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Jennifer J Hayden  
HAMILTON County Recorder IN  
Recorded as Presented

ORDINANCE NO. 39-8-07

AN ORDINANCE AMENDING ORDINANCE NO. 63-8-05 AND THE UNIFIED DEVELOPMENT ORDINANCE NO. 62-12-95 AND ALL AMENDMENTS THERETO INCLUDING THE ADOPTION OF AN AMENDED DEVELOPMENT PLAN OF THE CITY OF NOBLESVILLE, HAMILTON COUNTY, INDIANA.

Document Cross Reference: Deed Instrument Numbers: 200600052780, 200600052783, 200600052785, 2007005858, and 2007019774.

This Ordinance No. 39-8-07 is an amendment ("the Amendment") to Ordinance No. 63-8-05 (the "Original PD") amending the Unified Development Ordinance of the City of Noblesville, (the "City") Hamilton County, Indiana enacted by the City under authority of Chapter 174 of the Acts of the Indiana General Assembly 1947, as amended.

Whereas, City's Plan Commission (the "Commission") has conducted a hearing as required by law in regard to the application for approval of a text amendment to the Original PD filed by the Hamilton Town Center, LLC; and,

Whereas the Commission has sent to the Common Council its favorable recommendation by a vote of 9 ayes and 1 nay at the Commission's August 20, 2007 hearing.

Now, therefore, be it ordained by the Common Council, meeting in regular session, that the Original PD is hereby amended to replace Exhibit 9 of the Original PD with "Exhibit 9 Signage Provisions" attached hereto and incorporated herein by reference, and the Original PD, as hereby amended, shall remain in full force and effect.

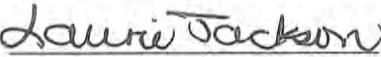
This Amendment shall be full force and effect from and upon its adoption in accordance with the law. Adopted this 11<sup>th</sup> day of September, 2007 by the Common Council of the City of Noblesville, Hamilton County, Indiana.

COMMON COUNCIL, CITY OF NOBLESVILLE

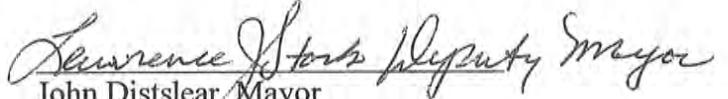
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AYE

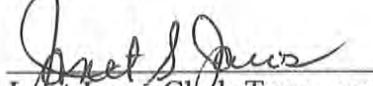
NAY

	Brian Ayer	_____
	Mary Sue Rowland	_____
	Terry Busby	_____
	Alan Hinds	_____
_____	Dale Snelling	_____
	Kathie Stretch	_____
	Laurie Jackson	_____

APPROVED and signed by the Mayor of the City of Noblesville, Hamilton County, Indiana, this 11<sup>th</sup> day of September, 2007

  
John Distlear, Mayor  
City of Noblesville, Indiana

ATTEST:

  
Janet Jaros, Clerk-Treasurer  
City of Noblesville, Indiana

Prepared by: Charles D. Frankenberger, Nelson and Frankenberger, Attorneys at Law, 3105 E. 98<sup>th</sup> Street, Suite 170, Indianapolis, IN 46280 (317) 844-0106

Pursuant to IC 36-2-11-15(b)(2), I affirm under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law – Charles D. Frankenberger.

11/15/07 11:00 AM

## EXHIBIT 9 SIGN PROVISIONS

### Section 1. General Provisions

- A. Materials – Signs shall be fabricated of high quality, durable materials. Signs may utilize PK Housing or other UL approved assemblies.
- B. Illumination – The following definitions pertain to illumination:
1. Halo-lit – Signs which are halo-lit are signs in which the letters and logo are unlit, but the background is lit (“Halo-Lit”);
  2. Externally Illuminated – Externally illuminated signs are signs which are illuminated from a source which is external and not internal to the sign (“Externally Illuminated”); or,
  3. Internally Illuminated – Internally illuminated signs are signs which have (i) internally illuminated, individually-mounted channel letters and logo or (ii) an internally illuminated box (“Internally Illuminated”).

Unless otherwise specified in this Exhibit 9, signs which are attached to buildings and which identify users occupying less than 10,000 square feet shall be Halo-Lit or Externally Illuminated. Unless otherwise specified in this Exhibit 9, and subject to Section 3(B)(5) below, all signs which are not physically attached to buildings, and signs which are attached to buildings and which identify users occupying more than 10,000 square feet may be Halo-Lit, Externally Illuminated, or Internally illuminated. The Controlling Developer or User may elect to not illuminate any sign.

