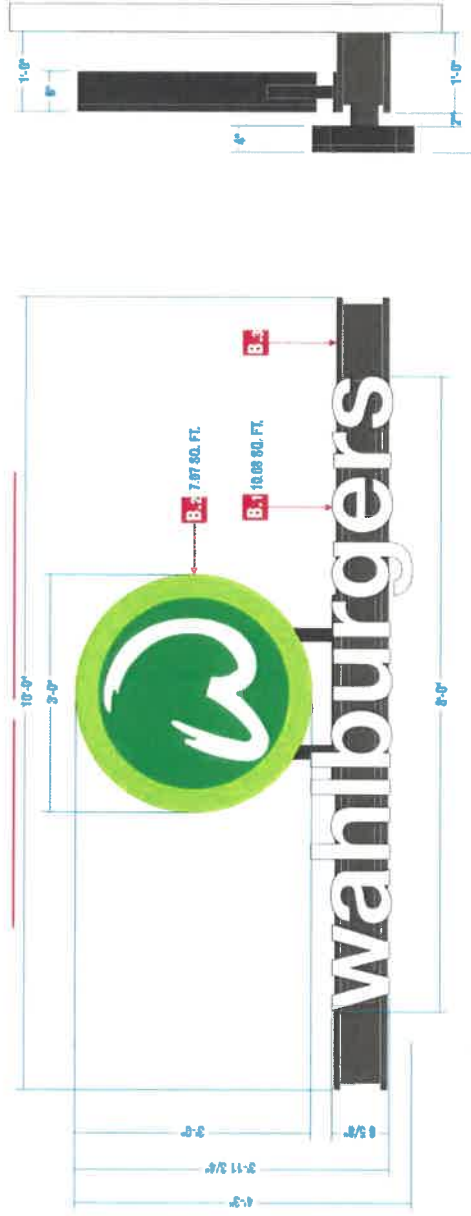
ART SCALE: 1" = 1'-0"

EXHIBIT E, CONT.
CONCEPTUAL SIGN PACKAGE

**INTEGRATED DEVELOPMENT
Signage Examples**

B2

AWNING SIGN - 1ST FLOOR TENANT - SAMPLE



24" INT. ILLUM. CHANNEL LETTERS W/ WIREWAY
ONE (1) SET REQ'D.

SCALE: 1" = 1'-0"
10.08 SQ. FT.

SCOPE OF WORK: MANUFACTURE & INSTALL ONE (1) SET OF WIREWAY MOUNTED INTERNALLY
ILLUMINATED CHANNEL LETTERS ONTO COMPONENT SIGN B.3

SPECIFICATIONS:
CABINET: 4" D. FABRICATED ALUMINUM CHANNEL PAINTED SATIN BLACK & INTERIOR PAINTED SATIN WHITE
LETTERS: 4" D. FABRICATED ALUMINUM CHANNEL PAINTED SATIN BLACK & INTERIOR PAINTED SATIN WHITE
FACES: 7/32" WHITE ACRYLIC W/ 1" BLACK TRIM CAP
ILLUMINATION: PROVIDED BY 4000K WHITE LEDS & REMOTE POWER SUPPLIES HOUSED IN TRANSFORMER BOX PAINTED BLACK ON BACKSIDE OF WALL. NOTE: TRANSFORMER BOX WILL BE VISIBLE!
WIREWAY: 5" X 3" FABRICATED ALUMINUM, PAINTED DARK BRONZE, SATIN FINISH.

36" INT. ILLUM. MONOGRAM
ONE (1) SET REQ'D.

SCALE: 1" = 1'-0"
7.07 SQ. FT.

