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Jennifer Hayden  
HAMILTON County Recorder IN  
Recorded as Presented

**ORDINANCE NO. 50-07-22**

**AN ORDINANCE TO AMEND THE UNIFIED DEVELOPMENT ORDINANCE,  
A PART OF THE COMPREHENSIVE PLAN OF THE CITY OF NOBLESVILLE,  
HAMILTON COUNTY, INDIANA**

This is an Ordinance to amend the Unified Development Ordinance for the City of Noblesville, Hamilton County, Indiana (the "UDO"), enacted by the City of Noblesville under authority of Indiana Code § 36-7-4-600, et seq., as amended.

**WHEREAS**, the Plan Commission of the City of Noblesville (the "Plan Commission") conducted a public hearing on application number 0096-2022 (the "Petition") at its June 20, 2022, meeting as required by law in regard to the application filed by J.C. Hart Company, Inc., an Indiana corporation (the "Developer") for a request in change of zoning (the "Petition"); and

**WHEREAS**, the Plan Commission sent a favorable Recommendation relating to the Petition to the Common Council of the City of Noblesville, Indiana, (the "City Council") by a vote of six (6) in favor and one (1) opposed;

**NOW, THEREFORE, BE IT ORDAINED** by the City Council, meeting in regular session, it hereby adopts this ordinance (the "Ordinance") as an amendment to the UDO and the Official City of Noblesville Zoning Map (the "Zoning Map") to establish this Planned Development Overlay District (the "District") to read as follows:

**Section 1. Applicability of Ordinance.**

- 1.1 The Zoning Map is hereby changed to designate the subject real estate generally located southwest of the intersection of 141<sup>st</sup> Street and Brooks School Road, more particularly described in **Exhibit A**, attached hereto (the "Real Estate"), as a Planned Development Overlay District to be known as the Hyde Park Towns and Flats Noblesville Planned Development (the "District").
- 1.2 The District's underlying zoning district shall be the Corporate Campus Planned Development District, with an underlying subdistrict of Mixed Residential Subdistrict. The Mixed Residential District is referred to herein as the "Underlying District."
- 1.3 The standards of the UDO existing on the date of adoption of this Ordinance applicable to the Mixed Residential District shall apply to the development of the District, except as modified, revised, or expressly made inapplicable by this Ordinance. Cross-references to "Article", "Part", "Section" and "Subsection" in this Ordinance shall refer to the corresponding Article, Part, Section and Subsection as specified and referenced in the UDO.

- 1.4 All provisions and representations of the UDO that conflict with the provisions of this Ordinance and its exhibits are hereby rescinded as applied to the Real Estate and shall be superseded by the terms of this Ordinance. All previous PD Ordinances, and any amendments thereto, applicable to the Real Estate are hereby repealed with respect to the Real Estate.

**Section 2. Definitions.**

- 2.1 The general rules of construction set forth in Article 2 of the UDO and the definitions set forth in this Ordinance shall apply to the regulations of this Ordinance. Capitalized terms that are not otherwise defined herein and are defined in the UDO shall have the meaning ascribed to them in the UDO.
- 2.2 “Preliminary Development Plan” shall mean the oversized, scaled development plans on file with the City of Noblesville’s Planning and Development Department dated June 30, 2022. The exhibit attached hereto as **Exhibit B** is a general representation of the oversized plans (collectively, the “Preliminary Development Plan”). A copy of the approved plans is also attached hereto as **Exhibit D**.
- 2.3 “Approved Elevations” shall mean the set of multi-family elevations on file with the City of Noblesville’s Planning and Development Department, as reviewed and approved by the City’s Architectural Review Board at its May 18, 2022, meeting. The exhibit attached hereto as **Exhibit C** is a sampling and general representation of those approved elevations (collectively, the “Approved Elevations”).

**Section 3. Permitted Uses.**

- 3.1 Multi-Family Dwellings and 1- and 2-unit carriage homes and associated uses shall be permitted within the District.
- 3.2 Accessory Uses and Accessory Buildings customarily incidental to the permitted uses shall be permitted.

**Section 4. Preliminary Development Plan.**

- 4.1 The Preliminary Development Plan is hereby incorporated and approved. Pursuant to Article 8 of the UDO, the Preliminary Development Plan is intended to establish the basic goals and policies, bulk standards, variations from the Underlying District and layout of the District.

**Section 5. Architectural Standards.**

- 5.1 The following standards shall apply to the District:
  - A. The Approved Elevations are hereby incorporated and approved. All multi-family buildings and carriage homes shall be substantially consistent with the Approved Elevations. The Director of Planning and Development, including his or her designees, shall review for compliance and approve building

elevations at the time of filing of the Detailed Development Plan and/or Building Permit.

- B. If a building elevation does not comply with Section 5.1A, then the proposed building elevation(s) shall be submitted for review and approval by the Architectural Review Board. The Architectural Review Board's review of the building elevation(s) shall be performed in order to determine its compatibility and consistency with the intended quality and character of the District and the Approved Elevations.

**Section 6.** **Title, Purpose and Effect.** The regulations of *ARTICLE 1. TITLE, PURPOSE AND EFFECT* shall apply.

**Section 7.** **Definitions and Rules of Word Usage.** The regulations of *ARTICLE 2. DEFINITIONS AND RULES OF WORD USAGE* shall apply.

**Section 8.** **Administrative Bodies and Officials.** The regulations of *ARTICLE 3. ADMINISTRATIVE BODIES AND OFFICIALS* shall apply.

**Section 9.** **Zoning Applications and Approvals.** The regulations of *ARTICLE 4. ZONING APPLICATIONS AND APPROVALS* shall apply.

**Section 10.** **Subdivision Procedure.** The regulations of *ARTICLE 5. SUBDIVISION PROCEDURE* shall apply.

**Section 11.** **Site Design and Improvement Standards.** The regulations of *ARTICLE 6. SITE DESIGN AND IMPROVEMENT STANDARDS* shall apply.

**Section 12.** **Plans, Maps, and Zoning Districts.** The regulations of *ARTICLE 7. PLANS, MAPS, AND ZONING DISTRICTS* shall apply.

**Section 13.** **Zoning Districts.** The regulations of *ARTICLE 8. ZONING DISTRICTS* shall apply, except as modified below:

- 13.1 ***Table 8.B. Summary of Residential Bulk Requirements and Article 8(E)(4)(B) and (C) (Mixed Use Residential Subdistrict Regulations):*** Shall not apply. Instead, the following requirements shall apply:

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<b>Min. Lot Area</b>	1,100 SF/Unit
<b>Min. Lot Width</b>	150'
<b>Maximum Building Height</b>	45'
<b>Brooks School Road Building Setback</b>	40'
<b>141<sup>st</sup> Street Building Setback</b>	35'
<b>West and South Boundary Setback</b>	15' (West); 15' (South) (side and rear yard)
<b>Floor Area Ratio</b>	Not Applicable
<b>Min. Floor Area</b>	600 SF/Unit
<b>Maximum Lot Coverage</b>	Not Applicable

Note: Accessory structures such as entry monument signs, roundabout walls and gateway structures shall be permitted within the building setbacks, subject to the City Engineering Department's approval.

- 13.2 **Article 8, Part H, Section 3.F.1.b. Establishment of Site Development Intensity:** Shall not apply. Instead, the maximum number of Dwelling Units within the District shall not exceed three hundred fifty-eight (358).
- 13.3 **Article 8, Part H, Section 3.F.2. Establishment of Peripheral Yard:** Shall not apply. Instead, perimeter landscaping shall be as shown on the approved Preliminary Development Plan.
- 13.4 **Article 8, Part H, Section 3.H. Designation of Permanent Common Open Space:** Shall not apply in light of the District's inclusion within the overall Hyde Park master plan.

**Section 14. General Regulations.** The regulations of *ARTICLE 9. GENERAL REGULATIONS* shall apply.

**Section 15. Off-Street Parking and Loading.** The regulations of *ARTICLE 10. OFF-STREET PARKING AND LOADING* shall apply, except as modified below:

- 15.1 **Table 10.0.4.A. Off-Street Parking Dimensions:** Shall apply, except the vehicle projection for a ninety-degree (90°) parking stall shall be eighteen (18) feet.
- 15.2 **Article 10, Section 4.B.1. Dimensions and Layout:** Shall not apply; instead, the off-street parking shall be located as shown on the approved Preliminary Development Plan.
- 15.3 **Article 10, Section 4.C.2. Driveways:** Shall not apply; instead, the entrances and exits shall be as generally *shown* on the approved Preliminary Development Plan.

- 15.4 **Article 10, Section 4.C.4. Location of Parking and Loading Behind Required Setback:** Shall not apply; instead, the parking and loading shall be as generally shown on the approved Preliminary Development Plan.
- 15.5 **Article 10, Section 4.D.3. Marking of Parking:** Shall apply, except bumper guards or wheel guards shall not be required. Instead, curbs shall be integrated with the sidewalk.
- 15.6 **Article 10, Section 6.A.3. Pedestrian Access Along Building Facades Not Adjacent to a Public Sidewalk:** Shall not apply. Instead, the pedestrian walkways shall be as shown generally on the approved Preliminary Development Plan.
- 15.7 **Article 10, Section 6.B.2. Pedestrian Walkway Standards – Along Facades Not Adjacent to Sidewalks:** Shall not apply. Instead, the pedestrian walkways shall be as shown generally on the approved Preliminary Development Plan.
- 15.8 **Article 10, Section 9.E. Design and Improvement Standards:** Shall not apply.
- 15.9 **Article 10, Section 9.F. Central Loading:** Shall not apply.