- C. Content - Unless otherwise subsequently limited or expanded in this Exhibit 9, all signage shall be permitted to identify the Hamilton Town Center (the “HTC”), Users, User logos or other insignias, products, services, and events.
- D. Measurement - The area of the sign shall be computed to include the area within a combination of the smallest regular geometric forms together containing the copy and logo of the sign. Maximum sign areas subsequently specified in this Exhibit 9 shall be the maximum sign area for each side of a multi-sided sign. For instance, if a maximum sign area of 50 square feet is specified for a double-sided sign, then each side of the double sided sign shall be permitted to be up to 50 square feet. Frames and structures, including decorative, colored and lit backgrounds, not containing advertising matter shall not be included in the computation of the sign area.

- E. Movement Restrictions – Unless otherwise specified in this Exhibit 9, no sign external to any building, or internal to any building but within four (4) feet of a window, shall employ any parts or elements which revolve, rotate, whirl, spin, flash, or otherwise make use of motion to attract attention. Ribbons, streamers, spinners, strings of light, air balloons and other similar devices for purposes of advertising or attracting attention are prohibited.
- F. Color - The logo and face color of signs are unrestricted, but garish colors are discouraged.
- G. Prohibited Signs – Outside of any building, or interior to any building but within four (4) feet of any window, the following are prohibited:
  - 1. Noise-making devices and components associated with signage;
  - 2. Roof-top signage;
  - 3. Signs containing exposed bulbs;
  - 4. Luminous vacuum-form type plastic letters and panels; and
  - 5. Cabinet-type store front signs; and
- H. Controlling Developer – Prior to the submittal of any application for a sign permit, all signage shall be reviewed and approved by the Controlling Developer.

Section 2. Master Signage Plan – The “Master Signage Plan” is attached hereto and incorporated herein by reference as Exhibit 1 in two parts. Part A of Exhibit 1 characterizes buildings for purposes of determining the applicable Primary Building Sign provisions, and Part B of Exhibit 1 shows the approximate location of Primary Ground Signs and Wall Scape Signs. Because the actual size and location of buildings, and the configuration of internal streets, may change as site plans for different portions of the Property are finalized, the Master Signage Plan is conceptual only, and is intended only to illustrate the approximate location of signage. The exact location of signage will be adjusted by the Controlling Developer to respond to revisions in actual site plans.

Section 3. Sign Types and Illustrations – The following sign types are allowed in the HTC. Any identified corresponding illustrations are examples of what are permitted, and the actual signs may differ so long as they comply with the written requirements of the Exhibit 9:

- A. Primary Building Signs – The following are the Primary Building Signs (the “Primary Building Signs”) for the HTC, and are permitted in addition to (i) any allowed Primary Ground Signs specified in Section 3(B) below and (ii) any Other Permitted Signs specified in Section 3(C) below.

1. Signs for Single User Occupying More than 10,000 square feet–The buildings for which these signs are permitted are identified on Part A of Exhibit 1. The written requirements for these signs are found in Section 4 below, and corresponding illustrations are found in Exhibit 2.
2. Signs for Users in Main Street Buildings –The buildings for which these signs are permitted are identified on Part A of Exhibit 1. The written requirements for these signs are found in Section 4 below, and corresponding illustrations are found in Exhibit 3.
3. Signs for Users in Building Outlots – The buildings for which these signs are permitted are identified on Part A of Exhibit 1. The written requirements for these signs are found in Section 4 below, and corresponding illustrations are found in Exhibit 4.
4. Signs for Users in Buildings Off Main Street – The buildings for which these signs are permitted are identified on Part A of Exhibit 1. The written requirements for these signs are found in Section 4 below.

B. Primary Ground Signs - The following are the Primary Ground Signs (the “Primary Ground Signs”) for the HTC, and are permitted in addition to (i) any allowed Primary Building Signs specified in Section 3(A) above and (ii) any allowed Other Permitted Signs specified in Section 3(C) below.

1. Sign Type G1 - HTC ID Sign – The approximate locations for these signs are identified on Part B of Exhibit 1. The written requirements for these signs are found in Section 5 below, and corresponding illustrations are found in Exhibit 5.
2. Sign Type G2 - HTC ID Sign with User Panels - The approximate locations for these signs are identified on Part B of Exhibit 1. The written requirements for these signs are found in Section 5 below, and corresponding illustrations are found in Exhibit 6.
3. Sign Type G3 - Ground Sign with User Panels - The approximate locations for these signs are identified on Part B of Exhibit 1. The written requirements for these signs are found in Section 5 below, and corresponding illustrations are found in Exhibit 7.
4. Sign Type G4 - Out Parcel User Sign - The approximate locations for these signs are identified on Part B of Exhibit 1. The written requirements for these signs are found in Section

5 below, and corresponding illustrations are found in Exhibit 8.

