

23 \$25.00

2022051839 ORDINANCE \$25.00  
10/26/2022 10:37:53A 23 PGS  
Jennifer Hayden  
HAMILTON County Recorder IN  
Recorded as Presented



**ORDINANCE NO. 66-10-22**

**AN ORDINANCE TO AMEND THE UNIFIED DEVELOPMENT ORDINANCE,  
A PART OF THE COMPREHENSIVE PLAN OF THE CITY OF NOBLESVILLE,  
HAMILTON COUNTY, INDIANA**

This is an Ordinance to amend the Unified Development Ordinance for the City of Noblesville, Hamilton County, Indiana (the "UDO"), enacted by the City of Noblesville under authority of Indiana Code § 36-7-4-600, et seq., as amended.

**WHEREAS**, the Plan Commission of the City of Noblesville (the "Plan Commission") conducted a public hearing on application number 0138-2022 (the "Petition") at its September 19, 2022, meeting as required by law regarding the application filed by Edward Rose Properties, Inc., a Michigan corporation (the "Developer") for a request in change of zoning (the "Petition"); and

**WHEREAS**, the Plan Commission sent a favorable recommendation relating to the Petition to the Common Council of the City of Noblesville, Indiana, (the "City Council") by a vote of eight (8) in favor and zero (0) opposed;

**NOW, THEREFORE, BE IT ORDAINED** by the City Council, meeting in regular session, it hereby adopts this ordinance (the "Ordinance") as an amendment to the UDO and the Official City of Noblesville Zoning Map (the "Zoning Map") to establish this Planned Development Overlay District (the "District") to read as follows:

**Section 1. Applicability of Ordinance.**

- 1.1 The Zoning Map is hereby changed to designate the subject real estate generally located south of Brooks School Road and its intersection with 141<sup>st</sup> Street, more particularly described in **Exhibit A**, attached hereto (the "Real Estate"), as a Planned Development Overlay District to be known as the District at Hyde Park Planned Development (the "District").
- 1.2 The District's underlying zoning district shall be the Corporate Campus Planned Development District, with an underlying subdistrict of Secondary Corridor Subdistrict for Area A, as shown on **Exhibit B**, and of Mixed Residential Subdistrict for Area B, as shown on **Exhibit B** (the "Underlying Districts").
- 1.3 The standards of the UDO existing on the date of adoption of this Ordinance applicable to the Underlying Districts shall apply to the development of the District, except as modified, revised, or expressly made inapplicable by this Ordinance. Cross-references to "Article", "Part", "Section" and "Subsection" in this Ordinance shall refer to the corresponding Article, Part, Section and Subsection as specified and referenced in the UDO.

be superseded by the terms of this Ordinance. All previous PD Ordinances, and any amendments thereto, applicable to the Real Estate are hereby repealed with respect to the Real Estate.

**Section 2. Definitions.**

- 2.1 The general rules of construction set forth in Article 2 of the UDO and the definitions set forth in this Ordinance shall apply to the regulations of this Ordinance. Capitalized terms that are not otherwise defined herein and are defined in the UDO shall have the meaning ascribed to them in the UDO.
- 2.2 “Preliminary Development Plan” shall mean the oversized, scaled development plans on file with the City of Noblesville’s Planning and Development Department dated September 1, 2022. The exhibit attached hereto as **Exhibit B** is a general representation of the oversized plans (collectively, the “Preliminary Development Plan”). A copy of the approved plans is also attached hereto as **Exhibit D**.
- 2.3 “Approved Elevations” shall mean the set of multi-family elevations on file with the City of Noblesville’s Planning and Development Department, as reviewed and approved by the City’s Architectural Review Board at its July 27, 2022, meeting. The exhibit attached hereto as **Exhibit C** is a sampling and general representation of those approved elevations (collectively, the “Approved Elevations”).

**Section 3. Permitted Uses.**

- 3.1 All uses permitted in the Commercial and Commercial/Office land use categories in Appendix D of the UDO shall be permitted within Area A. Multi-Family Dwellings and associated uses shall be permitted within Area B.
- 3.2 Accessory Uses and Accessory Buildings customarily incidental to the permitted uses shall be permitted.

**Section 4. Preliminary Development Plan.**

- 4.1 The Preliminary Development Plan and the waivers listed in **Exhibit E** are hereby incorporated and approved. Pursuant to Article 8 of the UDO, the Preliminary Development Plan is intended to establish the basic goals and policies, bulk standards, variations from the Underlying District and layout of the District.

**Section 5. Architectural Standards.**

- 5.1 The following standards shall apply to the District:
  - A. The Approved Elevations are hereby incorporated and approved. All multi-family buildings shall be substantially consistent with the Approved Elevations. The Director of Planning and Development, including his or her designees, shall review for compliance and approve building elevations at the time of filing of the Detailed Development Plan and/or Building Permit.
  - B. If a building elevation does not comply with Section 5.1A, then the proposed building elevation(s) shall be submitted for review and approval by the Architectural Review Board. The Architectural Review Board’s review of the building elevation(s) shall be performed in order to determine its compatibility

and consistency with the intended quality and character of the District and the Approved Elevations.

**Section 6.** **Title, Purpose and Effect.** The regulations of *ARTICLE 1. TITLE, PURPOSE AND EFFECT* shall apply.

**Section 7.** **Definitions and Rules of Word Usage.** The regulations of *ARTICLE 2. DEFINITIONS AND RULES OF WORD USAGE* shall apply.

**Section 8.** **Administrative Bodies and Officials.** The regulations of *ARTICLE 3. ADMINISTRATIVE BODIES AND OFFICIALS* shall apply.

**Section 9.** **Zoning Applications and Approvals.** The regulations of *ARTICLE 4. ZONING APPLICATIONS AND APPROVALS* shall apply.

**Section 10.** **Subdivision Procedure.** The regulations of *ARTICLE 5. SUBDIVISION PROCEDURE* shall apply.

**Section 11.** **Site Design and Improvement Standards.** The regulations of *ARTICLE 6. SITE DESIGN AND IMPROVEMENT STANDARDS* shall apply.

**Section 12.** **Plans, Maps, and Zoning Districts.** The regulations of *ARTICLE 7. PLANS, MAPS, AND ZONING DISTRICTS* shall apply.

**Section 13.** **Zoning Districts.** The regulations of *ARTICLE 8. ZONING DISTRICTS* shall apply, except as modified below:

13.1 **Table 8(E)(4) Bulk Requirements for Corporate Campus Non-Residential Subdistricts.** For Area A, the bulk standards set forth in Table 8(E)(4) of the UDO shall apply, except as modified below:

<b>Min. Area</b>	.25 acres per lot
<b>Min. Lot Width</b>	80'
<b>Max. Building Height</b>	50'
<b>Min. Setback from Brooks School Road</b>	45'(building), 15' (parking)
<b>Min. Setback from Area B</b>	20'(building)
<b>Min. Building Size</b>	1,500 sf
<b>Max. Impervious Surface</b>	85%

Note: Accessory structures such as entry monument signs shall be permitted within the building setbacks, subject to the City Engineering Department's approval.