**Section 16.** **Signs.** The regulations of *ARTICLE 11. SIGNS* shall apply, except as modified below:

- 16.1 **Article 11, Part B, Section 3.A.4. Design:** Shall not apply; except it shall apply to the pedestrian monument sign at the round-a-bout of 141<sup>st</sup> Street and Brooks School Road.
- 16.2 **Article 11, Part C, Section 1.B.2. Type of Sign Permitted:** Shall apply. In addition, blade and building-mounted signs shall be permitted in the District.
- 16.3 **Article 11, Part C, Section 1.B.4. Maximum Sign Area:** Shall apply; except the pedestrian monument sign at the round-a-bout of 141<sup>st</sup> Street and Brooks School Road shall have a maximum sign area of forty-four (44) square feet.
- 16.4 **Additional Provisions**
  - A. **Vision Clearance.** Monument (ground) signs shall not be established within the vision corner clearance areas and are subject to approval by the Planning Department and Engineering Department.
  - B. **Building Mounted Signs.** All building mounted signs shall be individual lettering and, if lit, shall be back-lit.
  - C. **Sign Package.** Attached hereto as **Exhibit E** is the sign package, showing the conceptual intent and the sizes for the proposed ground and building signs. Wayfinding, directional, informational, traffic control, incidental and similar signage are not shown on Exhibit E and shall be permitted per the UDO.

**Section 17.** **Landscaping and Screening.** The regulations of *ARTICLE 12. LANDSCAPING AND SCREENING* shall not apply. Instead, landscaping and screening shall be as shown generally on the approved Preliminary Development Plan.

**Section 18.** **Environmental Performance Standards.** The regulations of *ARTICLE 13. ENVIRONMENTAL PERFORMANCE STANDARDS* shall apply.




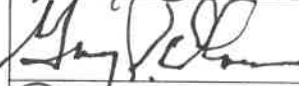





**Section 19.** **Nonconforming Uses and Structures.** The regulations of *ARTICLE 14. NONCONFORMING USES AND STRUCTURES* shall apply.

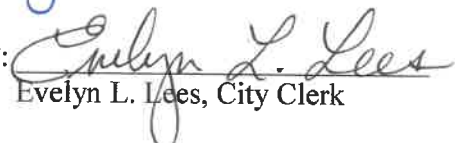
**Section 20.** **Enforcement.** The regulations of *ARTICLE 15. ENFORCEMENT* shall apply.

**Section 21.** **Procedures.**

- 21.1 **Detailed Development Plan.** Approval of a Detailed Development Plan (“DDP”) shall follow the procedures set out in Article 8, subject to the following clarification: (i) the Director of Planning and ***Zoning*** shall approve Minor Changes; and (ii) if a DDP includes a Major Change from the approved Preliminary Development Plan, then, prior to approval of the DDP, an amended Preliminary Development Plan shall be submitted to the City for review by the Technical Advisory Committee and then for review and approval by the Plan Commission following a public hearing. A Major Change from the approved Preliminary Development Plan shall be reviewed and approved by the Technical Advisory Committee and the Plan Commission based upon compliance with the development standards set forth herein and shall be compatible and consistent with the intended quality and character of the District. A Secondary Plat shall be submitted for review and approval as part of any approved DDP.
- 21.2 **Major Change.** For purposes of this Ordinance, a “Major Change” shall mean: (i) a substantial change to the **location** of a perimeter entrance as shown on the Preliminary Development Plan; and (ii) significant changes to the drainage management systems, including, but not limited to, BMP’s and legal drains.
- 21.3 **Minor Change.** For purposes of this Ordinance, a “Minor Change” shall mean any change that: (i) is not a Major Change; and (ii) is consistent with the intent of this Ordinance and consistent with the quality and character represented in this Ordinance for the District. Specifically, changes to the internal street configurations and building configurations, are expected and shall be deemed to be Minor Changes for purposes of this Ordinance.

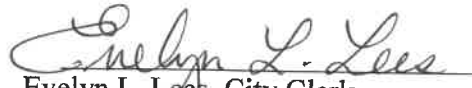
Approved on this 12<sup>th</sup> day of July, 2022 by the Common Council of the City of Noblesville, Indiana:

AYE		NAY	ABSTAIN
	Brian Ayer		
	Mark Boice		
	Michael J. Davis		
	Gregory P. O'Connor		
	Darren Peterson		
	Pete Schwartz		
	Aaron Smith		
	Dan Spartz		
	Megan G. Wiles		

ATTEST:   
Evelyn L. Lees, City Clerk

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Presented by me to the Mayor of the City of Noblesville, Indiana, this 12<sup>th</sup> day of July, 2022 at 7:55 P.M.

  
Evelyn L. Lees, City Clerk

MAYOR'S APPROVAL


  
Chris Jensen, Mayor

7-12-22  
Date

MAYOR'S VETO

\_\_\_\_\_  
Chris Jensen, Mayor

\_\_\_\_\_  
Date

ATTEST:   
Evelyn L. Lees, City Clerk



I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security Number in this document, unless required by law: Steven D. Hardin

Prepared by: Steven D. Hardin, Attorney-At-Law, Faegre Drinker Biddle & Reath, LLP  
600 East 96<sup>th</sup> Street, Suite 600, Indianapolis, Indiana 46032 | (317) 569-9600.



**EXHIBIT A**  
**REAL ESTATE**

PART OF THE SOUTHEAST QUARTER OF SECTION 22, TOWNSHIP 18 NORTH, RANGE 5 EAST OF THE SECOND PRINCIPAL MERIDIAN, HAMILTON COUNTY, INDIANA, DESCRIBED AS FOLLOWS:

COMMENCING AT A HARRISON MONUMENT MARKING THE NORTHEAST CORNER OF SAID SOUTHEAST QUARTER; THENCE ALONG THE EAST LINE THEREOF SOUTH 00 DEGREES 04 MINUTES 53 SECONDS EAST (BASIS OF BEARINGS) 431.86 FEET; THENCE SOUTH 89 DEGREES 54 MINUTES 04 SECONDS WEST 237.60 FEET TO A NORTHWESTERLY CORNER OF THE LAND OF CITY OF NOBLESVILLE AS DESCRIBED IN INSTRUMENT NO. 20100040806 IN THE OFFICE OF THE RECORDER OF HAMILTON COUNTY, INDIANA AND THE POINT OF BEGINNING; THENCE THE FOLLOWING FIVE (5) COURSES ALONG THE WESTERLY LINE OF SAID INSTRUMENT NO. 20100040806; (1) SOUTH 14 DEGREES 35 MINUTES 56 SECONDS EAST 87.40 FEET; (2) SOUTH 32 DEGREES 02 MINUTES 49 SECONDS WEST 4.41 FEET TO A POINT ON A CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 646.20 FEET AND A CHORD BEARING SOUTH 51 DEGREES 25 MINUTES 37 SECONDS WEST 428.86 FEET; (3) SOUTHWESTERLY ALONG SAID CURVE 437.14 FEET; (4) SOUTH 70 DEGREES 48 MINUTES 24 SECONDS WEST 333.06 FEET TO A POINT ON A CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 786.20 FEET AND A CHORD BEARING SOUTH 57 DEGREES 20 MINUTES 12 SECONDS WEST 366.27 FEET; (5) SOUTHWESTERLY ALONG SAID CURVE 369.66 FEET; THENCE SOUTH 89 DEGREES 34 MINUTES 59 SECONDS WEST 148.67 FEET TO THE WEST LINE OF THE EAST HALF OF THE AFORESAID SOUTHEAST QUARTER; THENCE ALONG SAID WEST LINE NORTH 00 DEGREES 05 MINUTES 28 SECONDS WEST 1031.34 FEET TO THE SOUTHERLY LINE OF THE LAND OF CITY OF NOBLESVILLE AS DESCRIBED IN INSTRUMENT NO. 200600066492 IN SAID RECORDER'S OFFICE; THENCE THE FOLLOWING THREE (3) COURSES ALONG THE SOUTHERLY LINES OF SAID INSTRUMENT NO. 200600066492; (1) NORTH 89 DEGREES 13 MINUTES 17 SECONDS EAST 80.30 FEET TO A POINT ON A CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS 1395.39 FEET AND A CHORD BEARING SOUTH 74 DEGREES 21 MINUTES 57 SECONDS EAST 788.55 FEET; (2) SOUTHEASTERLY ALONG SAID CURVE 799.44 FEET; (3) SOUTH 57 DEGREES 57 MINUTES 11 SECONDS EAST 293.92 FEET TO THE POINT OF BEGINNING, CONTAINING 17.42 ACRES, MORE OR LESS.

**EXHIBIT B**  
**PRELIMINARY DEVELOPMENT PLAN**



weaver sherman design  
architects and land planners

JC HART

08/10/2022

**EXHIBIT C**  
**SAMPLING AND GENERAL REPRESENTATION**  
**OF THE APPROVED ELEVATIONS**



**weaver sherman design**  
architects and land planners

**HYDE PARK**  
**BLDG 3 RENDER**

04/27/2022

**JC HART**

# EXHIBIT D PRELIMINARY DEVELOPMENT PLAN



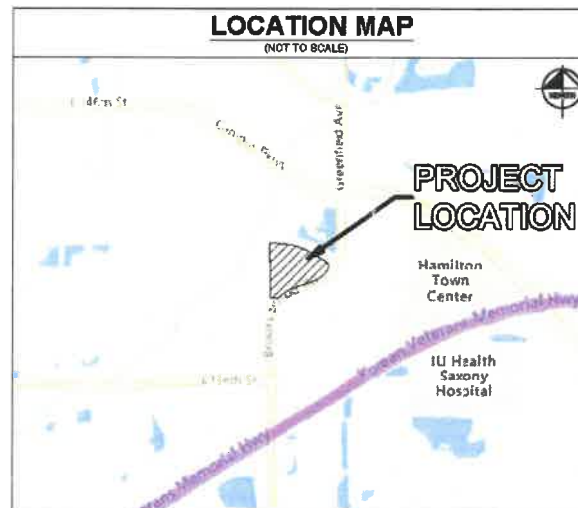
## PRELIMINARY ENGINEERING PLANS FOR HYDE PARK TOWNS & FLATS SWC OF 141ST STREET & BROOKS SCHOOL ROAD NOBLESVILLE, IN 46060