SCOPE OF WORK: MANUFACTURE & INSTALL ONE (1) TOP-MOUNTED INT. ILLUM. MONOGRAM ONTO COMPONENT SIGN B.3

SPECIFICATIONS:
CABINET: 6" D. FABRICATED ALUMINUM CHANNEL PAINTED SATIN BLACK & INTERIOR PAINTED SATIN WHITE
FACES: CLEAR ACRYLIC W/ 1ST SURFACE DIGITAL PRINT W/ 2ND SURFACE #70 DEBRUISER & 1" BLACK TRIM CAP
ILLUMINATION: PROVIDED BY 4000K WHITE LEDS & REMOTE POWER SUPPLIES HOUSED IN TRANSFORMER BOX PAINTED BLACK ON BACKSIDE OF WALL. NOTE: TRANSFORMER BOX WILL BE VISIBLE!
SUPPORTS: 2" SQ. STEEL TUBE W/ 1/2" STEEL MOUNTING PLATE, PAINTED SATIN BLACK
MOUNTING: BOLTED TO TOP OF EYEBROW CANOPY B.3 W/ NON-CORROSIVE HARDWARE PER ENGINEERING.

COLOR SPECIFICATIONS:

| | | |
|---|---------------------|-------------|
| A | 39 2157 016040K | 6007: 4:1:1 |
| B | 396 9894 | |
| C | 9984: 6:1:00: 8:4:4 | |
| D | | |
| E | | |

| | |
|----------------|-------|
| DESIGNER: | DATE: |
| REVISION DATE: | |

NOTE: THIS WILL BE OUR STANDARD AND INFORMATION TO BE INCORPORATED INTO THE PROJECT'S DESIGN. SIGNIFICANT CHANGES TO THIS DESIGN WILL BE CHARGED TO THE CLIENT. PERIODIC CHECKS WILL BE CONDUCTED TO ENSURE THE PROJECT IS ON TRACK. THIS DOCUMENT IS THE PROPERTY OF THE DESIGNER AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. THE DESIGNER ASSUMES NO LIABILITY FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY ARISING FROM THE USE OF THIS DOCUMENT.

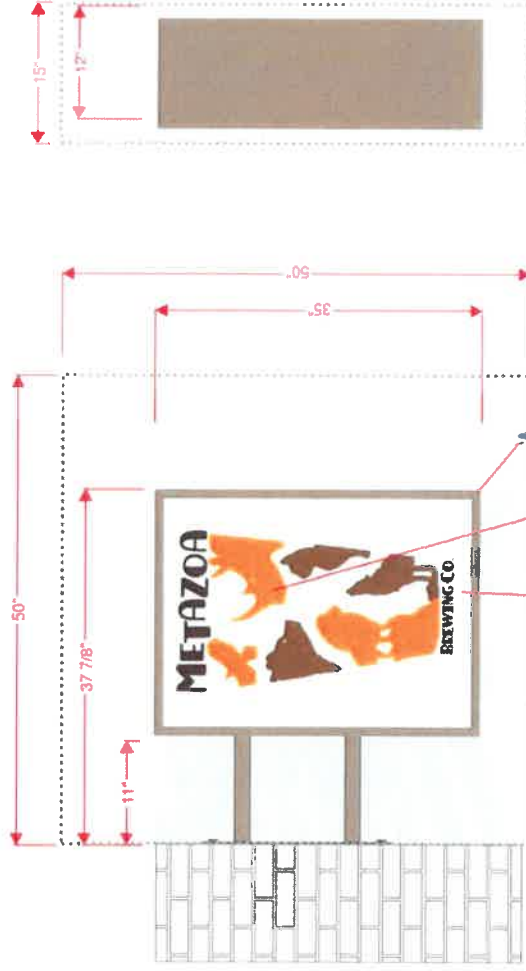
PERMIT INFORMATION:
DESIGNER: 1:1
REVISION DATE:

ART SCALE: 1" = 1'-0"

EXHIBIT E, CONT.
CONCEPTUAL SIGN PACKAGE

**INTEGRATED DEVELOPMENT
Signage Examples**

C1
TENANT BLADE SIGN - SAMPLE



FABRICATE AND INSTALL INTERNALLY ILLUMINATED D/F BLADE SIGN

- FACES - 3/16" WHITE POLYCARBONATE
- VINYL - MATCH SPECS
- RETAINERS - 1" TO MATCH SPECS
- ARMS - 2" SQ ALUMINUM TUBING PAINTED TO MATCH SPECS
- BRACKET - 3/4" PLATE ALUMINUM PAINTED TO MATCH SPECS
- LEDS - WHITE