13.2 **Table 8.B. Summary of Residential Bulk Requirements and Article 8(E)(4)(B) and (C) (Mixed Use Residential Subdistrict Regulations):** Shall not apply to Area B. Instead, the following requirements shall apply to Area B:

<b>Min. Lot Area</b>	2,200 SF/Unit
<b>Min. Lot Width</b>	75'
<b>Maximum Building Height</b>	55'
<b>Min. Setback from Brooks School Road</b>	280'
<b>Minimum Setback from Area A</b>	5'
<b>South Boundary Setback</b>	100'
<b>East Boundary Setback</b>	50'
<b>Floor Area Ratio</b>	Not Applicable
<b>Min. Floor Area</b>	600 SF/Unit
<b>Maximum Lot Coverage</b>	Not Applicable

Note: Accessory structures such as entry monument signs shall be permitted within the building setbacks, subject to the City Engineering Department's approval.

- 13.3 **Article 8, Part E, Section 4(A)(11). Access:** Shall apply, except that access shall be permitted as shown on the Preliminary Development Plan.
- 13.4 **Article 8, Part E, Section 5(b)(8). Roofs:** With respect to Area A, the standards set forth in Article 8(E)(5) of the UDO shall apply, except pitched roofs shall not be required.
- 13.5 **Article 8, Part E, Section 6. Parking/Loading:** Shall apply, except that, with respect to Area A, parking may be located as shown on the Preliminary Development Plan.
- 13.6 **Article 8, Part H, Section 3.F.1.b. Establishment of Site Development Intensity:** Shall not apply. Instead, the maximum number of Dwelling Units within the District shall not exceed three hundred ten (310).
- 13.7 **Article 8, Part H, Section 3.F.2. Establishment of Peripheral Yard:** Shall not apply. Instead, perimeter landscaping shall be as shown on the approved Preliminary Development Plan.
- 13.8 **Article 8, Part H, Section 3.H. Designation of Permanent Common Open Space:** Shall not apply in light of the District's inclusion within the overall Hyde Park master plan.

**Section 14. General Regulations.** The regulations of *ARTICLE 9. GENERAL REGULATIONS* shall apply.

**Section 15. Off-Street Parking and Loading.** The regulations of *ARTICLE 10. OFF-STREET PARKING AND LOADING* shall apply, except as modified below:

- 15.1 **Table 10.0.4.A. Off-Street Parking Dimensions:** Shall apply, except the vehicle projection for a ninety-degree (90°) parking stall shall be eighteen (18) feet.
- 15.2 **Article 10, Section 4.C.2. Driveways:** Shall not apply; instead, the entrances and exits shall be as generally shown on the approved Preliminary Development Plan.
- 15.3 **Article 10, Section 4.C.4. Location of Parking and Loading Behind Required Setback:** Shall not apply; instead, the parking and loading shall be as generally shown on the approved Preliminary Development Plan.
- 15.4 **Article 10, Section 4.D.3. Marking of Parking:** Shall apply, except bumper guards or wheel guards shall not be required and a part of a parked vehicles may extend beyond the boundary of the established parking area into any minimum required yard.
- 15.5 **Article 10, Section 4.D.4. Parking Lot Lighting:** Shall not apply; instead, interior parking lot lighting shall be substantially consistent with the lighting plan.
- 15.6 **Article 10, Section 6.A.3. Pedestrian Access Along Building Facades Not Adjacent to a Public Sidewalk:** Shall not apply. Instead, the pedestrian walkways shall be as shown generally on the approved Preliminary Development Plan.
- 15.7 **Article 10, Section 6.B.2. Pedestrian Walkway Standards – Along Facades Not Adjacent to Sidewalks:** Shall not apply. Instead, the pedestrian walkways shall be as shown generally on the approved Preliminary Development Plan.
- 15.8 **Article 10, Section 6.B.3. Pedestrian Walkway Standards – Through Parking Areas:** Shall not apply. Instead, the pedestrian walkways shall be as shown generally on the approved Preliminary Development Plan.
- 15.9 **Article 10, Section 9. Required Off-Street Loading Standards:** Shall not apply.

**Section 16.** **Signs.** The regulations of *ARTICLE 11. SIGNS* shall apply except as modified below; a Program of Signs may be submitted for review and approval to the Plan Commission at a public meeting that may vary from the UDO’s sign regulations as long as it is in keeping with the quality and character of the proposed development.

**Section 17.** **Landscaping and Screening.** The regulations of *ARTICLE 12. LANDSCAPING AND SCREENING* shall not apply, instead, landscaping shall be provided consistent with the Preliminary Development Plan’s landscaping plan.

**Section 18.** **Environmental Performance Standards.** The regulations of *ARTICLE 13. ENVIRONMENTAL PERFORMANCE STANDARDS* shall apply.

**Section 19.** **Nonconforming Uses and Structures.** The regulations of *ARTICLE 14. NONCONFORMING USES AND STRUCTURES* shall apply.

**Section 20.** **Enforcement.** The regulations of *ARTICLE 15. ENFORCEMENT* shall apply.



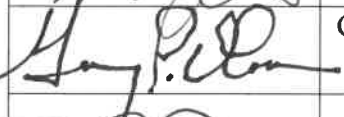


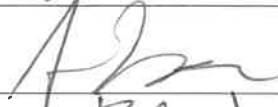


**Section 21.** **Procedures.**

- 21.1 **Detailed Development Plan.** Approval of a Detailed Development Plan (“DDP”) shall follow the procedures set out in Article 8, subject to the following clarification:

(i) the Director of Planning and Zoning shall approve Minor Changes; and (ii) if a DDP includes a Major Change from the approved Preliminary Development Plan, then, prior to approval of the DDP, an amended Preliminary Development Plan shall be submitted to the City for review by the Technical Advisory Committee and then for review and approval by the Plan Commission following a public hearing. A Major Change from the approved Preliminary Development Plan shall be reviewed and approved by the Technical Advisory Committee and the Plan Commission based upon compliance with the development standards set forth herein and shall be compatible and consistent with the intended quality and character of the District. A Secondary Plat shall be submitted for review and approval as part of any approved DDP.

- 21.2 **Major Change.** For purposes of this Ordinance, a “Major Change” shall mean: (i) a substantial change to the **location** of a perimeter entrance as shown on the Preliminary Development Plan; and (ii) significant changes to the drainage management systems, including, but not limited to, BMP’s and legal drains.
- 21.3 **Minor Change.** For purposes of this Ordinance, a “Minor Change” shall mean any change that: (i) is not a Major Change; and (ii) is consistent with the intent of this Ordinance and consistent with the quality and character represented in this Ordinance for the District. Specifically, changes to the internal street configurations and building configurations, are expected and shall be deemed to be Minor Changes for purposes of this Ordinance.

Approved on this 11<sup>th</sup> day of October, 2022 by the Common Council of the City of Noblesville, Indiana:

AYE		NAY	ABSTAIN
	Brian Ayer		
	Mark Boice		
	Michael J. Davis		
	Gregory P. O'Connor		
	Darren Peterson		
	Pete Schwartz		
	Aaron Smith		
	Dan Spartz		
	Megan G. Wiles		

ATTEST: Evelyn L. Lees  
 Evelyn L. Lees, City Clerk

Presented by me to the Mayor of the City of Noblesville, Indiana, this 12<sup>th</sup> day of October, 2022 at 8:05 A.M.