### UTILITY AND GOVERNING AGENCY CONTACTS

SERVICE / JURISDICTION	COMPANY / DEPT.	ADDRESS	PHONE NUMBER	CONTACT
ENGINEERING	CITY OF NOBLESVILLE	16 S 10TH ST., STE 155, NOBLESVILLE, IN 46060	(317) - 776 - 6330	JIM HELLMANN
COMMUNITY DEV. AND PLANNING	CITY OF NOBLESVILLE	16 S 10TH ST., STE 155, NOBLESVILLE, IN 46060	(317) - 776 - 6325	JOYCEANN YELTON
FIRE	NOBLESVILLE FIRE DEPT.	135 S 9TH ST., STE 155, NOBLESVILLE, IN 46060	(317) - 776 - 6338	DARRELL CROSS
STORM SEWER	CITY OF NOBLESVILLE	16 S 10TH ST., NOBLESVILLE, IN 46060	(317) - 776 - 6330	ODISE ADAMS
MS4 OPERATOR	CITY OF NOBLESVILLE	16 S 10TH ST., STE 155, NOBLESVILLE, IN 46060	(317) - 776 - 6330	BRAD ROBBINS
STREETS	NOBLESVILLE STREET DEPT.	1575 PLEASANT ST., NOBLESVILLE, IN 46060	(317) - 776 - 6348	VINCE BAKER
COUNTY SURVEYOR	HAMILTON COUNTY SURVEYOR'S OFFICE	1 HAMILTON CTY. SQ., STE 148, NOBLESVILLE, IN 46060	(317) - 776 - 8465	STEVE CASH
COMMUNICATION	AT&T	240 N. MERIDIAN ST., ROOM 280, INDIANAPOLIS, IN 46204	(317) - 610 - 5437	BRIAN PETERS
	COMCAST (TELECOM PLACEMENT, INC.)		(317) - 752 - 8426	THOMAS SPENCER
POWER	DUKE ENERGY	100 S. MILL CREEK RD., NOBLESVILLE, IN 46060	(317) - 776 - 5348	CLINT THOMPSON
OAS	CENTERPOINT ENERGY	16000 ALLISONVILLE RD., NOBLESVILLE, IN 46060	(317) - 776 - 5560	RANDY CRUTCHFIELD
WATER	INDIANA AMERICAN WATER	15227 HERRIMAN BLVD., NOBLESVILLE, IN 46060	(317) - 773 - 2467	JOSH COX
SANITARY SEWER	CITY OF FISHERS (SANITARY)	1 MUNICIPAL DR., FISHERS, IN 46038	(317) - 656 - 3160	LAURA McCURE

### PROJECT TEAM

ROLE	COMPANY	ADDRESS	PHONE NUMBER	CONTACT
DEVELOPER/OWNER	J.C. HART COMPANY, INC.	805 CITY CENTER DR., #120 CARMEL, IN 46032	(317) 819-7422	TODD WAY
CIVIL ENGINEER	KIMLEY-HORN & ASSOCIATES, INC.	250 E. 98TH ST., STE 580, INDIANAPOLIS, IN 46240	(317) 218-9560	KALEB SONDGERATH, PE
LANDSCAPE ARCHITECT	KIMLEY-HORN & ASSOCIATES, INC.	250 E. 98TH ST., STE 580, INDIANAPOLIS, IN 46240	(317) 218-9560	MICHELE DYER, PLA
LAND SURVEYOR	HUMPHREYS & ASSOCIATES LAND SURVEYING, INC.	PO BOX 78 ZIONSVILLE, IN 46077	(317) 656-8829	BRADY KUHN



**HAMILTON COUNTY**  
CONSTRUCTION OF 358 MULTI-FAMILY UNITS AND INFRASTRUCTURE ON ±17.42 AC. PROJECT IS IN SECTION 22 OF T18N, R5E IN THE CITY OF NOBLESVILLE, HAMILTON COUNTY, INDIANA

Sheet List Table	
Sheet Number	Sheet Title
C0.0	TITLE SHEET
C3.0	OVERALL SITE PLAN
C6.0	OVERALL UTILITY PLAN
L1.0	OVERALL LANDSCAPE PLAN

### National Flood Hazard Layer FIRMette



Symbol	Description
[Symbol]	100 Year Flood Hazard
[Symbol]	500 Year Flood Hazard
[Symbol]	Special Flood Hazard Area
[Symbol]	Water Body
[Symbol]	Transportation
[Symbol]	Other



Map scale symbol	Map scale notes	Rating	Area, in AC	Percent of AC
[Symbol]	Impervious area	0.5	1.1	6.2%
[Symbol]	Grass	1.0	11.1	63.8%
[Symbol]	Other	1.5	15.2	89.9%

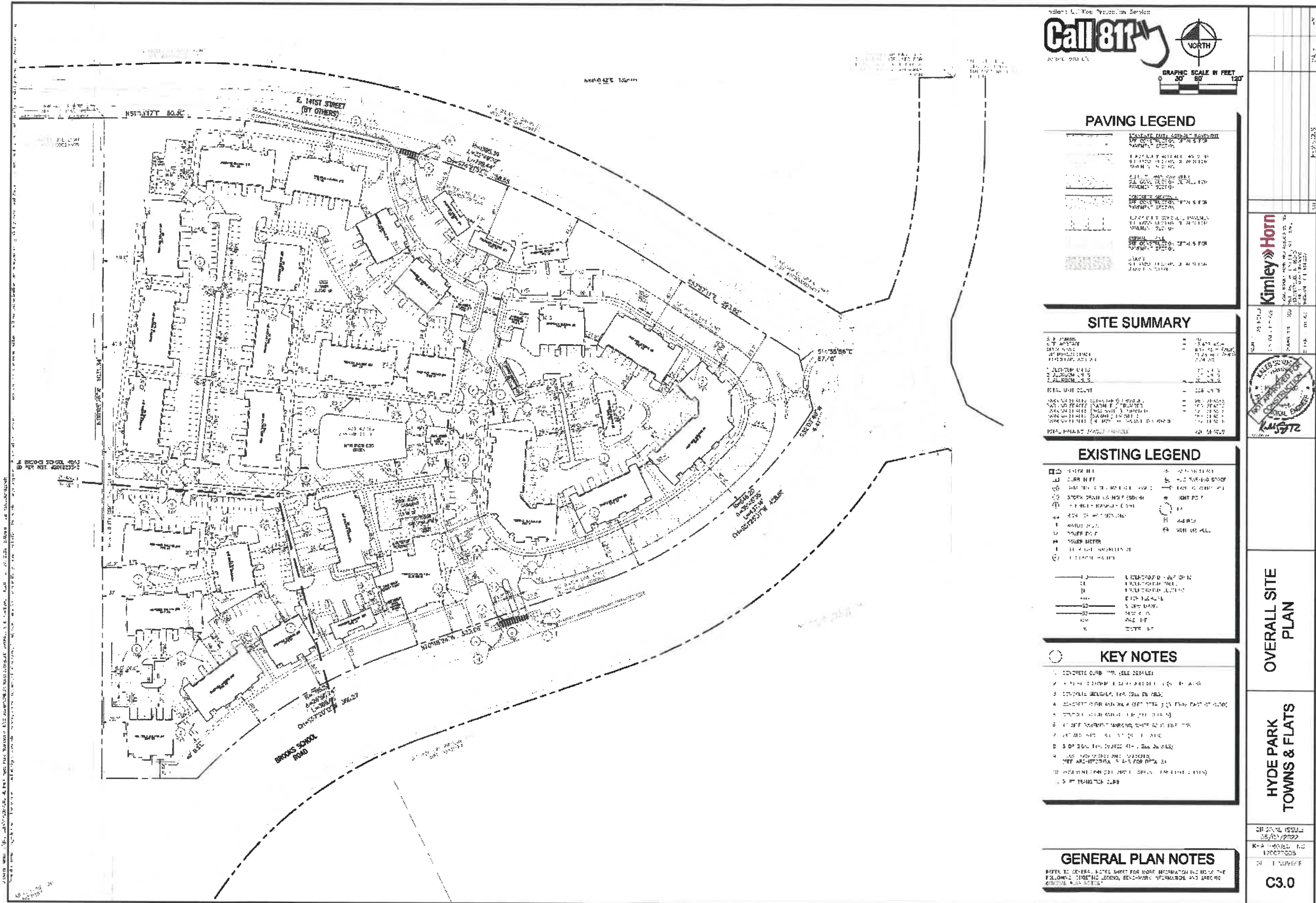
### LEGAL DESCRIPTION

PART OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 18 NORTH, RANGE 6 EAST OF THE SECOND PRINCIPAL MERIDIAN, HAMILTON COUNTY, INDIANA, DESCRIBED AS FOLLOWS:

COMMENCING AT A HARRISON MONUMENT MARKING THE NORTHEAST CORNER OF SAID SOUTHEAST QUARTER; THENCE ALONG THE EAST LINE THEREOF SOUTH 02 DEGREES 04 MINUTES 29 SECONDS EAST (BASE OF BEARING) 491.00 FEET; THENCE SOUTH 89 DEGREES 09 MINUTES 04 SECONDS WEST 207.20 FEET TO A NORTHWESTERLY CORNER OF THE LAND OF CITY OF NOBLESVILLE AS DESCRIBED IN INSTRUMENT NO. 2000000902 IN THE OFFICE OF THE RECORDER OF HAMILTON COUNTY, INDIANA AND THE POINT OF BEGINNING; THENCE THE FOLLOWING FIVE (5) COURSES ALONG THE WESTERLY LINE OF SAID INSTRUMENT NO. 2000000902, (1) SOUTH 14 DEGREES 05 MINUTES 50 SECONDS EAST 87.40 FEET; (2) SOUTH 23 DEGREES 02 MINUTES 40 SECONDS WEST 441 FEET TO A POINT ON A CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 646.20 FEET AND A CHORD BEARING SOUTH 51 DEGREES 29 MINUTES 37 SECONDS WEST 48.80 FEET; (3) NORTHWESTERLY ALONG SAID CURVE 437.14 FEET; (4) SOUTH 70 DEGREES 40 MINUTES 28 SECONDS WEST 332.00 FEET TO A POINT ON A CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 700.20 FEET AND A CHORD BEARING SOUTH 67 DEGREES 20 MINUTES 12 SECONDS WEST 283.27 FEET; (5) SOUTHWESTERLY ALONG SAID CURVE 382.00 FEET; THENCE SOUTH 80 DEGREES 34 MINUTES 50 SECONDS WEST 146.87 FEET TO THE WEST LINE OF THE EAST HALF OF THE AFORESAID SOUTHWEST QUARTER; THENCE ALONG SAID WEST LINE NORTH 02 DEGREES 05 MINUTES 38 SECONDS WEST 103.54 FEET TO THE SOUTHERLY LINE OF THE LAND OF CITY OF NOBLESVILLE AS DESCRIBED IN INSTRUMENT NO. 2000000902 IN SAID RECORDERS OFFICE; THENCE THE FOLLOWING THREE (3) COURSES ALONG THE SOUTHERLY LINE OF SAID INSTRUMENT NO. 2000000902, (1) NORTH 80 DEGREES 13 MINUTES 07 SECONDS EAST 82.00 FEET TO A POINT ON A CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS 582.39 FEET AND A CHORD BEARING SOUTH 74 DEGREES 21 MINUTES 07 SECONDS EAST 739.80 FEET; (2) SOUTH EASTERLY ALONG SAID CURVE 738.04 FEET; (3) SOUTH 67 DEGREES 07 MINUTES 41 SECONDS EAST 289.92 FEET TO THE POINT OF BEGINNING, CONTAINING 17.42 ACRES, MORE OR LESS.