5. Sign Type G5 – Electronic Changeable Message Sign - The approximate locations for this sign is identified on Part B of Exhibit 1. The written requirements for these signs are found in Section 5 below, and corresponding illustrations are found in Exhibit 9. The supporting, vertical column of this sign may be brick or simulated brick. This sign may be Halo-lit, Externally Illuminative, Internally Illuminated, or illuminated in any other manner acceptable to the Controlling Developer in the Controlling Developer's discretion. For this sign there are no restrictions pertaining to illumination, movement, changing of messages or copy, transition of messages or copy, flashing of messages or copy, or fading of messages or copy.

C. Other Permitted Signs - The following are the Other Permitted Signs (the "Other Permitted Signs") for the HTC, and are permitted in addition to (i) any allowed Primary Building Signs specified in Section 3(A) above and (ii) any allowed Primary Ground Signs specified in Section 3(B) above.

1. Wallscape Signs on Buildings - The written requirements for these signs are found in Section 6 below, and corresponding illustrations are found in Exhibit 10.
2. Awning Signs - The written requirements for these signs are found in Section 6 below, and corresponding illustrations are found in Exhibit 11.
3. Window Signs - The written requirements for these signs are found in Section 6 below.
4. Blade Signs - The written requirements for these signs are found in Section 6 below, and corresponding illustrations are found in Exhibit 12.
5. Pedestrian Directories - The written requirements for these signs are found in Section 6 below, and corresponding illustrations are found in Exhibit 13.
6. Rear Door Service Area Signs - The written requirements for these signs are found in Section 6 below, and corresponding illustrations are found in Exhibit 14.
7. Site Vehicular Directional Signs - The written requirements for these signs are found in Section 6 below, and corresponding illustrations are found in Exhibit 15.

8. Kiosk Signs - The written requirements for these signs are found in Section 6 below.
9. Inset Banners – The written requirements for these signs are found in Section 6 below, and corresponding illustrations are found in Exhibit 2.
10. Light Pole Banners – The written requirements for these signs are found in Section 6 below.
11. Miscellaneous Signs - The written requirements for these signs are found in Section 6 below.

## SECTION 4 PRIMARY BUILDING SIGNS

	Users occupying more than 10,000 Square Feet	Main Street Buildings Users	Building Outlots Users	Buildings Off Main Street Users
Location of Buildings	See Master Signage Plan – Exhibit 1 Part A	See Master Signage Plan – Exhibit 1 Part A	See Master Signage Plan – Exhibit 1 Part A. The provisions specified below and elsewhere in this Exhibit 9 replace and supersede any provisions pertaining to signage found in Exhibit 10 of the HTC Ordinance.	See Master Signage Plan – Exhibit 1 Part A
Maximum Number of Signs	One (1) sign for each elevation on which a customer entrance exists and for each elevation facing a parking area; provided, however, that where a side or rear elevation faces I-69 (including the I-69 ramp) and/or 146 <sup>th</sup> Street and does not have a customer entrance, then one (1) additional sign shall also be permitted for such side or rear elevation.	Two (2) signs on each User’s elevation facing Main Street, two (2) signs on each User’s elevation facing a Main Street intersection, two (2) signs on each User’s elevation facing pedestrian walk ways between Main Street Buildings, and one (1) sign on each User’s elevation facing a parking area directly or at an angle.	Three (3) signs per building – one (1) on a side elevation, one (1) sign on either the other side elevation or the rear elevation, and one (1) on the front elevation	Two (2) signs per building – one (1) on a side elevation, and one (1) on the front elevation; provided, however, that where a building has a canopy on the front elevation, a third (3 <sup>rd</sup> ) sign, mounted on the canopy, shall be permitted.
Maximum Sign Area For Each Sign	The maximum sign area shall be 1.5 square feet multiplied by the number of lineal feet of the length of the User’s elevation on which side sign is located. The maximum letter’s height is (i) 84 inches for Users occupying more than 45,000 square feet, (ii) 60 inches for Users occupying more than 20,000 square feet, but less than 45,000 square feet and (iii) 48 inches for users occupying more than 10,000 square feet but less than 20,000 square feet. <sup>2</sup>	The maximum sign area shall be 2.25 sq. ft. multiplied by the number of lineal feet of the length of the User’s elevation on which the sign is located. One (1) sign may be up to 24 inches in height and 75% of the User’s store front in length, and the other signs may be up to 18 inches in height and 33% of the User’s storefront in length.	The maximum sign area shall be 2.25 sq. ft. multiplied by the number of lineal feet of the length of the User’s elevation on which the sign is located. One (1) sign can be up to 24 inches in height and 50% of the User’s store front in length, and the other two (2) signs can be up to 18 inches in height and 33% of the user’s storefront in length.	The maximum sign area shall be 2.25 sq. ft. multiplied by the number of lineal feet of the length of the User’s elevation on which the sign is located. One (1) sign can be up to 30 inches in height and 75% User’s store front in length, and the other sign can be up to 18 inches in height and 33% of the User’s storefront in length.