INSTALLATION - PROJECTED OFF BUILDING WITH ARMS AND BRACKETS

FRONT/BACK ELEVATION

SIDE ELEVATION

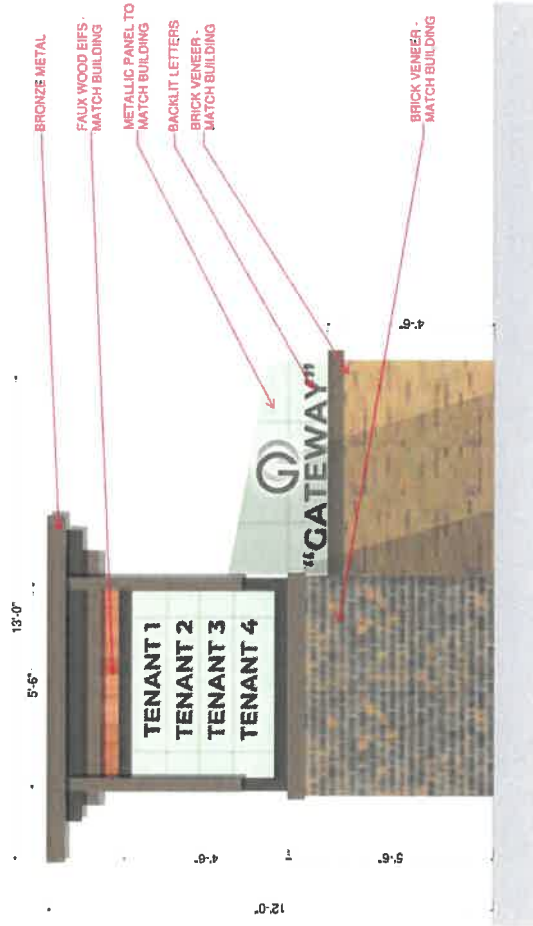
| | | | |
|---|--|--|--|
| <p>COLOR SPECIFICATIONS:</p> <ul style="list-style-type: none"> ① RAL 9005 (BLACK) ② RAL 9001 (WHITE) ③ RAL 9006 (RED) ④ RAL 9004 (YELLOW) ⑤ RAL 9003 (GREEN) ⑥ RAL 9002 (BLUE) | | <p>PERMIT INFORMATION:</p> <p>DESIGNER: [NAME]</p> <p>REVISION DATE: [DATE]</p> <p>FINAL DATE & BY: [DATE]</p> <p>SHEET #: [NUMBER]</p> | |
| <p>NOTES:</p> <p>1. THIS SIGN SHALL BE MANUFACTURED AND ASSEMBLED IN THE UNITED STATES OF AMERICA.</p> <p>2. ALL MATERIALS SHALL BE NEW AND OF THE HIGHEST QUALITY AVAILABLE.</p> <p>3. THE SIGN SHALL BE MAINTAINED IN GOOD CONDITION AT ALL TIMES.</p> | | <p>SC REP: [NAME]</p> <p>DATE: [DATE]</p> | |

ART SCALE: 1" = 1'-0"