 KIMLEY-HORN & ASSOCIATES, INC. ENGINEERS, ARCHITECTS AND ASSOCIATES, INC. 10000 N. STATE ROAD 135, SUITE 300 FORT WORTH, TEXAS 76134-1000 PH: 817-335-1100 WWW.KIMLEY-HORN.COM	AS NOTED DECIDED BY: KSC DRAWN BY: PSC CHECKED BY: KSC
	REVISIONS No. DATE BY
TITLE SHEET	
HYDE PARK TOWNS & FLATS	
ORIGINAL ISSUE: 05/02/2022 KHA PROJECT NO. 170077005 SHEET NUMBER C0.0	

# EXHIBIT D, CONT. PRELIMINARY DEVELOPMENT PLAN



Call 811  
GRAPHIC SCALE IN FEET  
0 30 60 120

### PAVING LEGEND

	CONCRETE PAVING (SEE DETAILS)
	ASPHALT PAVING (SEE DETAILS)
	GRAVEL PAVING (SEE DETAILS)
	BRICK PAVING (SEE DETAILS)
	COBBLESTONE PAVING (SEE DETAILS)

### SITE SUMMARY

LOT AREA	12.5 ACRES
TOTAL UNIT COUNT	228 UNITS
RESIDENTIAL UNITS	180 UNITS
COMMERCIAL UNITS	48 UNITS
OFFICE UNITS	0 UNITS
RETAIL UNITS	0 UNITS
INDUSTRIAL UNITS	0 UNITS
OTHER UNITS	0 UNITS

### EXISTING LEGEND

	EXISTING BUILDING
	EXISTING WALL
	EXISTING WINDOW
	EXISTING DOOR
	EXISTING ROOF
	EXISTING FOUNDATION

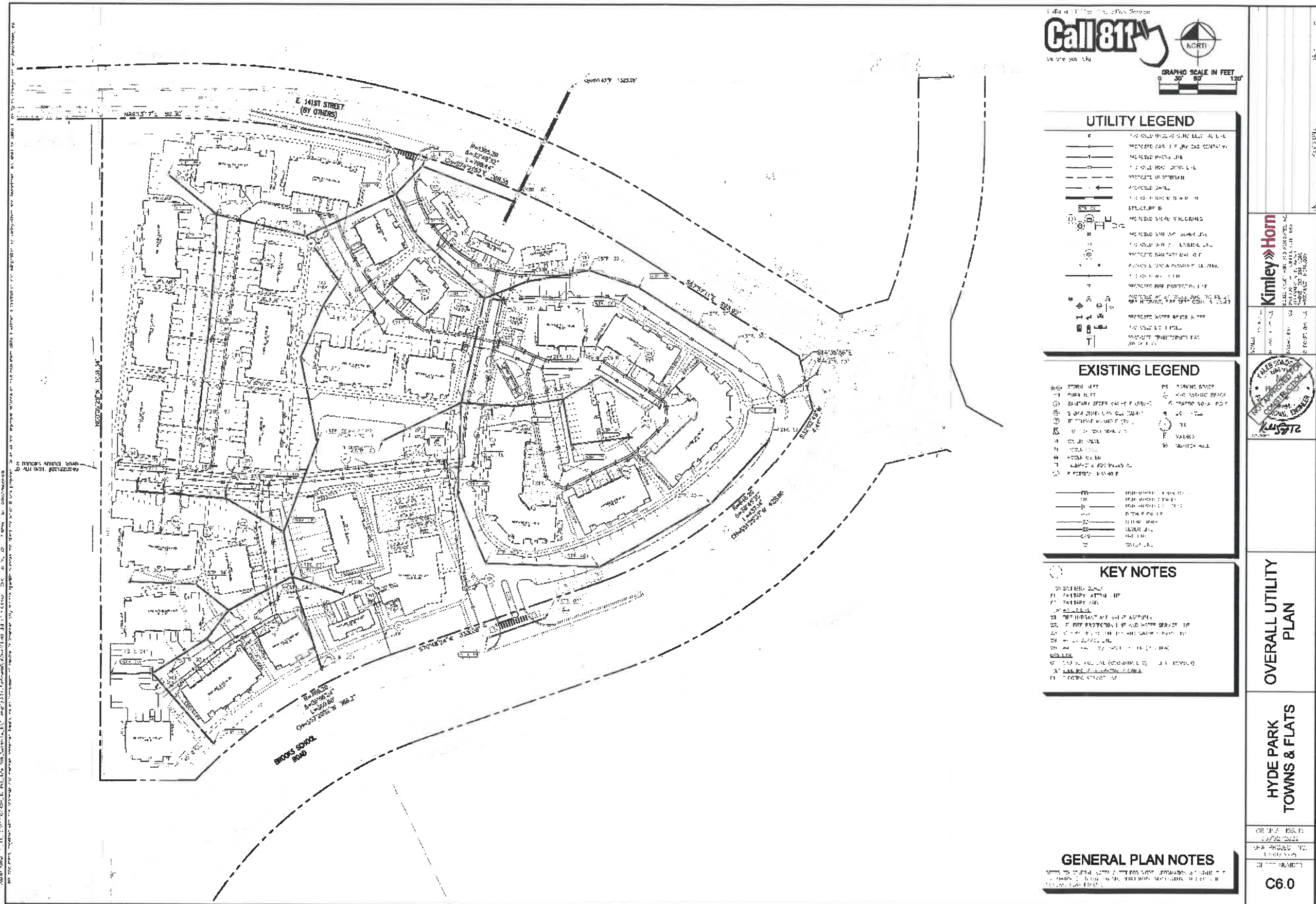
- ### KEY NOTES
- CONCRETE CURB (SEE DETAILS)
  - ASPHALT DRIVE (SEE DETAILS)
  - GRAVEL DRIVE (SEE DETAILS)
  - BRICK DRIVE (SEE DETAILS)
  - COBBLESTONE DRIVE (SEE DETAILS)
  - CONCRETE DRIVE (SEE DETAILS)
  - ASPHALT DRIVE (SEE DETAILS)
  - GRAVEL DRIVE (SEE DETAILS)
  - BRICK DRIVE (SEE DETAILS)
  - COBBLESTONE DRIVE (SEE DETAILS)
  - CONCRETE DRIVE (SEE DETAILS)
  - ASPHALT DRIVE (SEE DETAILS)
  - GRAVEL DRIVE (SEE DETAILS)
  - BRICK DRIVE (SEE DETAILS)
  - COBBLESTONE DRIVE (SEE DETAILS)

### GENERAL PLAN NOTES

REFER TO GENERAL NOTES SHEET FOR MORE INFORMATION AND SEE THE FOLLOWING SHEETS FOR LEGEND, BUILDING INFORMATION AND SPECIFIC CONSTRUCTION DETAILS.

**Kimley-Horn**  
 OVERALL SITE PLAN  
 HYDE PARK TOWNS & FLATS  
 C3.0

# EXHIBIT D, CONT. PRELIMINARY DEVELOPMENT PLAN



Call 811  
We're on the line

NORTH

GRAPHIC SCALE IN FEET  
0 30 60 120

### UTILITY LEGEND

	12" WATER MAIN
	12" SEWER MAIN
	12" GAS MAIN
	12" ELECTRIC MAIN
	12" TELECOMMUNICATIONS MAIN
	12" STORM SEWER MAIN
	12" SANITARY SEWER MAIN
	12" WATER SERVICE LINE
	12" SEWER SERVICE LINE
	12" GAS SERVICE LINE
	12" ELECTRIC SERVICE LINE
	12" TELECOMMUNICATIONS SERVICE LINE
	12" STORM SEWER SERVICE LINE
	12" SANITARY SEWER SERVICE LINE
	12" WATER METER
	12" SEWER METER
	12" GAS METER
	12" ELECTRIC METER
	12" TELECOMMUNICATIONS METER
	12" STORM SEWER MANHOLE
	12" SANITARY SEWER MANHOLE
	12" WATER VALVE
	12" SEWER VALVE
	12" GAS VALVE
	12" ELECTRIC VALVE
	12" TELECOMMUNICATIONS VALVE
	12" STORM SEWER CATCH BASIN
	12" SANITARY SEWER CATCH BASIN

### EXISTING LEGEND

	EXISTING 12" WATER MAIN
	EXISTING 12" SEWER MAIN
	EXISTING 12" GAS MAIN
	EXISTING 12" ELECTRIC MAIN
	EXISTING 12" TELECOMMUNICATIONS MAIN
	EXISTING 12" STORM SEWER MAIN
	EXISTING 12" SANITARY SEWER MAIN
	EXISTING 12" WATER SERVICE LINE
	EXISTING 12" SEWER SERVICE LINE
	EXISTING 12" GAS SERVICE LINE
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	EXISTING 12" WATER VALVE
	EXISTING 12" SEWER VALVE
	EXISTING 12" GAS VALVE
	EXISTING 12" ELECTRIC VALVE
	EXISTING 12" TELECOMMUNICATIONS VALVE
	EXISTING 12" STORM SEWER CATCH BASIN
	EXISTING 12" SANITARY SEWER CATCH BASIN

- ### KEY NOTES
1. ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY.
  2. THE LOCATION AND DEPTH OF ALL UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
  3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.
  4. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES UNLESS OTHERWISE SHOWN.
  5. THE CONTRACTOR SHALL PROTECT ALL UTILITIES NOT TO BE DISTURBED.
  6. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
  7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL UTILITIES DAMAGED DURING CONSTRUCTION.
  8. THE CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS OF ALL UTILITIES INSTALLED.
  9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL UTILITIES DAMAGED DURING CONSTRUCTION.
  10. THE CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS OF ALL UTILITIES INSTALLED.