<sup>1</sup>Where there is also a second, secondary entrance for an accessory use, a sign shall also be allowed above the secondary entrance to identify the accessory use. For example, see “Seattle’s Best” sign on Borders building under Tab 2.

<sup>2</sup>If a sign utilizes a taller letter as the first letter of the words in the sign, then such first letter may be an additional twelve (12) inches in height.

SECTION 5  
PRIMARY GROUND SIGNS

	HTC ID Signs – Sign Type G1	HTC ID Signs With Tenant Panels – Sign Type G2	Ground Signs with Tenant Panels – Sign Type G3	Out Parcel User Sign – Sign Type G4	Electronic Changeable Message Sign – Sign Type G5
Location	See Master Signage Plan – Exhibit 1 Part B	See Master Signage Plan – Exhibit 1 Part B	See Master Signage Plan – Exhibit 1 Part B	See Master Signage Plan – Exhibit 1 Part B	See Master Signage Plan – Exhibit 1 Part B
Number	3	1	2	10	1
Maximum Height	20 feet	20 feet	29 feet	5 feet	65 feet
Maximum Sign Area – all Primary Ground Signs are double-sided, and the maximum sign area shall be the maximum sign area for each side of the sign.	60 square feet per side	HTC identification – 50 square feet per side; combined tenant panels – 40 square feet; individual tenant panels – 15 square feet.	Combined tenant panels - 250 square feet per side; individual tenant panel – 1 panel shall be allowed up to 112 square feet, and all other panels shall be allowed up to 23 square feet.	144 square feet per side	250 square feet per side to identify the HTC, and 750 square feet per side to identify (i) Users, and Users’ products, services, and events, (ii) businesses and establishments not located within the HTC, and their products, services, and events, and (iii) community and private events occurring inside or outside of the HTC. In addition, a logo identifying the HTC, located between and separating the 2 primary sides of the sign, and not to exceed 150 square feet, shall be allowed as illustrated on Exhibit 9.

## Section 6. Other Permitted Signs

### A. Wall Scape Signs – Sign Type OP1.

1. Material – Wallscape signs are signs contained in a frame system assemblies.
2. Size – The allowable sign area shall not exceed 63 square feet.
3. Mounting - all signs are to be flush-mounted to the exterior building skin and shall not extend above the façade for 12 inches beyond the building face. The sign within the frame may be changed from time to time without the need to obtain signage permits.
4. Number – Not to exceed nine (9), unless the Director approves more.

### B. Signage on Awnings.

1. Content – Users are allowed signage on awnings installed along their storefront. This signage is intended to be secondary signage to their primary façade sign and is intended to reinforce the User’s identity only. As such, sign content is limited to User’s trade name and logo or other insignias.
2. Materials – Awning signage is to be of a material permanently affixed to the awning fabric or structure; a sign mounted on a hard surface canopy is not an awning sign.
3. Size – Signs contained on an awning shall be limited to eight inches (8”) in height.
4. Illumination – Awnings and their signs shall not be illuminated.

### C. Window Signs.

1. Content - Limited to User’s trade name and logos or other insignias.
2. Materials - All window signage is to be permanently affixed, painted or etched directly on the interior of User’s storefront glass. No advertising placards, pennants or banners shall be affixed or maintained upon the glass pane. No other window signage shall be allowed.
3. Size - Window signage will be limited to an area not greater than five percent (5%) of the overall glass area on which they occur.

4. Illumination - No window signage, including signage inside the storefront within four feet (4') of the storefront, shall be illuminated.

D. Blade Signs.

1. Content – Blade signs are a significant design element in the overall aesthetic image of HTC. Users are encouraged to develop interesting, appropriate and attractive blade signs for their store. Content shall be limited to User's trade name and logos or other insignias which are part of User's logo identification and also the identification of public restrooms, vending areas, ATM areas, administrative offices, etc. Users shall be required to install one (1) blade sign for each building frontage.
2. Materials – Blade signs are to be constructed of metal, wood or other similar appropriate and durable materials.
3. Size – Blade signs may be double-sided; provided, however, that the size of the blade shall not be greater than nine (9) square feet.
4. Mounting – Blade signs are to be mounted perpendicular to the User's storefront and shall be mounted no lower than eight feet (8') above adjacent pedestrian walking surfaces.
5. Illumination – Blade signs may be Halo-lit or Externally illuminated.