Evelyn L. Lees  
 Evelyn L. Lees, City Clerk

Chris Jensen  
 Chris Jensen, Mayor

MAYOR'S APPROVAL

10-17-22  
 Date

Chris Jensen, Mayor

ATTEST: Evelyn L. Lees  
 Evelyn L. Lees, City Clerk

MAYOR'S VETO



I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security Number in this document, unless required by law: Steven D. Hardin

Prepared by: Steven D. Hardin, Attorney-At-Law, Faegre Drinker Biddle & Reath, LLP  
600 East 96<sup>th</sup> Street, Suite 600, Indianapolis, Indiana 46032 | (317) 569-9600.



**EXHIBIT A**  
**REAL ESTATE**

**AREA A**

PART OF THE SOUTHEAST QUARTER OF SECTION 22, TOWNSHIP 18 NORTH, RANGE 5 EAST OF THE SECOND PRINCIPAL MERIDIAN, HAMILTON COUNTY, INDIANA, DESCRIBED AS FOLLOWS:

COMMENCING AT A HARRISON MONUMENT MARKING THE NORTHEAST CORNER OF SAID SOUTHEAST QUARTER; THENCE ALONG THE EAST LINE THEREOF SOUTH 00 DEGREES 05 MINUTES 56 SECONDS EAST (BASIS OF BEARINGS) 1842.97 FEET TO THE NORTH LINE OF THE LAND DESCRIBED IN INSTRUMENT NO. 2018050629 IN THE OFFICE OF THE RECORDER OF HAMILTON COUNTY, INDIANA; THENCE ALONG THE NORTH LINE OF LAST SAID INSTRUMENT, THE NORTH LINE OF INSTRUMENT NO. 8701936 AND THE NORTH LINE OF LOT 1 IN COUNTRYSIDE/FALL CREEK SUBDIVISION RECORDED AS MISCELLANEOUS RECORD 164, PAGE 286 SOUTH 89 DEGREES 13 MINUTES 51 SECONDS WEST 1257.65 FEET TO THE EAST RIGHT-OF-WAY OF BROOKS SCHOOL ROAD AS DESCRIBED IN INSTRUMENT NO. 20100040806 IN SAID RECORDER'S OFFICE; THENCE NORTH 00 DEGREES 05 MINUTES 57 SECONDS WEST 170.01 FEET TO THE POINT OF BEGINNING; THENCE NORTH 89 DEGREES 13 MINUTES 51 SECONDS EAST 280.45 FEET; THENCE NORTH 00 DEGREES 46 MINUTES 09 SECONDS WEST 41.08 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 366.30 FEET AND A CHORD BEARING NORTH 35 DEGREES 01 MINUTES 08 SECONDS EAST 428.42 FEET; NORTHEASTERLY ALONG SAID CURVE 457.60 FEET; THENCE NORTH 70 DEGREES 48 MINUTES 24 SECONDS EAST 153.50 FEET; THENCE NORTH 19 DEGREES 43 MINUTES 27 SECONDS WEST 280.01 FEET TO THE EAST RIGHT-OF-WAY OF BROOKS SCHOOL ROAD AS PER SAID INSTRUMENT NO. 20100040806; THENCE SOUTH 70 DEGREES 48 MINUTES 24 SECONDS WEST 150.90 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 646.20 FEET AND A CHORD BEARING SOUTH 35 DEGREES 21 MINUTES 14 SECONDS WEST 749.64 FEET; THENCE SOUTHWESTERLY ALONG SAID CURVE AND RIGHT-OF-WAY 799.70 FEET; THENCE CONTINUING ALONG SAID RIGHT-OF-WAY SOUTH 00 DEGREES 05 MINUTES 57 SECONDS EAST 48.74 FEET TO THE POINT OF BEGINNING, CONTAINING 5.31 ACRES MORE OR LESS.

AND

PART OF THE SOUTHEAST QUARTER OF SECTION 22, TOWNSHIP 18 NORTH, RANGE 5 EAST OF THE SECOND PRINCIPAL MERIDIAN, HAMILTON COUNTY, INDIANA, DESCRIBED AS FOLLOWS:

COMMENCING AT A HARRISON MONUMENT MARKING THE NORTHEAST CORNER OF SAID SOUTHEAST QUARTER; THENCE ALONG THE EAST LINE THEREOF SOUTH 00 DEGREES 05 MINUTES 56 SECONDS EAST (BASIS OF BEARINGS) 580.78 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID EAST LINE SOUTH 00 DEGREES 05 MINUTES 56 SECONDS EAST 458.99 FEET; THENCE SOUTH 70 DEGREES 48

MINUTES 24 SECONDS WEST 543.23 FEET; THENCE NORTH 19 DEGREES 43 MINUTES 27 SECONDS WEST 280.01 FEET; THENCE NORTH 70 DEGREES 48 MINUTES 24 SECONDS EAST 105.16 FEET TO THE SOUTH LINE OF THE LAND OF CITY OF NOBLESVILLE AS DESCRIBED IN INSTRUMENT NO. 20100040806 IN THE OFFICE OF THE RECORDER OF HAMILTON COUNTY, INDIANA, SAID POINT BEING THE POINT OF CURVATURE OF A CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 786.20 FEET AND A CHORD BEARING NORTH 51 DEGREES 37 MINUTES 52 SECONDS EAST 516.47 FEET; THENCE NORTHEASTERLY ALONG SAID CURVE AND LAST SAID SOUTH LINE 526.24 FEET; THENCE CONTINUING ALONG SAID SOUTH LINE NORTH 76 DEGREES 58 MINUTES 24 SECONDS EAST 99.15 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 991.93 FEET AND A CHORD BEARING SOUTH 59 DEGREES 14 MINUTES 29 SECONDS EAST 6.87 FEET; THENCE SOUTHEASTERLY ALONG SAID SOUTH LINE AND SAID CURVE 6.87 FEET TO THE POINT OF BEGINNING, CONTAINING 4.71 ACRES MORE OR LESS.

#### AREA B

PART OF THE SOUTHEAST QUARTER OF SECTION 22, TOWNSHIP 18 NORTH, RANGE 5 EAST OF THE SECOND PRINCIPAL MERIDIAN, HAMILTON COUNTY, INDIANA, DESCRIBED AS FOLLOWS:

COMMENCING AT A HARRISON MONUMENT MARKING THE NORTHEAST CORNER OF SAID SOUTHEAST QUARTER; THENCE ALONG THE EAST LINE THEREOF SOUTH 00 DEGREES 05 MINUTES 56 SECONDS EAST (BASIS OF BEARINGS) 1039.77 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID EAST LINE SOUTH 00 DEGREES 05 MINUTES 56 SECONDS EAST 803.20 FEET TO THE NORTH LINE OF THE LAND DESCRIBED IN INSTRUMENT NO. 2018050629 IN THE OFFICE OF THE RECORDER OF HAMILTON COUNTY, INDIANA; THENCE ALONG THE NORTH LINE OF LAST SAID INSTRUMENT, THE NORTH LINE OF INSTRUMENT NO. 8701936 AND THE NORTH LINE OF LOT 1 IN COUNTRYSIDE/FALL CREEK SUBDIVISION RECORDED AS MISCELLANEOUS RECORD 164, PAGE 286 SOUTH 89 DEGREES 13 MINUTES 51 SECONDS WEST 1257.65 FEET TO THE EAST RIGHT-OF-WAY OF BROOKS SCHOOL ROAD AS DESCRIBED IN A DEED TO THE CITY OF NOBLESVILLE RECORDED AS INSTRUMENT NO. 20100040806; THENCE ALONG LAST SAID RIGHT-OF-WAY NORTH 00 DEGREES 05 MINUTES 57 SECONDS WEST 170.01 FEET; THENCE NORTH 89 DEGREES 13 MINUTES 51 SECONDS EAST 280.45 FEET; THENCE NORTH 00 DEGREES 46 MINUTES 09 SECONDS WEST 41.08 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 366.30 FEET AND A CHORD BEARING NORTH 35 DEGREES 01 MINUTES 08 SECONDS EAST 428.42 FEET; THENCE NORTHEASTERLY ALONG SAID CURVE 457.60 FEET; THENCE NORTH 70 DEGREES 48 MINUTES 24 SECONDS EAST 153.50 FEET; THENCE NORTH 19 DEGREES 43 MINUTES 27 SECONDS WEST 280.01 FEET TO THE SOUTHEASTERLY RIGHT-OF-WAY OF BROOKS SCHOOL ROAD PER SAID INSTRUMENT NO. 20100040806; THENCE ALONG SAID RIGHT-OF-WAY NORTH 70 DEGREES 48 MINUTES 24 SECONDS EAST 77.00 FEET; THENCE SOUTH 19 DEGREES 43 MINUTES 27 SECONDS EAST 280.01 FEET; THENCE NORTH 70 DEGREES 48 MINUTES 24 SECONDS EAST 543.23 FEET TO THE POINT OF BEGINNING, CONTAINING 15.66 ACRES MORE OR LESS.

**EXHIBIT B**  
**PRELIMINARY DEVELOPMENT PLAN**



**EXHIBIT C**  
**SAMPLING AND GENERAL REPRESENTATION**  
**OF THE APPROVED ELEVATIONS**

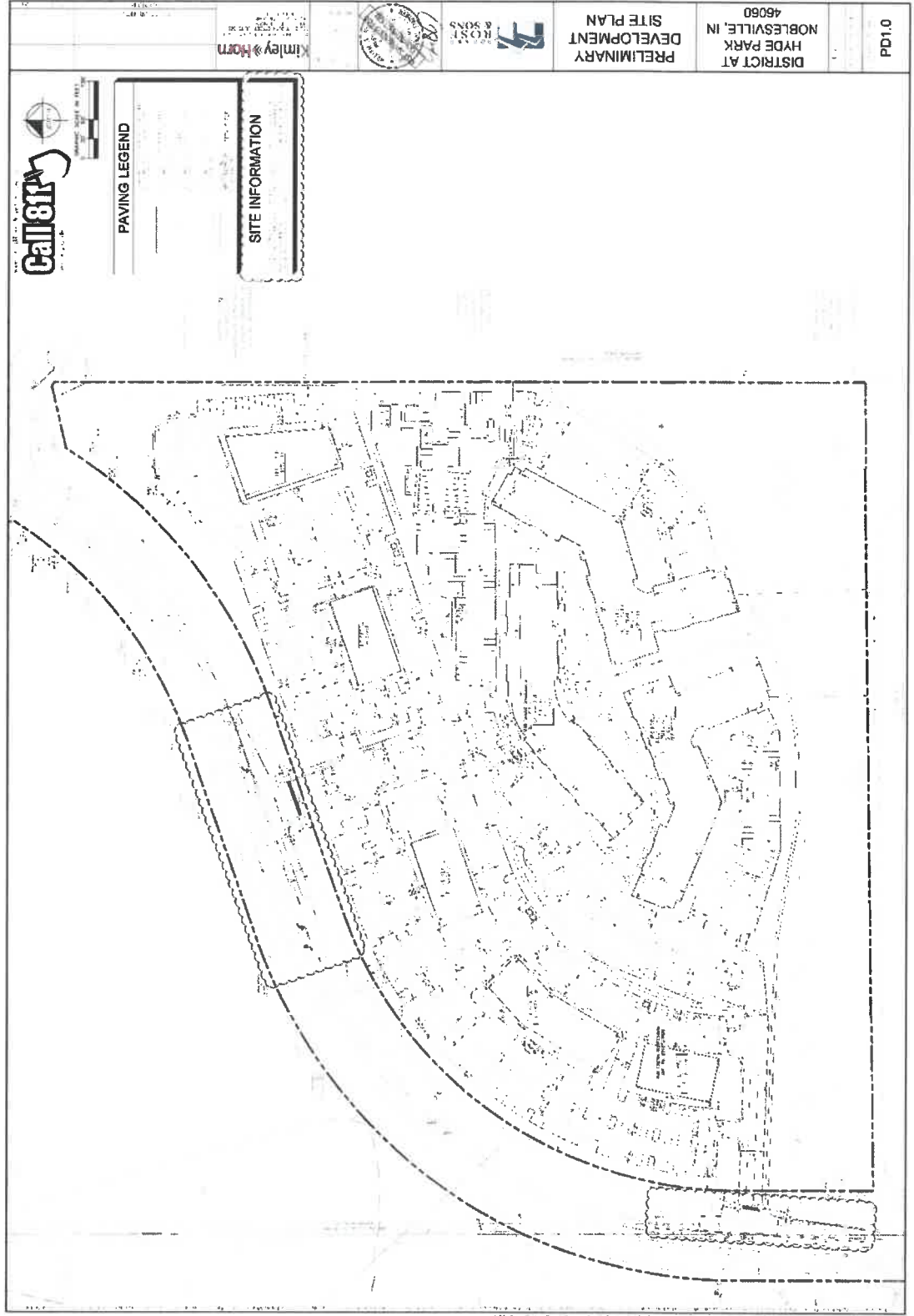


001  
KOVACIK & PARTNERS  
ARCHITECTS  
1000 10th St. N.  
St. Paul, MN 55102  
612.291.1000  
www.kovacik.com  
JTB  
**reztark**  
1000 10th St. N.  
St. Paul, MN 55102  
612.291.1000