EXHIBIT E, CONT.
CONCEPTUAL SIGN PACKAGE

**INTEGRATED DEVELOPMENT
 Signage Examples**

D1
 8'ROUND SIGN - 12'H X 13'W



| | | | | | |
|--|--|---|--|-----------------------------------|--|
| <p>COLOR SPECIFICATIONS:</p> <ul style="list-style-type: none"> ① MILDRED (ROUND SIGN) MET ② BIG GRAY ③ BRICK (4) - WHITE ④ ⑤ ⑥ | | <p>WITH THIS SIGN PACKAGE, YOU WILL RECEIVE:</p> <ul style="list-style-type: none"> 1. SIGNAGE DESIGN AND CONSTRUCTION 2. PERMITTING SERVICES 3. MATERIALS AND LABOR 4. INSTALLATION <p>INFORMATION: THIS SIGN PACKAGE IS FOR CONCEPTUAL DESIGN ONLY. THE FINAL DESIGN AND CONSTRUCTION SHALL BE DETERMINED BY THE CLIENT AND THE SIGNAGE MANUFACTURER.</p> | | <p>DESIGNER:</p> <p>MM</p> | <p>PERMIT INFORMATION:</p> <p>N/A</p> |
| <p>SCALE:</p> <p>1"</p> | | <p>REVISION DATE:</p> <p></p> | | <p>DATE:</p> <p></p> | |

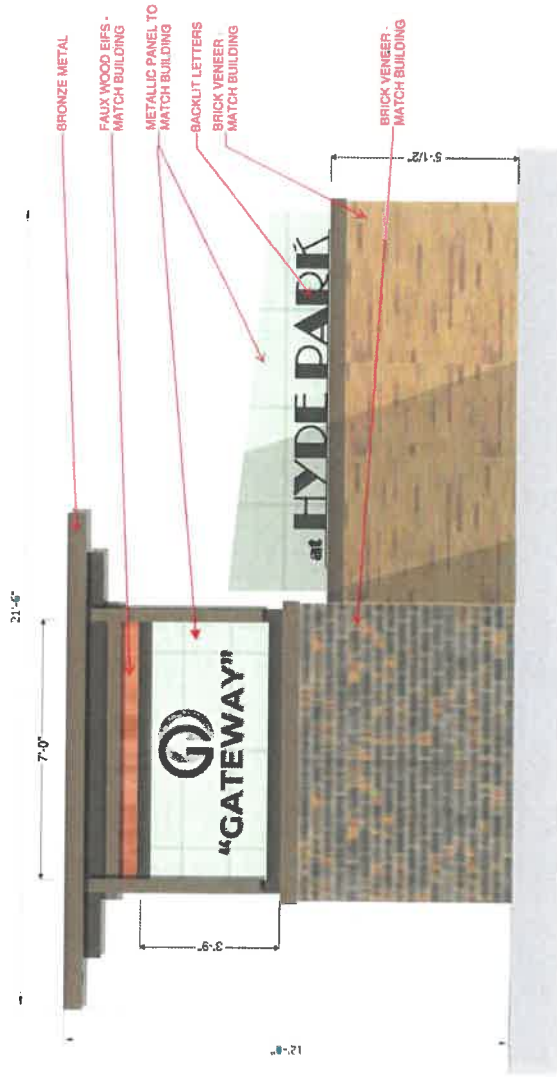
ART SCALE: 1" = 1'-0"

EXHIBIT E, CONT.
CONCEPTUAL SIGN PACKAGE

**INTEGRATED DEVELOPMENT
 Signage Examples**

D2

DESIGNATION SIGN - 12'H X 21'-6"W



| COOR SPECIFICATIONS: | SK. REP. | DESIGNER: | PERMIT INFORMATION: |
|--|---|--|--|
| <ul style="list-style-type: none"> 1 METALLIC PANEL TO MATCH BUILDING 2 BR. VENEER 3 BRICK VENEER 4 BACKLIT LETTERS 5 BRICK VENEER | <ul style="list-style-type: none"> F G H I J | <ul style="list-style-type: none"> JK | <ul style="list-style-type: none"> KL |
| <p>NOTE: THIS SIGNAGE IS SUBJECT TO THE CITY OF HYDE PARK'S DESIGN REVIEW PROCESS. ALL SIGNAGE MUST BE APPROVED BY THE CITY OF HYDE PARK'S DESIGN REVIEW BOARD BEFORE INSTALLATION. THE CITY OF HYDE PARK'S DESIGN REVIEW BOARD IS THE FINAL AUTHORITY ON ALL SIGNAGE MATTERS.</p> | <p>DATE:</p> | <p>REVISION DATE:</p> | <p>REVISION:</p> |