E. Pedestrian Directories.

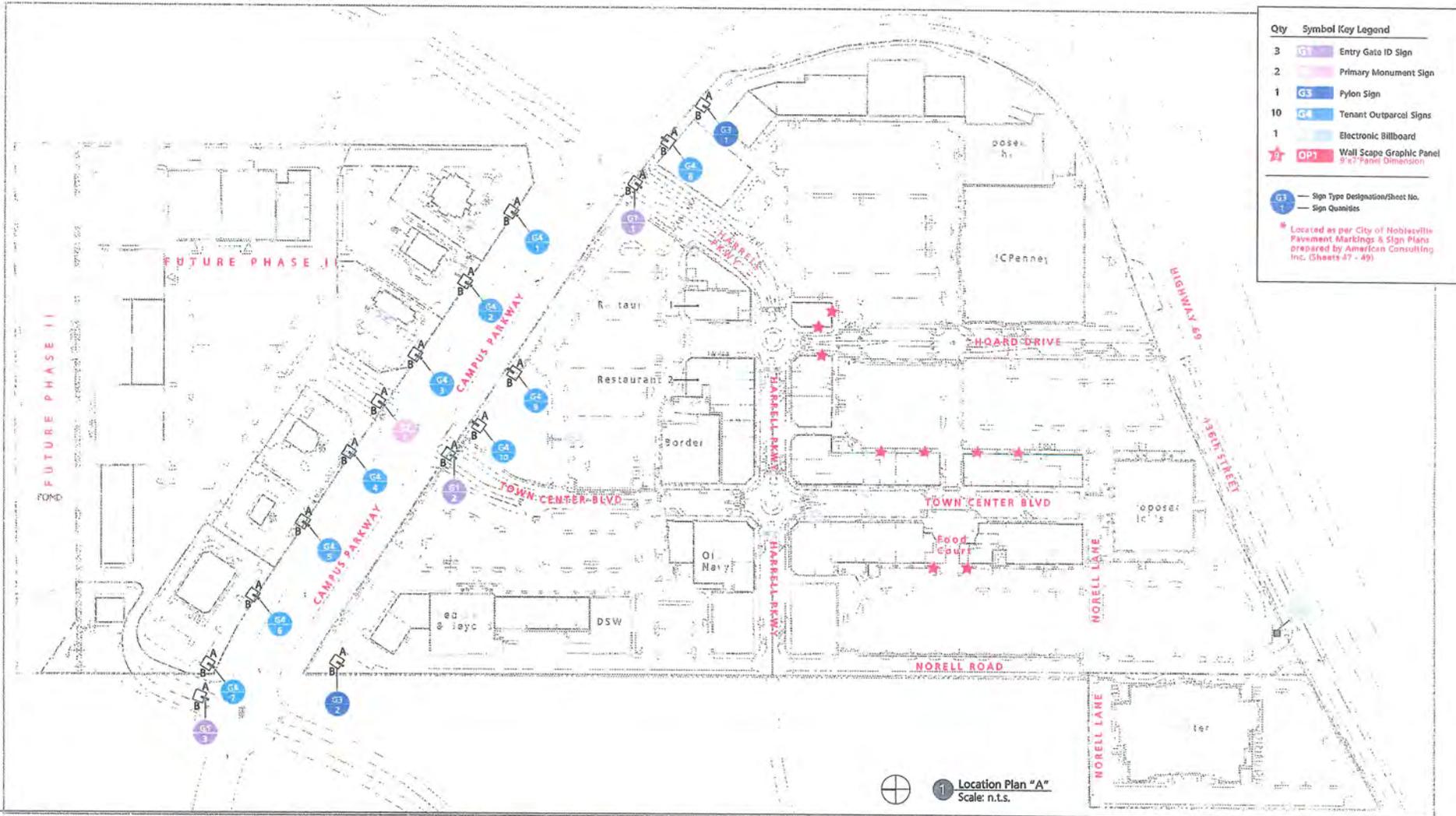
1. Miscellaneous - The Controlling Developer shall develop a directory program for the HTC, which will include the identification of Users and a location map. Advertising panels will be allowed on one (1) side of a two (2) sided sign and on two (2) sides of a triangular (three-sided) sign. In addition, pedestrian directories may be of different geometric shape (cubical or circular), or wall-mounted. The maximum height of the sign shall be ten (10) feet.
2. Location/Numbers – The Pedestrian Directories shall be within sidewalks and pedestrian plazas, at a location determined by the Controlling Director in the Controlling Director's discretion. The number of the Pedestrian Directories signs shall be determined at Controlling Developer's sole discretion. The number and location of the Pedestrian Directories signs may be changed from time to time, based on need.