### GENERAL PLAN NOTES

1. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES AND STANDARDS.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.

3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

4. THE CONTRACTOR SHALL PROTECT ALL UTILITIES NOT TO BE DISTURBED.

5. THE CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS OF ALL UTILITIES INSTALLED.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL UTILITIES DAMAGED DURING CONSTRUCTION.

7. THE CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS OF ALL UTILITIES INSTALLED.

**Kimley-Horn**  
INCORPORATED  
1000 WEST 10TH AVENUE  
DENVER, COLORADO 80202  
TEL: 303.733.1100  
WWW.KIMLEY-HORN.COM



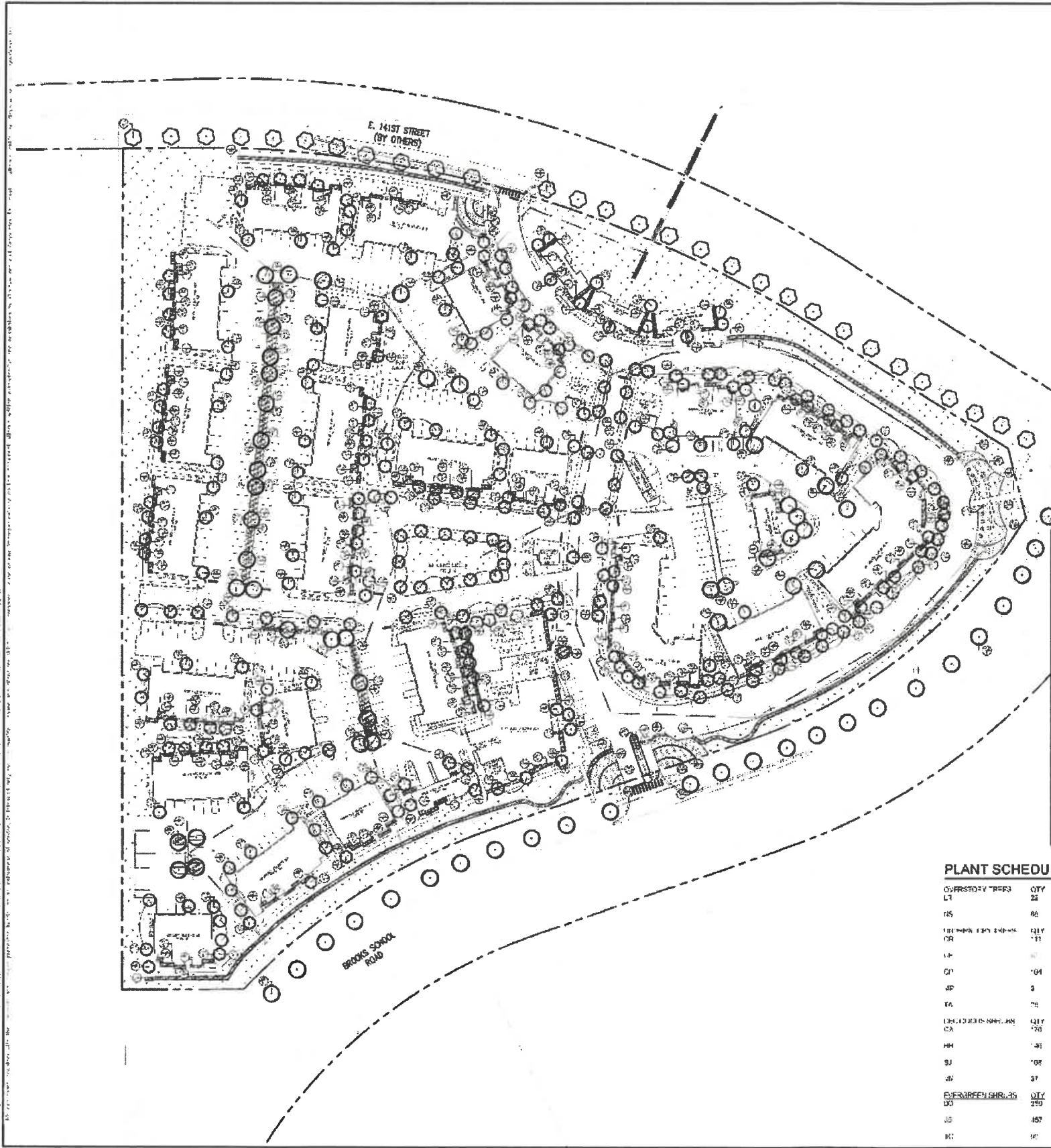
**OVERALL UTILITY PLAN**

**HYDE PARK TOWNS & FLATS**

C6.0

# EXHIBIT D, CONT. PRELIMINARY DEVELOPMENT PLAN

Call 811  
GRAPHIC SCALE IN FEET  
0 TO 60 TO 120  
NORTH



**ORDINANCE CHART**

ZONING: COMMERCIAL	REQUIREMENT	PROVIDED
<b>STREET TREES</b>	<ul style="list-style-type: none"> <li>• 1 tree/10 LF</li> <li>• Mulch bed max. 8 ft. in diameter.</li> </ul>	<ul style="list-style-type: none"> <li>• 141st St. 1,294 LF = 129 trees</li> <li>• Brooks School Rd. 9,501 LF = 950 trees</li> </ul>
<b>PARKING LOT PERIMETER</b>	<ul style="list-style-type: none"> <li>• A. Landscape screen of at least 10' in width (combination of shade trees, evergreen trees, evergreen shrubs and deciduous shrubs)</li> </ul>	<ul style="list-style-type: none"> <li>• 85 trees, 282 shrubs</li> </ul>
<b>PARKING LOT INTERIOR</b>	<ul style="list-style-type: none"> <li>• Internal landscape islands: 5%</li> <li>• 1 shrub/100 SF and groundcover and/or perennials</li> <li>• 1 tree/200 SF</li> </ul>	<ul style="list-style-type: none"> <li>• 235,700 SF = 235,700 shrubs, 11,785 trees</li> <li>• 11,785/100 = 118 shrubs</li> <li>• 11,785/200 = 59 trees</li> </ul>
<b>FOUNDATION PLANTINGS</b>	<ul style="list-style-type: none"> <li>• One ornamental tree for every 20' of facade, placed within 10' of building</li> <li>• One shrub for every 5' of building facade</li> </ul>	<ul style="list-style-type: none"> <li>• 6,888 LF = 6,888/20 = 344 ornamental trees</li> <li>• 6,888/5 = 1,377 shrubs</li> </ul>
<b>PERIMETER SITE BUFFERING</b>	<ul style="list-style-type: none"> <li>• 3 canopy trees and 13 shrubs per 100 LF</li> </ul>	<ul style="list-style-type: none"> <li>• 141st St. = 161 trees + 300 shrubs</li> <li>• Brooks School Rd. = 23 trees + 200 shrubs</li> </ul>

**PLANT SCHEDULE**

OVERSTORY TREE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CA.	HT.
LIQUIDAMBAR STYRAC	25	LIQUIDAMBAR STYRAC	RED BUD	D&D	25' CAL. B.	12' T.H.
US	88	NYSSA SYRIACA	RED BUDGUM	RA 9	25' CAL. B.	12' T.H.
OR	11	HELIOSCOPIUM	EUROPEAN MORNINGGLORY	CA 9	15' CAL. B.W.	6'
OR	11	CORONILLA	HEAVENLY BELL	RA 4	15' CAL. B.W.	6'
OP	04	CARYOPHILLUS	AMERICAN HORNLEAF	D&D	15' CAL. B.W.	8' T.H.
OP	3	SAURURUS	PERIWINKLE	D&D	15' CAL. B.W.	8' T.H.
PA	78	T. AMERICANA	AMERICAN BURNING	RA 9	15' CAL. B.W.	8' T.H.
CA	170	HELIOSCOPIUM	EUROPEAN MORNINGGLORY	CA 9	15' CAL. B.W.	6'
CA	170	CORONILLA	HEAVENLY BELL	CA 9	15' CAL. B.W.	6'
BJ	08	STYRACIS	JAPANESE STYRACIS	CA 9	18' CAL. B.W.	8' T.H.
BJ	37	YOUTHIA	YOUTHIA	CA 9	18' CAL. B.W.	8' T.H.
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	HT.
SH	187	JUNIPERUS	SPREADER JUNIPER	CA 9	18' T.H.	8' T.H.
SH	30	LAURUS	AVONCURE	CA 9	18' T.H.	8' T.H.