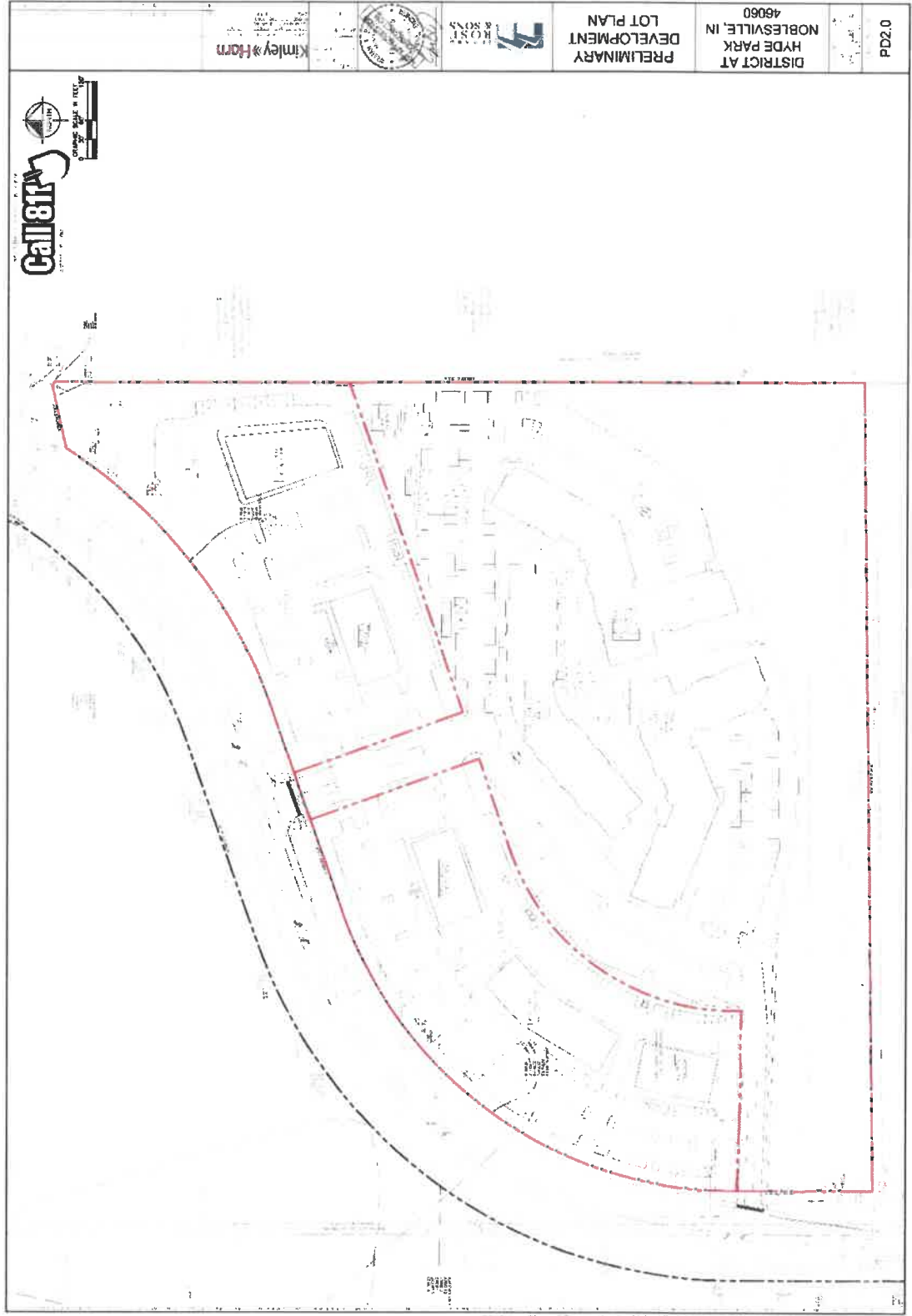


002  
KOVACIK & PARTNERS  
ARCHITECTS  
1000 10th St. N.  
St. Paul, MN 55102  
612.291.1000  
www.kovacik.com  
JTB  
**reztark**  
1000 10th St. N.  
St. Paul, MN 55102  
612.291.1000