F. Rear Door/Service Area Signs.

1. Content – Limited to User's trade name and address on a uniform design plaque.

2. Material – Signs are to consist of vinyl lettering.
  3. Size – Signs are limited to 4” in height.
  4. Mounting – Signs are to be mounted beside User’s rear door. In addition, similar signage may be posted at each loading zone to indicate which Users that are served by such a loading zone.
  5. Illumination – Signs are to be non-illuminated; provided, however, that the service door may be Externally illuminated from above the door.
- G. Site Vehicular Directional Signage.
1. Content – Locations and services within HTC, such as “Valet Parking”, as well as identity of Users in excess of 10,000 square feet.
  2. Size – Height shall not exceed eight (8) feet.
  3. Number and Location – The number and location of these signs shall be determined by the Controlling Developer in the Controlling Developer’s discretion.
- H. User Cart and Kiosk Signage. - Signage for User’s Carts and Kiosks shall be mounted on the units at locations designated for signage by the Controlling Developer, and lettering shall not exceed twelve (12) inches in height.
- I. Inset Banners. The northern elevation of the building located at the southern end of Main Street shall be permitted to display up to four (4) banners, and the eastern elevation of the building located at the southern end of Main Street shall be permitted to display up to four (4) banners. Each banner shall be permitted to be up to thirty (30) feet in height and ten (10) feet in width, and shall be permitted to identify Users, brand names and products sold throughout the HTC. The banners shall be slightly inset and may be Halo Lit, Externally Illuminated, or Internally Illuminated.
- J. Light Pole Banners. Banners, not to exceed fifteen (15) square feet, shall be permitted on ornamental light poles. Banners shall not be illuminated, and shall be permitted to identify Users, products, and events within the Hamilton Town Center.
- K. Miscellaneous Signs. These shall include miscellaneous and incidental signage that will be provided by the Controlling Developer, including but not limited to public destinations, restrooms, mall offices, and vending.

# EXHIBIT 1



Qty	Symbol	Key Legend
3		Entry Gate ID Sign
2		Primary Monument Sign
1		Pylon Sign
10		Tenant Outparcel Signs
1		Electronic Billboard
1		Wall Scope Graphic Panel 8' x 7' Panel Orientation
 Sign Type Designation/Sheet No. Sign Quantities		
* Located as per City of Noblesville Pavement Markings & Sign Plans prepared by American Consulting Inc. (Sheets 47 - 49)		

1 Location Plan "A"  
Scale: n.t.s.



# Hamilton Town Center





**Signage Legend**

- 1. Main St - 1 Building
- 2. Building Outlets
- 3. Main Street and Adjacent Walkways
- 4. Building Outlets

PROPOSED:

**GERSHMAN BROWN ASSOCIATES, INC.**

225 W. Washington Street  
Indianapolis, IN 46204  
(317) 636-1600

**SIMON**<sup>®</sup>

225 W. Washington Street  
Indianapolis, IN 46204  
(317) 636-1600

PROJECT: **HAMILTON TOWN CENTER**

LOCATION: **NOBLESVILLE INDIANA**

EXHIBIT: **SIGNAGE EXHIBIT**

DATE: 06/22/2009

SCALE: 1" = 25' - 0"