Kimley-Horn

NOT APPROVED FOR CONSTRUCTION

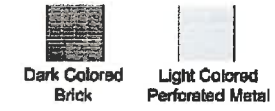
OVERALL LANDSCAPE PLAN

HYDE PARK TOWNS & FLATS

L1.0

# EXHIBIT E CONCEPTUAL SIGN PACKAGE

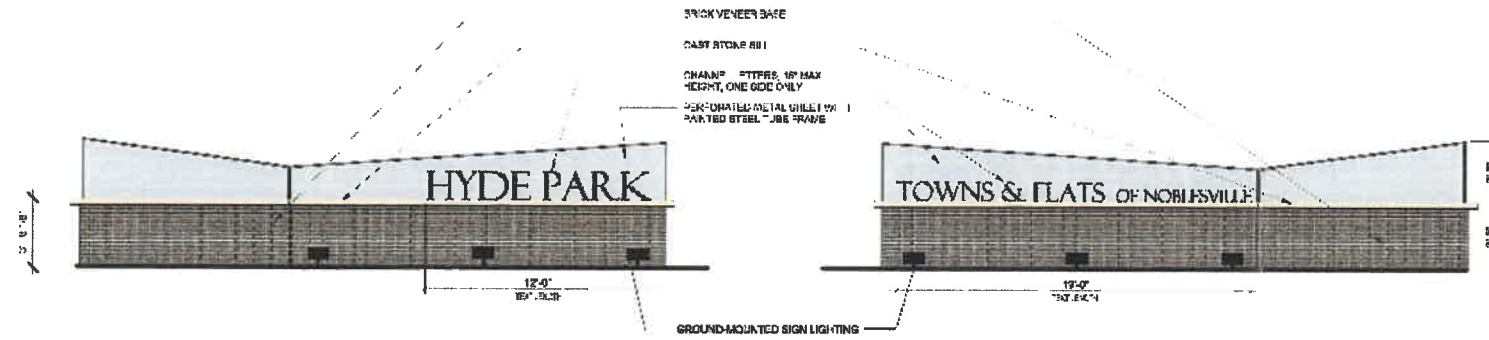
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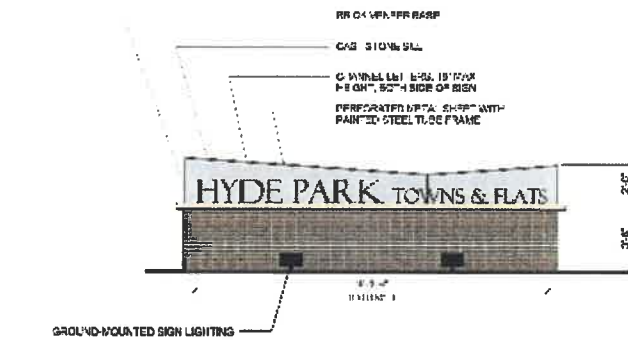
ARCHITECT:  
**weaver sherman design**  
architects & interior designers  
5204 carrollton avenue  
Indianapolis, IN 46220  
phone 317 202 8681  
fax 317 232 0862  
email office@weaversherman.com  
OWNER:



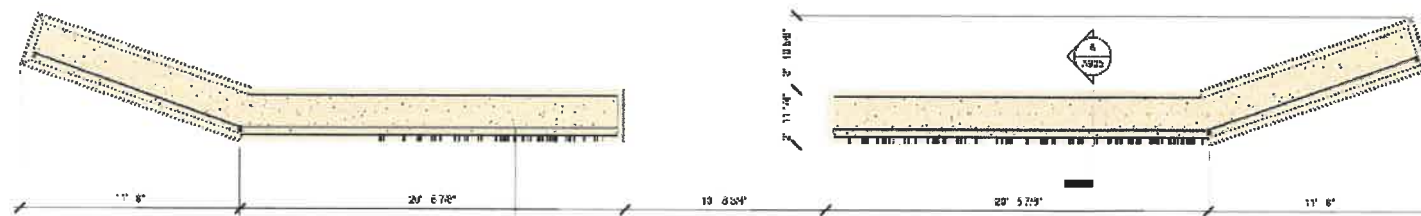
REVISIONS



3 CORNER SIGN ELEVATION @ ROUNDABOUT  
1/2" = 1'-0"



4 SIGN ELEVATION @ 141ST ST AND BROOKS SCHOOL ROAD ENTRIES  
1/2" = 1'-0"



2 CORNER SIGN - FIRST LEVEL PLAN  
1/2" = 1'-0"



1 ENTRY SIGN - FIRST LEVEL PLAN  
1/2" = 1'-0"

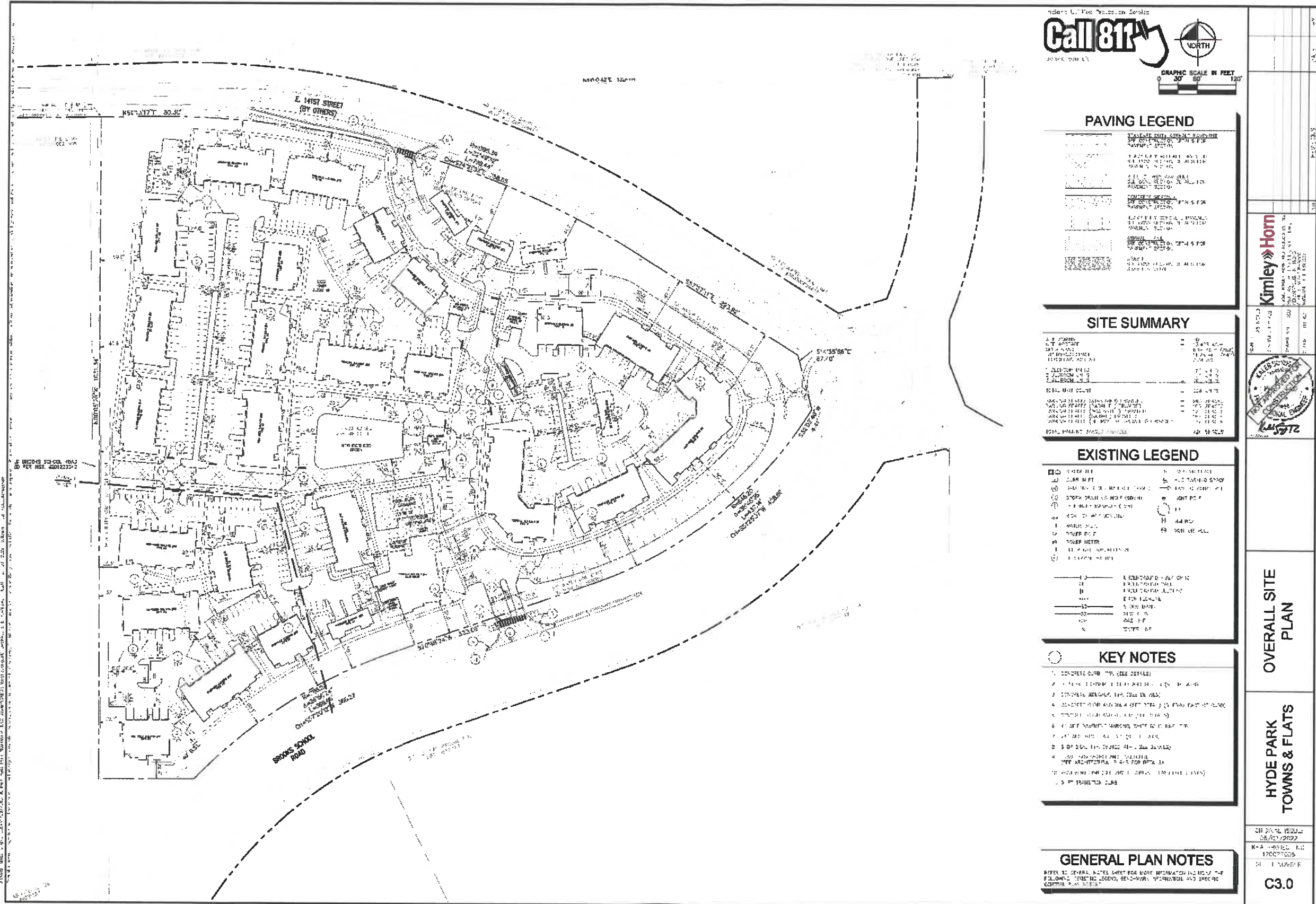
HYDE PARK TOWNS AND FLATS

SITE SIGNS - PLAN AND ELEVATIONS





# EXHIBIT D, CONT. PRELIMINARY DEVELOPMENT PLAN



Robert L. Timm, Professional Engineer  
**Call 811**  
 GRAPHIC SCALE IN FEET  
 0 30 60 120  
 NORTH

### PAVING LEGEND

	CONCRETE CURB - SEE DETAILS
	CONCRETE SIDEWALK - SEE DETAILS
	CONCRETE DRIVEWAY - SEE DETAILS
	CONCRETE PARKING - SEE DETAILS
	ASPHALT PARKING - SEE DETAILS
	ASPHALT DRIVEWAY - SEE DETAILS
	ASPHALT CURB - SEE DETAILS
	ASPHALT SIDEWALK - SEE DETAILS
	ASPHALT DRIVEWAY - SEE DETAILS
	ASPHALT PARKING - SEE DETAILS

### SITE SUMMARY

AREA TOTAL	100,000
AREA COVERED BY BUILDINGS	20,000
AREA COVERED BY PAVEMENT	10,000
AREA COVERED BY LANDSCAPING	5,000
AREA COVERED BY OPEN SPACE	15,000
AREA COVERED BY WATER	2,000
AREA COVERED BY UTILITIES	1,000
AREA COVERED BY OTHER	1,000
TOTAL PAVED AREA	35,000

### EXISTING LEGEND

	EXISTING CURB		EXISTING SIDEWALK
	EXISTING DRIVEWAY		EXISTING PARKING
	EXISTING UTILITY		EXISTING STRUCTURE
	EXISTING WALL		EXISTING FENCE
	EXISTING GATE		EXISTING SIGN
	EXISTING TREE		EXISTING SHRUB
	EXISTING LAWN		EXISTING GARDEN
	EXISTING POND		EXISTING STREAM
	EXISTING ROAD		EXISTING BRIDGE