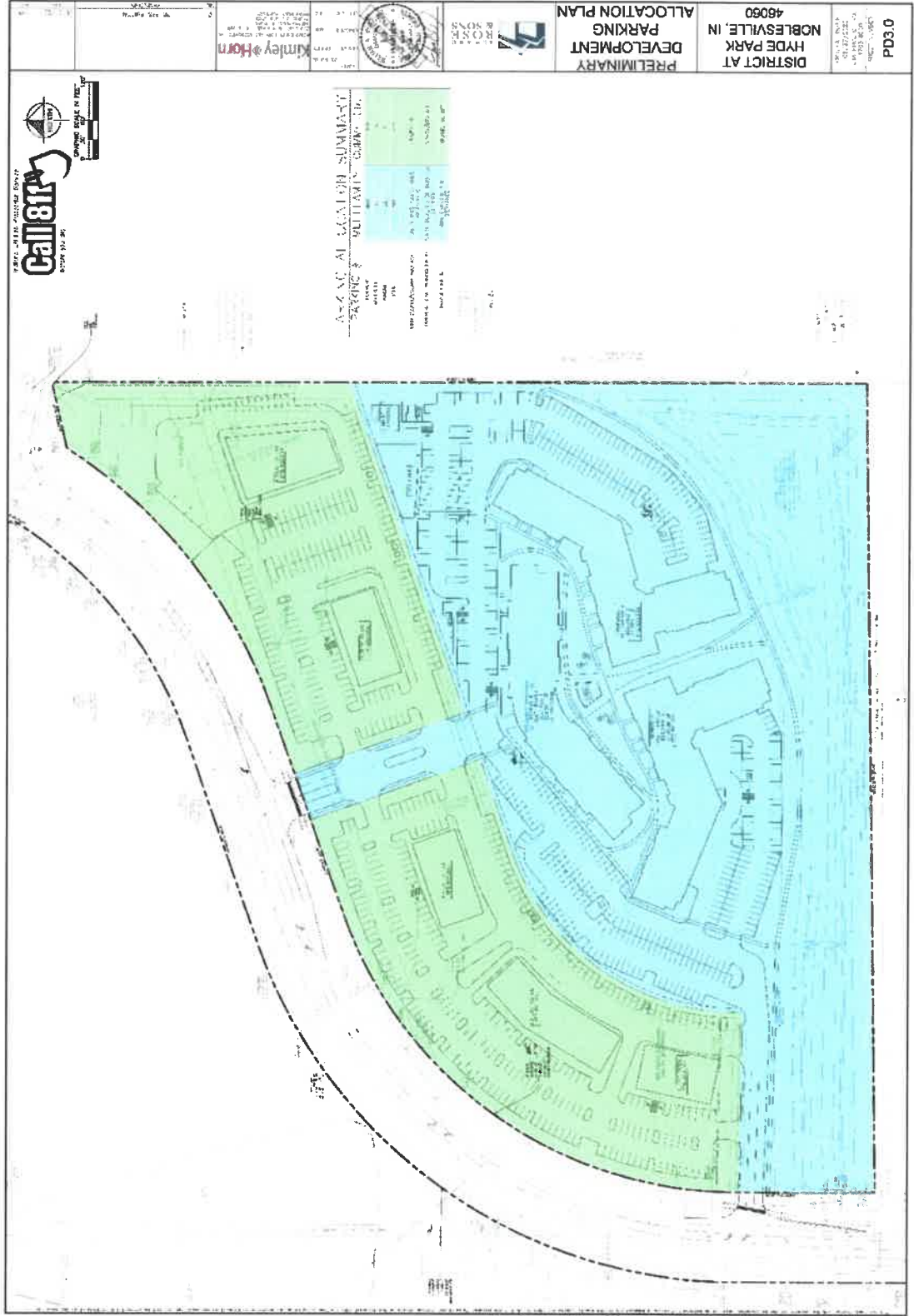
**EXHIBIT D**  
**PRELIMINARY DEVELOPMENT PLAN**



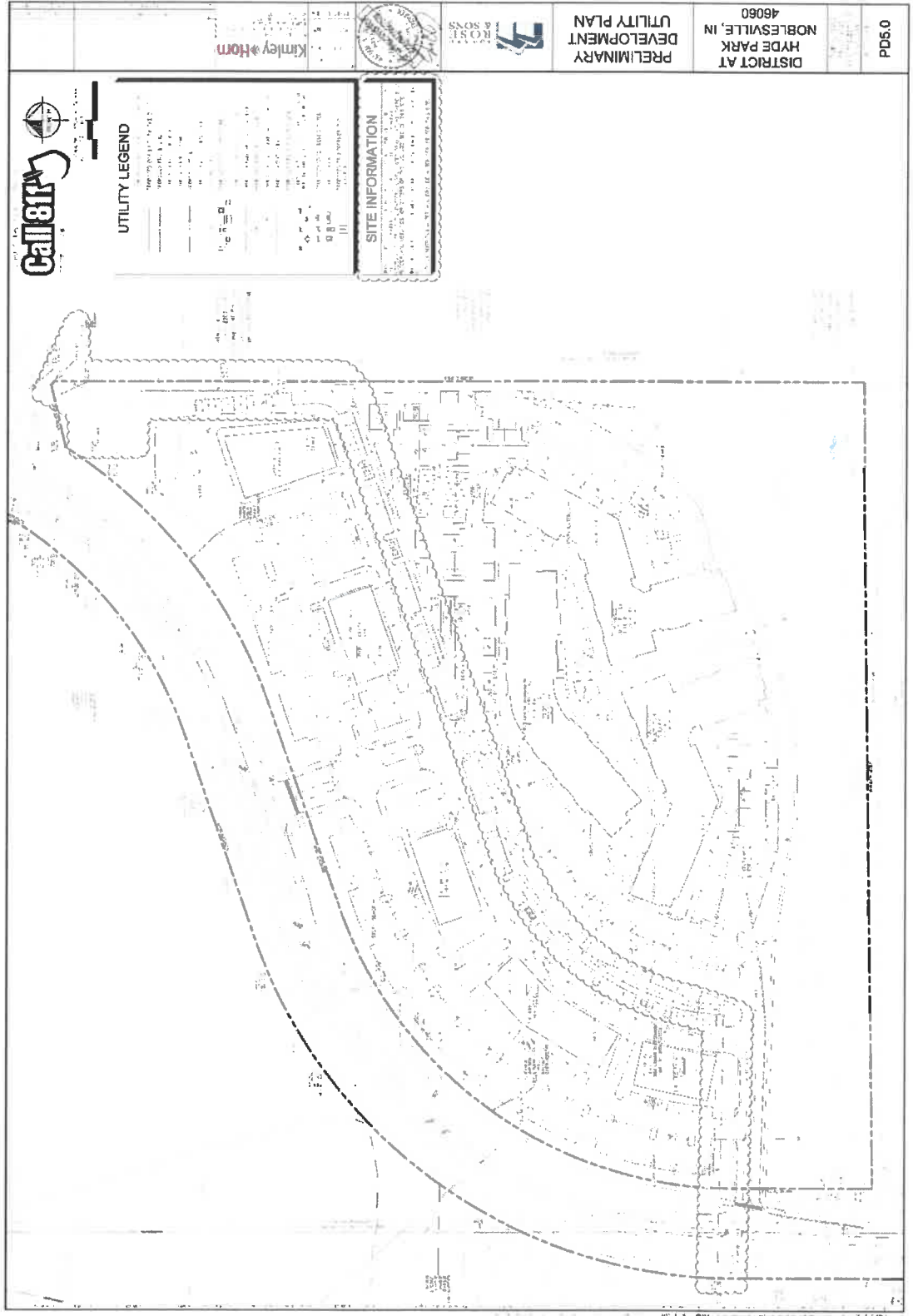
**EXHIBIT D, CONT.**  
**PRELIMINARY DEVELOPMENT PLAN**



**EXHIBIT D, CONT.**  
**PRELIMINARY DEVELOPMENT PLAN**



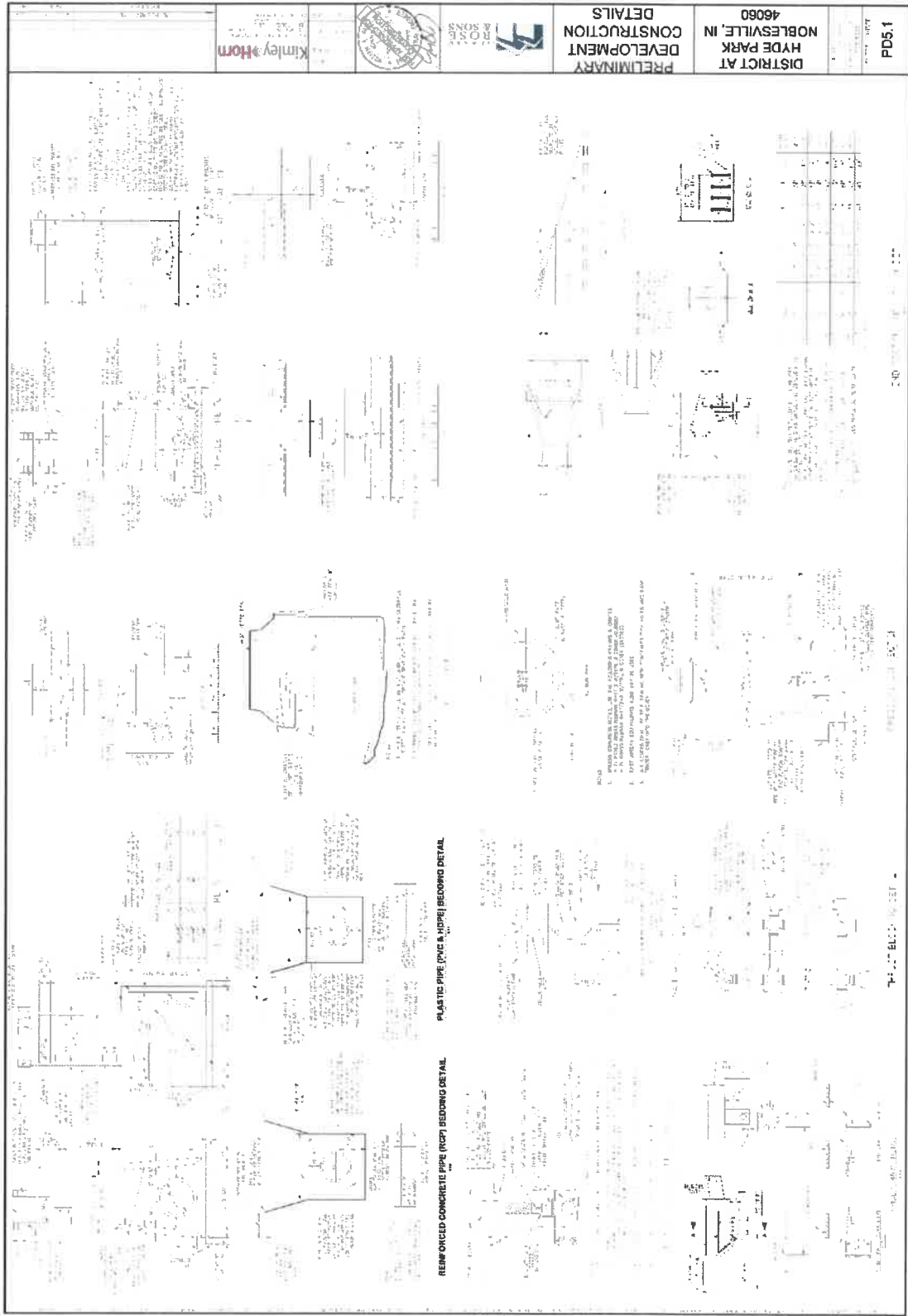
**EXHIBIT D, CONT.  
PRELIMINARY DEVELOPMENT PLAN**



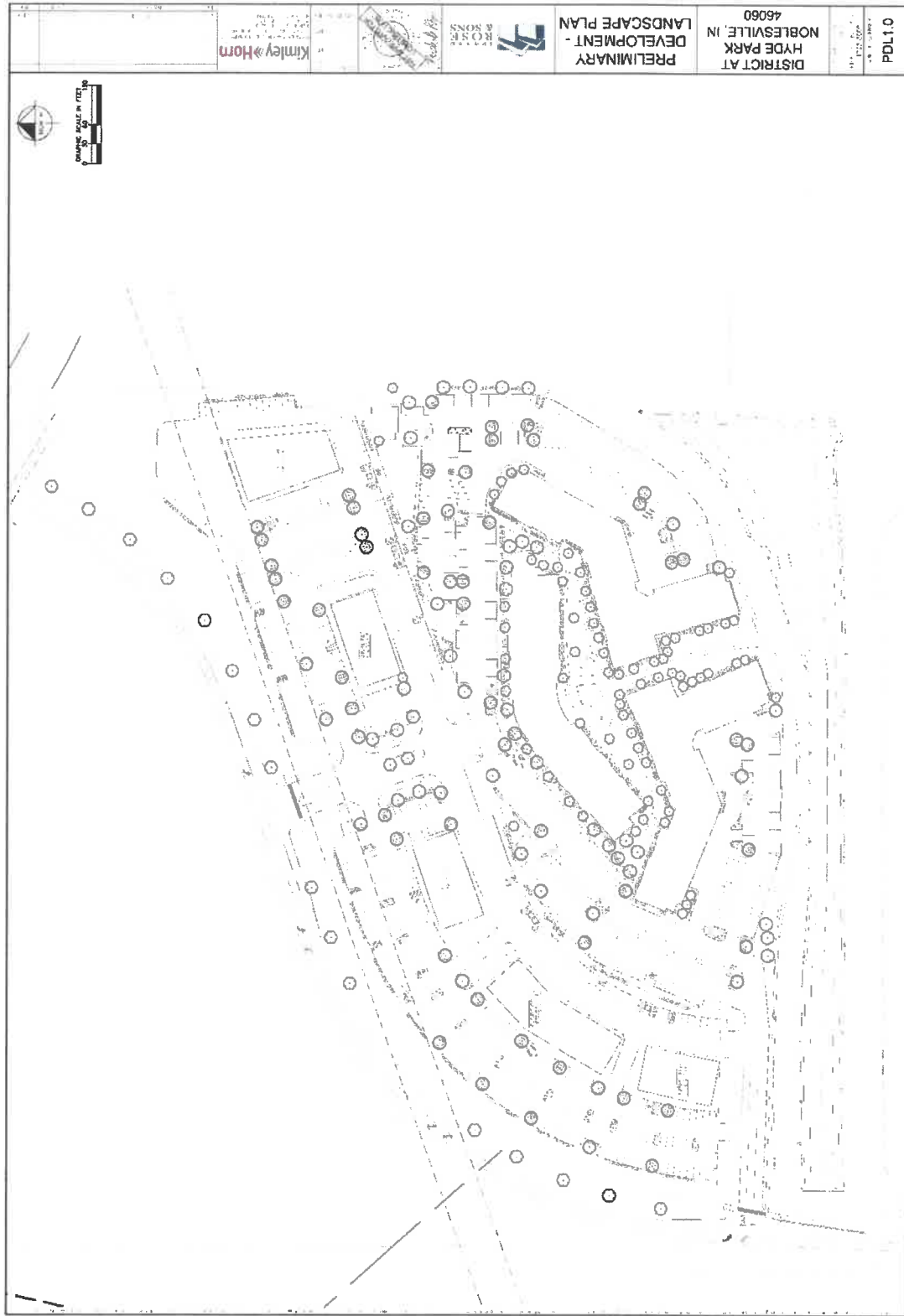


**EXHIBIT D, CONT.**  
**PRELIMINARY DEVELOPMENT PLAN**


# EXHIBIT D, CONT. PRELIMINARY DEVELOPMENT PLAN



**EXHIBIT D. CONT.**  
**PRELIMINARY DEVELOPMENT PLAN**

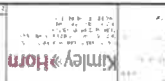


Kimley-Horn  
ROSE  
PRELIMINARY DEVELOPMENT - LANDSCAPE PLAN  
DISTRICT AT HYDE PARK NOBLESVILLE, IN 46060  
PDL1.0

# EXHIBIT D, CONT. PRELIMINARY DEVELOPMENT PLAN

### LANDSCAPE NOTES

1. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF DENVER'S TREE AND LANDSCAPE REGULATIONS AND THE DISTRICT'S LANDSCAPE PLAN. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF DENVER'S TREE AND LANDSCAPE REGULATIONS AND THE DISTRICT'S LANDSCAPE PLAN.
2. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF DENVER'S TREE AND LANDSCAPE REGULATIONS AND THE DISTRICT'S LANDSCAPE PLAN.
3. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF DENVER'S TREE AND LANDSCAPE REGULATIONS AND THE DISTRICT'S LANDSCAPE PLAN.
4. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF DENVER'S TREE AND LANDSCAPE REGULATIONS AND THE DISTRICT'S LANDSCAPE PLAN.
5. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF DENVER'S TREE AND LANDSCAPE REGULATIONS AND THE DISTRICT'S LANDSCAPE PLAN.
6. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF DENVER'S TREE AND LANDSCAPE REGULATIONS AND THE DISTRICT'S LANDSCAPE PLAN.
7. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF DENVER'S TREE AND LANDSCAPE REGULATIONS AND THE DISTRICT'S LANDSCAPE PLAN.
8. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF DENVER'S TREE AND LANDSCAPE REGULATIONS AND THE DISTRICT'S LANDSCAPE PLAN.
9. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF DENVER'S TREE AND LANDSCAPE REGULATIONS AND THE DISTRICT'S LANDSCAPE PLAN.
10. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF DENVER'S TREE AND LANDSCAPE REGULATIONS AND THE DISTRICT'S LANDSCAPE PLAN.



**PRELIMINARY LANDSCAPE DEVELOPMENT DETAILS**

**DISTRICT AT HYDE PARK IN NOBLESVILLE 46060**

**PDL1.1**

### CONCEPT PLANT SCHEDULE

PLANT CODE	PLANT NAME	QUANTITY	NOTES
1	SPRING PLANTING	10	
2	FALL PLANTING	10	
3	WINTER PLANTING	10	
4	WINTER PLANTING	10	
5	WINTER PLANTING	10	
6	WINTER PLANTING	10	
7	WINTER PLANTING	10	
8	WINTER PLANTING	10	
9	WINTER PLANTING	10	
10	WINTER PLANTING	10	

#### MULCHING LEGEND

MULCH: 2" BLACK WOODCHIP MULCH

NATURAL BROWN COLOR

#### SEEDING LEGEND

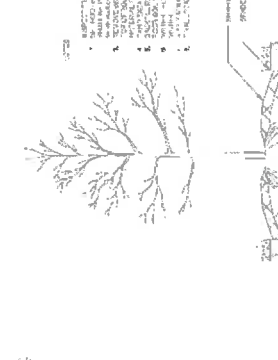
PERMANENT PERENNIAL

PERMANENT ANNUAL

PERMANENT BIENNIAL

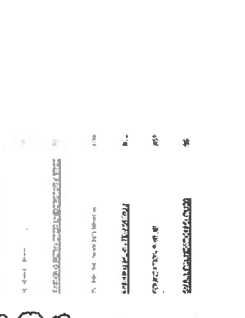
PERMANENT TERNATE

### 1 TREE PLANTING



1. TREE PLANTING: ALL TREES SHALL BE PLANTED IN ACCORDANCE WITH THE CITY OF DENVER'S TREE AND LANDSCAPE REGULATIONS AND THE DISTRICT'S LANDSCAPE PLAN. ALL TREES SHALL BE PLANTED IN ACCORDANCE WITH THE CITY OF DENVER'S TREE AND LANDSCAPE REGULATIONS AND THE DISTRICT'S LANDSCAPE PLAN.