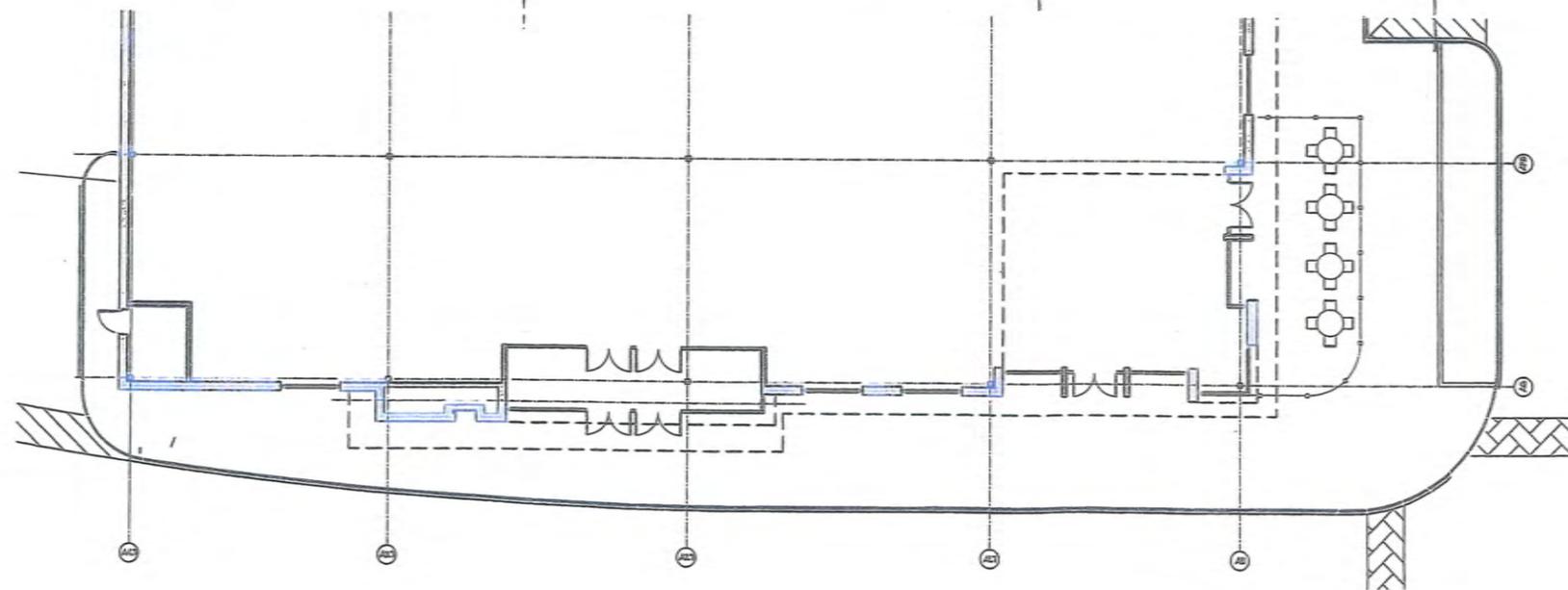
NO. 4812 EXHIBIT NO. EX-S

## EXHIBIT 2



OLD NAVY





Architecture Planning Interiors Environmental Graphics

DORSKY HODGSON PARRISH YUE  
CLEVELAND FORT LAUDERDALE WASHINGTON DC

PROJECT NO. 2001072

06.04.07

# Hamilton Town Center

Noblesville, IN

SIMON

GERSHMAN  
BRUNNEN  
ASSOCIATES, INC.

Borders Perspective/Plan

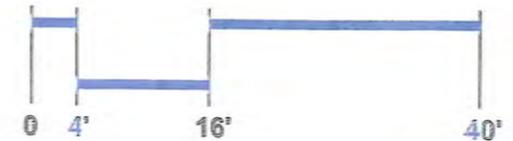
# Borders Elevations



North Elevation



West Elevation




  
 DORSKY HODGSON PARRISH YUE  
 ARCHITECTS  
 1000 E. BROADWAY, SUITE 200  
 DENVER, CO 80202

Hamilton Town Center  
 Noblesville, IN

SIMON  
 GERSHMAN  
 BRUNNEN  
 ASSOCIATES, INC.

PROJECT NO. 000001 00.00.00

Borders Elevations

## EXHIBIT 3



LOUIS VUITTON

LOUIS VUITTON

LOUIS VUITTON

LOUIS VUITTON

BOULVARD





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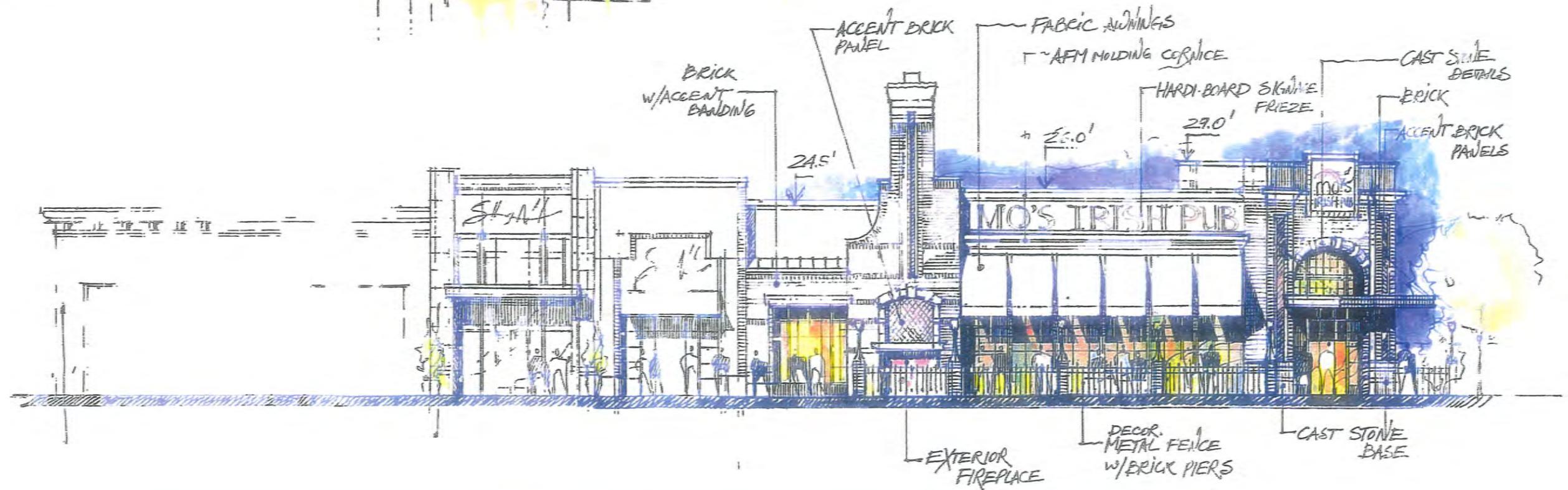