- ### KEY NOTES
- CONCRETE CURB - SEE DETAILS
  - CONCRETE SIDEWALK - SEE DETAILS
  - CONCRETE DRIVEWAY - SEE DETAILS
  - CONCRETE PARKING - SEE DETAILS
  - ASPHALT PARKING - SEE DETAILS
  - ASPHALT DRIVEWAY - SEE DETAILS
  - ASPHALT CURB - SEE DETAILS
  - ASPHALT SIDEWALK - SEE DETAILS
  - ASPHALT DRIVEWAY - SEE DETAILS
  - ASPHALT PARKING - SEE DETAILS
  - ASPHALT DRIVEWAY - SEE DETAILS
  - ASPHALT CURB - SEE DETAILS
  - ASPHALT SIDEWALK - SEE DETAILS
  - ASPHALT DRIVEWAY - SEE DETAILS
  - ASPHALT PARKING - SEE DETAILS

### GENERAL PLAN NOTES

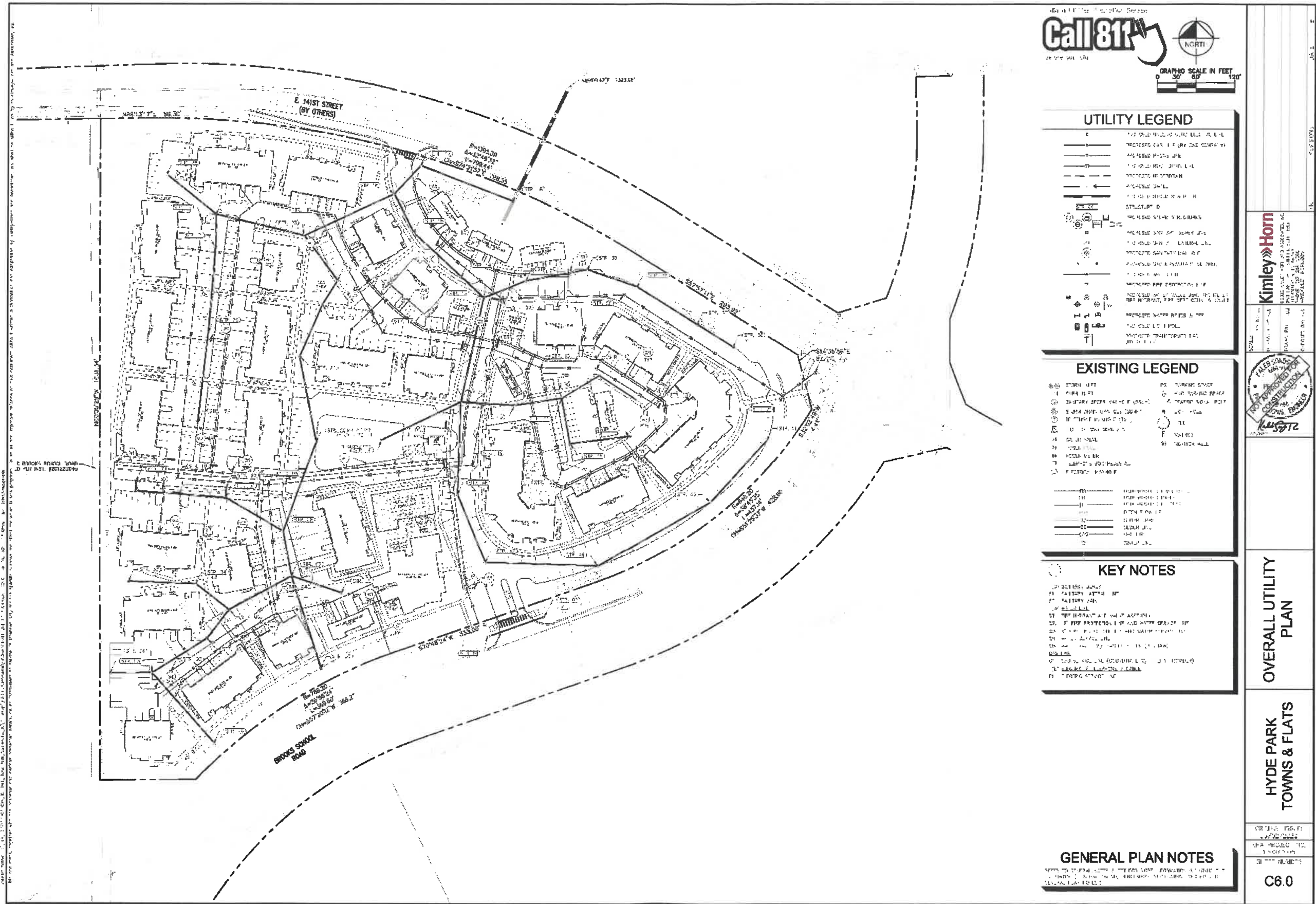
REFER TO GENERAL NOTES SHEET FOR MORE INFORMATION AND SEE THE FOLLOWING LEGENDS FOR WORK INFORMATION AND SPECIFIC CONSTRUCTION DETAILS.

**OVERALL SITE PLAN**

**HYDE PARK TOWNS & FLATS**

C3.0

# EXHIBIT D, CONT. PRELIMINARY DEVELOPMENT PLAN



Call 811  
We're on site

NORTH

GRAPHIC SCALE IN FEET  
0 30 60 120

### UTILITY LEGEND

	12" WATER MAIN
	12" SEWER MAIN
	12" GAS MAIN
	12" ELECTRIC MAIN
	12" STORM SEWER MAIN
	12" WATER SERVICE LINE
	12" SEWER SERVICE LINE
	12" GAS SERVICE LINE
	12" ELECTRIC SERVICE LINE
	12" STORM SEWER SERVICE LINE
	12" WATER VALVE
	12" SEWER VALVE
	12" GAS VALVE
	12" ELECTRIC VALVE
	12" STORM SEWER VALVE

### EXISTING LEGEND

	EXISTING BUILDING
	EXISTING PARKING LOT
	EXISTING DRIVEWAY
	EXISTING SIDEWALK
	EXISTING STREET
	EXISTING UTILITY STRUCTURE
	EXISTING UTILITY POLE
	EXISTING UTILITY VAULT
	EXISTING UTILITY MANHOLE
	EXISTING UTILITY TRANSFORMER
	EXISTING UTILITY METER
	EXISTING UTILITY VALVE
	EXISTING UTILITY STRUCTURE (CIRCULAR)
	EXISTING UTILITY STRUCTURE (SQUARE)
	EXISTING UTILITY STRUCTURE (RECTANGULAR)
	EXISTING UTILITY STRUCTURE (TRIANGULAR)
	EXISTING UTILITY STRUCTURE (PENTAGONAL)
	EXISTING UTILITY STRUCTURE (HEXAGONAL)
	EXISTING UTILITY STRUCTURE (HEPTAGONAL)
	EXISTING UTILITY STRUCTURE (OCTAGONAL)
	EXISTING UTILITY STRUCTURE (NONAGONAL)
	EXISTING UTILITY STRUCTURE (DECAGONAL)
	EXISTING UTILITY STRUCTURE (HENDECAGONAL)
	EXISTING UTILITY STRUCTURE (DODECAGONAL)

- ### KEY NOTES
1. ALL UTILITIES TO BE DELETED AND RELOCATED TO THE PROPOSED LAYOUT.
  2. ALL UTILITIES TO BE DELETED AND RELOCATED TO THE PROPOSED LAYOUT.
  3. ALL UTILITIES TO BE DELETED AND RELOCATED TO THE PROPOSED LAYOUT.
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  10. ALL UTILITIES TO BE DELETED AND RELOCATED TO THE PROPOSED LAYOUT.

### GENERAL PLAN NOTES

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10. ALL UTILITIES TO BE DELETED AND RELOCATED TO THE PROPOSED LAYOUT.