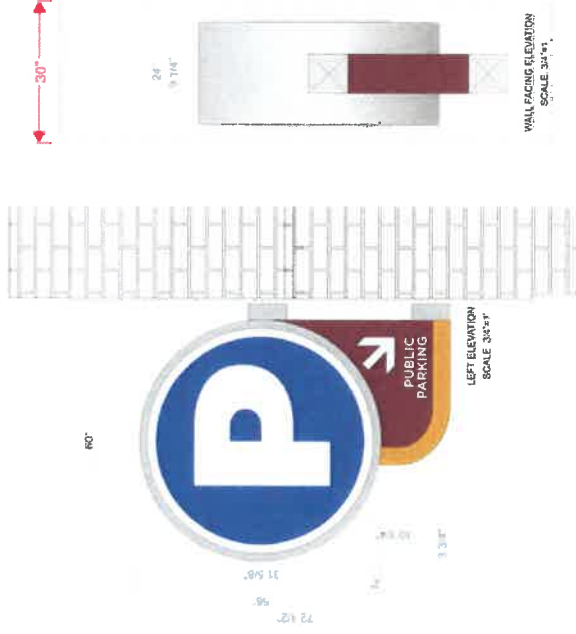
ART SCALE: 1" = 1'-0"

EXHIBIT E, CONT.
CONCEPTUAL SIGN PACKAGE

P1

PARKING BLADE SIGN - SAMPLE

**INTEGRATED DEVELOPMENT
Signage Examples**



FABRICATE AND INSTALL (1) 2 SIDED FACE LIT BLADE SIGN

- MAIN CABINET - .080" aluminum cladding, .040" returns, 6.2" retainer painted MP 413420 brushed aluminum
- BOARDER - 1/2" Clear Acrylic Push-thru w/ second surface diffuser vinyl
- FACE - .090" Aluminum Painted PMS 072C Blue match w/ routed text and beader
- PP - 1/2" push through clear acrylic "P" with second surface diffuser vinyl
- Bottom Arm - .080" aluminum cladding, routed for 1/2" arrow clear acrylic push-thru w/ second surface diffuser, front elevation painted PMS 1245C Yellow, side and back elevations painted PMS 1245C Yellow, PMS 491C Red
- Mounting: Thru-hole mounted flush via aluminum spacers painted MP 413420 brushed aluminum
- Item/Part: Item: AWL 6500 white LEDs

| REVISION | DATE | REVISION DATE | PERMIT INFORMATION |
|----------|------|---------------|--------------------|
| A | | | N/A |
| B | | | |
| C | | | |
| D | | | |
| E | | | |
| F | | | |

ART SCALE: 1" = 1'-0"

EXHIBIT F
STIPULATIONS AND WAIVERS

Stipulations

1. Landscape/Hardscape areas along Campus Parkway and those portions of Boden Road and Brooks School Road with Hamilton County Highway's jurisdiction will require approval of the detailed development plan by HC Highway prior to the release of any Improvement Location permits and/or Building permits.
2. All ground signs located within the jurisdiction of either the City and/or County will be subject to the vision corner clearance area and shall be approved by the Planning, City Engineering and/or County Highway departments prior to the issuance of any sign permits.
3. No building permits shall be issued in the Flood Hazard district until a Letter of Map Revision is approved by IDNR and FEMA.

Waivers

1. Elimination of the peripheral buffer yard as per the preliminary development plan.
2. Reduction of 10-FT minimum setback for ground signs from the property lines.
3. Elimination of the UDO sign requirements and adoption of sign package.
4. Reduction of building base landscaping as per preliminary development plan.
5. Elimination of interior parking lot landscaping.
6. Reduction of minimum lot area per dwelling unit.
7. Allowance of maximum height at 63-FT.
8. Elimination of floor area ratio.
9. Reduction of front yard, side yard, and rear yard setbacks as reflected on the site plan.
10. Impervious surface maximum 80%.