### 2 SHRUB PLANTING

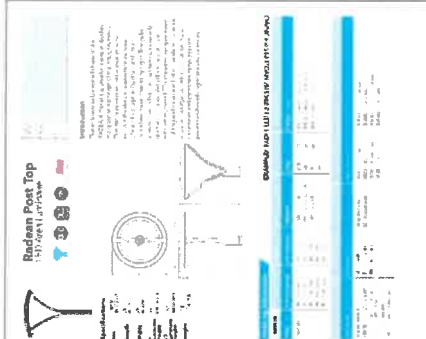


2. SHRUB PLANTING: ALL SHRUBS SHALL BE PLANTED IN ACCORDANCE WITH THE CITY OF DENVER'S TREE AND LANDSCAPE REGULATIONS AND THE DISTRICT'S LANDSCAPE PLAN. ALL SHRUBS SHALL BE PLANTED IN ACCORDANCE WITH THE CITY OF DENVER'S TREE AND LANDSCAPE REGULATIONS AND THE DISTRICT'S LANDSCAPE PLAN.

**EXHIBIT D, CONT.  
PRELIMINARY DEVELOPMENT PLAN**




# EXHIBIT D, CONT. PRELIMINARY DEVELOPMENT PLAN



**Radian Post Top**  
150W LED LUMINAIRE

**DESCRIPTION:**  
This luminaire is designed for use with a 150W LED light source. It features a cast aluminum housing and a clear polycarbonate lens. The luminaire is mounted on a post and is suitable for use in commercial and industrial settings.

**Dimensions:**  
Overall Height: 1200mm  
Overall Width: 300mm  
Mounting Post Height: 1100mm




**WAVE**  
150W LED LUMINAIRE

**POST TOP FINISH: CAST**     **COMMERCIAL LUMINAIRE**

**DESCRIPTION:**  
This luminaire is designed for use with a 150W LED light source. It features a cast aluminum housing and a clear polycarbonate lens. The luminaire is mounted on a post and is suitable for use in commercial and industrial settings.

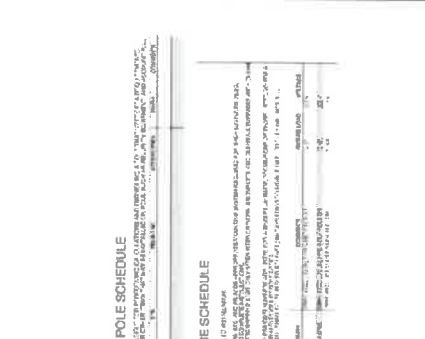
**Dimensions:**  
Overall Height: 1200mm  
Overall Width: 300mm  
Mounting Post Height: 1100mm



**D-Series Size 0**  
LED POST LUMINAIRE

**DESCRIPTION:**  
This luminaire is designed for use with a 150W LED light source. It features a cast aluminum housing and a clear polycarbonate lens. The luminaire is mounted on a post and is suitable for use in commercial and industrial settings.

**Dimensions:**  
Overall Height: 1200mm  
Overall Width: 300mm  
Mounting Post Height: 1100mm

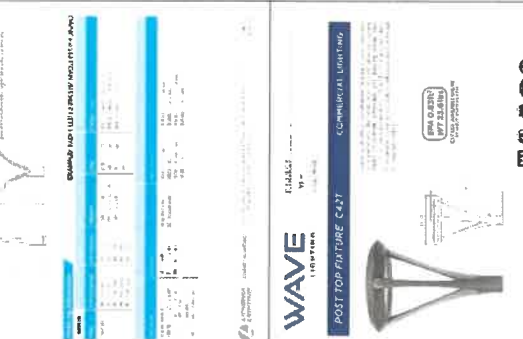


**WAVE**  
150W LED LUMINAIRE

**POST TOP FINISH: CAST**     **COMMERCIAL LUMINAIRE**


**DESCRIPTION:**  
This luminaire is designed for use with a 150W LED light source. It features a cast aluminum housing and a clear polycarbonate lens. The luminaire is mounted on a post and is suitable for use in commercial and industrial settings.

**Dimensions:**  
Overall Height: 1200mm  
Overall Width: 300mm  
Mounting Post Height: 1100mm




**ELECTRIC LUMINAIRE SCHEDULE**

Pole Type	Luminaire	Quantity
Standard	Wave	10
Standard	Radian	10
Standard	D-Series	10



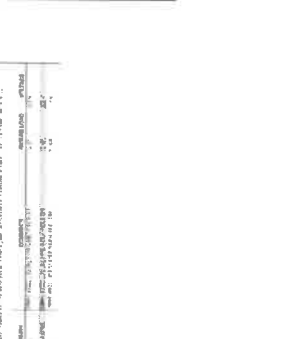
**ELECTRIC LUMINAIRE SCHEDULE**

Pole Type	Luminaire	Quantity
Standard	Wave	10
Standard	Radian	10
Standard	D-Series	10



**ELECTRIC LUMINAIRE SCHEDULE**

Pole Type	Luminaire	Quantity
Standard	Wave	10
Standard	Radian	10
Standard	D-Series	10



**ELECTRIC LUMINAIRE SCHEDULE**

Pole Type	Luminaire	Quantity
Standard	Wave	10
Standard	Radian	10
Standard	D-Series	10

**EXHIBIT E**  
**WAIVERS**

**Commercial Area**

- a. Reduction in the minimum out lot area to .25 of an acre (Minimum UDO 1 Acre)
- b. Reduction of minimum lot width to 80 FT (Minimum UDO 200 FT)
- c. Maximum building height 50 FT (35 FT in UDO)
- d. Minimum internal setback from adjacent residential use 20 FT between buildings
- e. Minimum setback from Brooks School Road 45 FT buildings (50 FT required in UDO)
- f. Minimum parking lot setback 15 FT (20 FT required in UDO)

**Residential Area**

- g. Minimum lot area 2,200 SF (UDO minimum 3,000 SF)
- h. Minimum lot width 75 FT (UDO requires 150 FT)
- i. Maximum building height 55 FT (UDO maximum 45 FT)
- j. Removal of the maximum permitted floor area ratio per unit
- k. Removal of the maximum lot coverage requirements
- l. Reduction in the landscaping requirements to meet what is indicated on the preliminary development plan
- m. Elimination of pitched roofs

**Overall Plan**

- n. Reduction in the peripheral buffer yard as per the submitted preliminary development plan
- o. Reduction in the parking size project at a 90-degree parking stall to a length of 18 FT
- p. Reduction of landscaping areas including building base, parking lot, and peripheral buffer yard to the adopted preliminary development plan including numbers and locations