**Kimley-Horn**

INCORPORATED 1905

2157

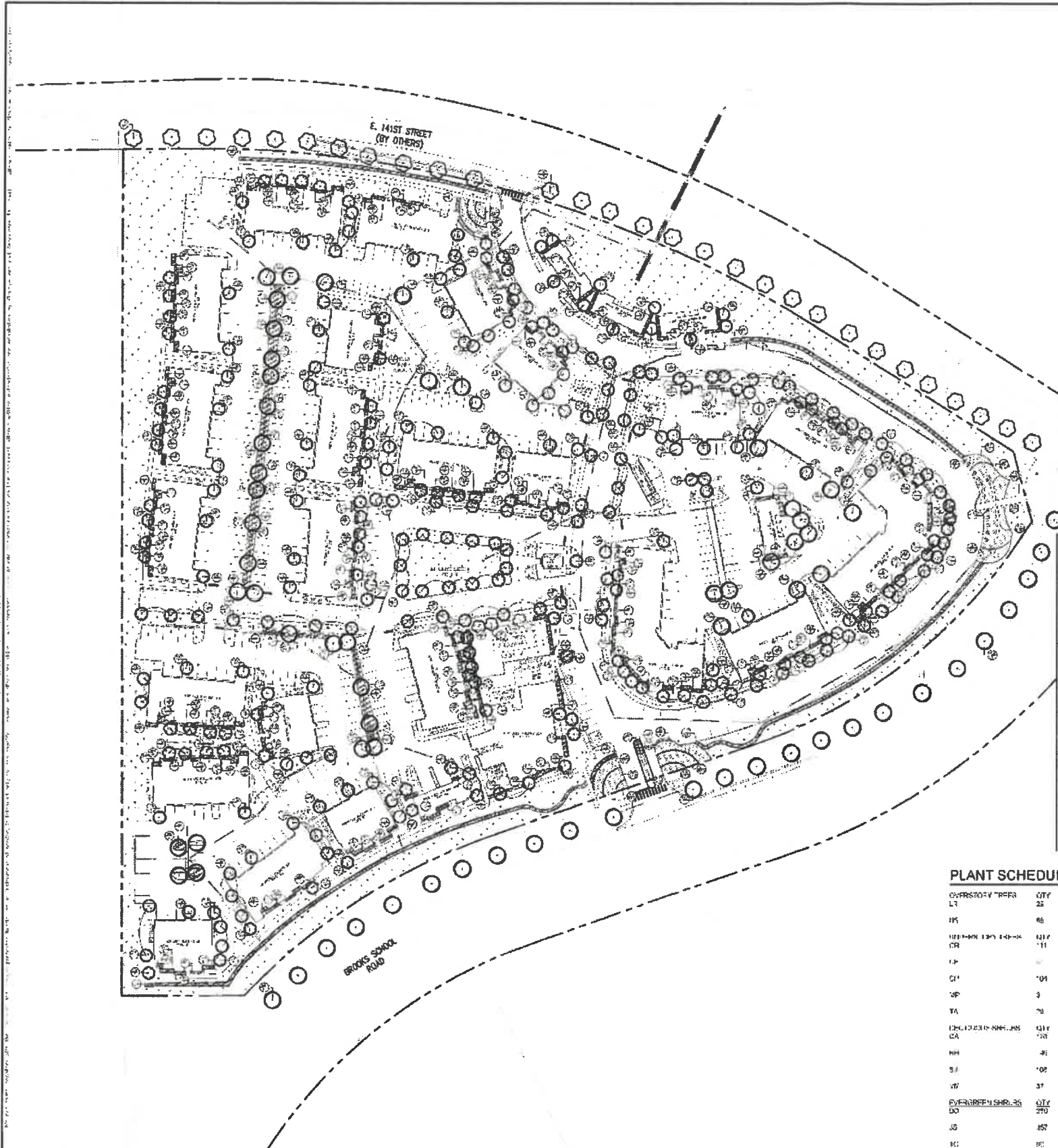
OVERALL UTILITY PLAN

HYDE PARK TOWNS & FLATS

C6.0

# EXHIBIT D, CONT. PRELIMINARY DEVELOPMENT PLAN

Call 811



### ORDINANCE CHART

ZONING: COMMERCIAL	REQUIREMENT	REQUIREMENTS	PROVIDED
<b>STREET TREES</b>	* 1 tree/10 LF	* 141st St. 1,148 LF 1,148/40 = 29 trees	* 141st St. 29 trees
	* Min. dbh max. 8 ft. in diameter.	* Brooks School Rd. 950 LF 950/40 = 24 trees	* Brooks School Rd. 24 trees
<b>PARKING LOT PERIMETER</b>	* A. Landscaping screen of at least 10' in width (combination of shade trees, evergreen trees, Evergreen shrubs and deciduous shrubs)	* A. Landscaping screen of at least 12' in width (combination of shade trees, evergreen trees, Evergreen shrubs and deciduous shrubs)	* 85 trees, 282 shrubs
	<b>PARKING LOT INTERIOR</b>		
	* Internal landscape islands: 5%	* 335,300 SF 435,200 x .05 = 11,765 SF * 11,765/100 = 118 shrubs * 11,765/200 SF = 59 trees	* 118 shrubs, 59 trees * 11,765 SF groundcover/perennial
<b>FOUNDATION PLANTINGS</b>	* One ornamental tree for every 30' of facade, placed within 10' of building.	* 6,888 LF * 6,888/210 = 33 ornamental trees	* 33 ornamental trees, 577 shrubs
	* One shrub for every 5' of building facade	* 6,888/5 = 1,377 shrubs	
<b>PERIMETER SITE BUFFERING</b>	* 3 canopy trees and 13 shrubs per 100 LF	* 141st St. = 16 trees + 200 shrubs Brooks School Rd. = 24 trees + 200 shrubs	* 141st St. 132 shrubs Brooks School Rd. 209 shrubs

### PLANT SCHEDULE

OVERSTORY TREES	QTY	BOTANICAL NAME	COMMON NAME	DBH	HT
LS	25	LIQUIDAMBAR STYRAC FLAURICOLA	ROUND LEAVED SWEET GUM	25" CAL DBH	72' T.M.H.
HS	86	IMSALEX MITIS	B. BOKHUM	25" CAL DBH	72' T.M.H.
INTERMEDIARY TREES OR	1217	HEMIFRAX AMERICANA	AMERICAN HEMLOCK	12" CAL DBH	45' T.M.H.
OR	11	CORNUS STYRACIFLORA	EUROPEAN HORNBEAM	12" CAL DBH	45' T.M.H.
OR	11	QUERCUS ALBIFLORA	WHITE OAK	12" CAL DBH	45' T.M.H.
OR	101	CAMPYLORHYNCHUS	AMERICAN HORNBEAM	12" CAL DBH	45' T.M.H.
OR	3	WALNUT SPICATA	AMERICAN WALNUT	12" CAL DBH	45' T.M.H.
OR	75	T. AMERICANA	AMERICAN BIRCH	12" CAL DBH	45' T.M.H.
CHILDREN'S TREES	111	HEMIFRAX AMERICANA	AMERICAN HEMLOCK	12" CAL DBH	45' T.M.H.
OR	70	QUERCUS ALBIFLORA	WHITE OAK	12" CAL DBH	45' T.M.H.
OR	41	QUERCUS ALBIFLORA	WHITE OAK	12" CAL DBH	45' T.M.H.
OR	108	STYRACIS JAPONICA	JAPANESE SWEET GUM	12" CAL DBH	45' T.M.H.
OR	37	VOLUNTARIA SERRATA	AMERICAN BIRCH	12" CAL DBH	45' T.M.H.
EVERGREEN SHRUBS	170	QUERCUS ALBIFLORA	WHITE OAK	12" CAL DBH	45' T.M.H.
OR	157	JUNIPERUS SPICATA	SPREADER JUNIPER	12" CAL DBH	45' T.M.H.
OR	13	YUCCA GLAUCA	AGAVE	12" CAL DBH	45' T.M.H.

Kimley-Horn

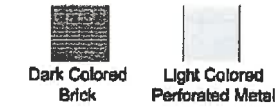
OVERALL LANDSCAPE PLAN

HYDE PARK TOWNS & FLATS

L1.0

# EXHIBIT E CONCEPTUAL SIGN PACKAGE

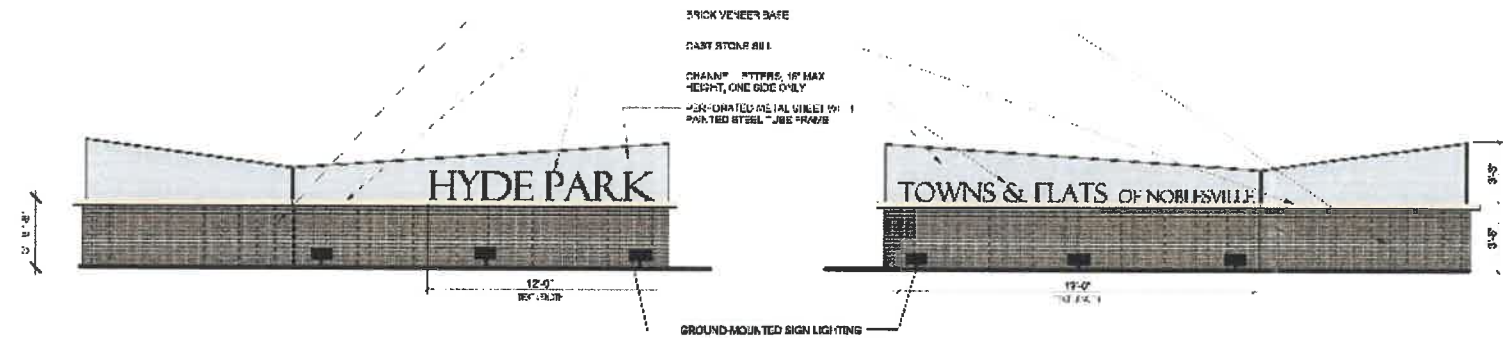
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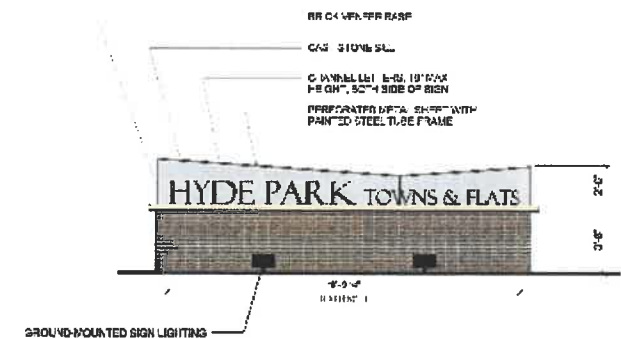
ARCHITECT:  
**weaver sherman design**  
architects & interior planners  
6201 carrollton avenue  
indianapolis, in 46220  
phone 317 232 0661  
fax 317 232 0662  
email office@weaversherman.com  
OWNER:



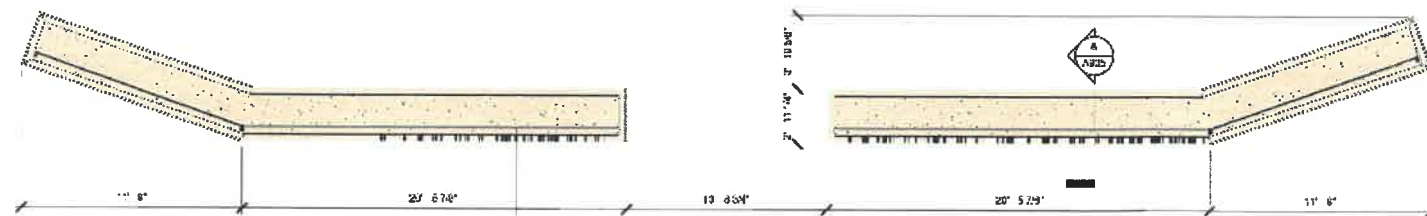
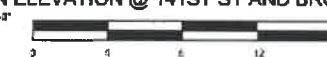
REVISIONS



3 CORNER SIGN ELEVATION @ ROUNDABOUT  
1/4" = 1'-0"



4 SIGN ELEVATION @ 141ST ST AND BROOKS SCHOOL ROAD ENTRIES  
1/4" = 1'-0"



2 CORNER SIGN - FIRST LEVEL PLAN  
1/4" = 1'-0"



1 ENTRY SIGN - FIRST LEVEL PLAN  
1/4" = 1'-0"



HYDE PARK TOWNS AND FLATS

SITE SIGNS - PLAN AND ELEVATIONS