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DORSKY HODGSON PARRISH YUE  
AND FOR AUD BDA.F AS HG'D DC

# Hamilton Town Center

Noblesville, IN

SIMON

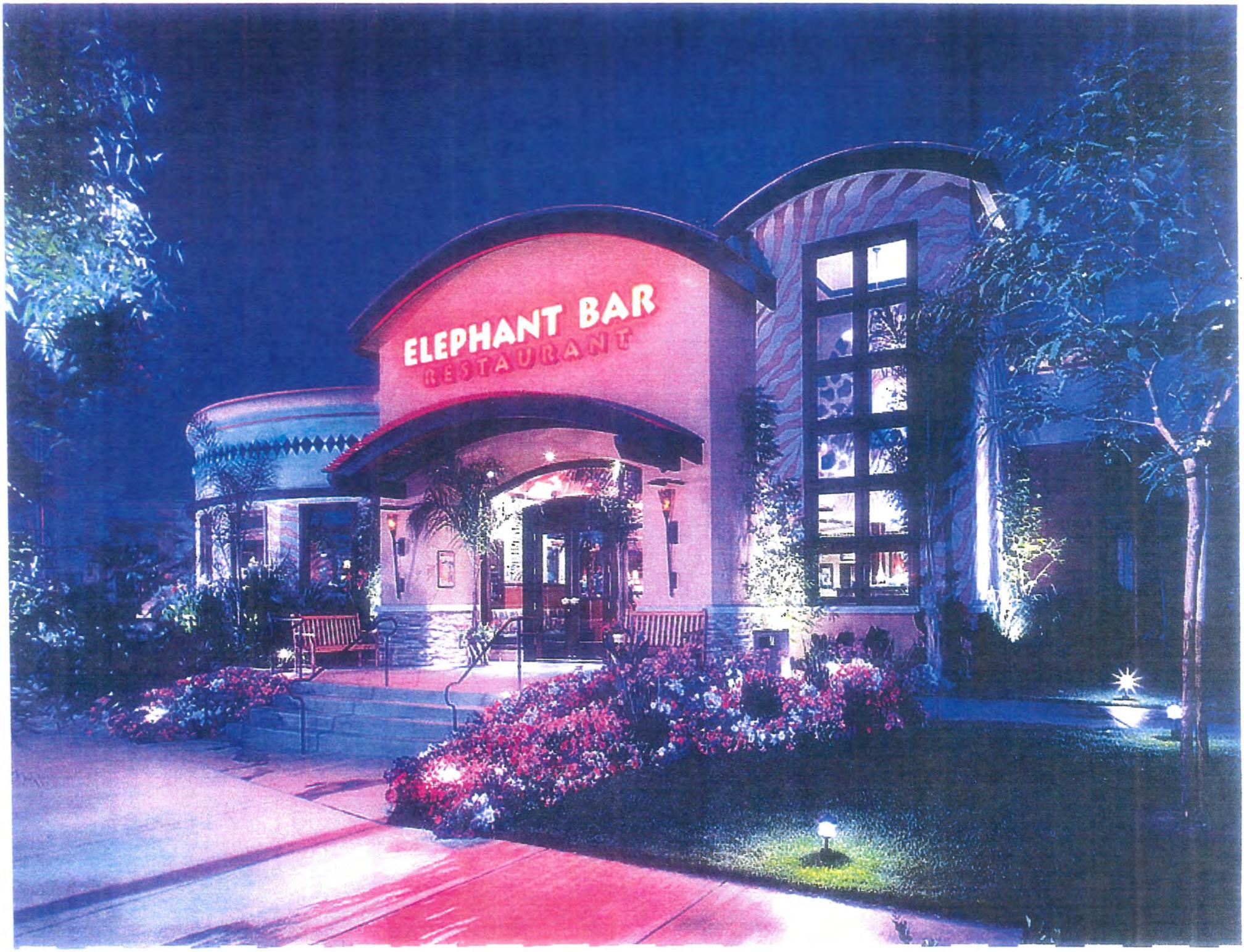
GERSHMAN  
BRWN  
ASSOCIATES, INC

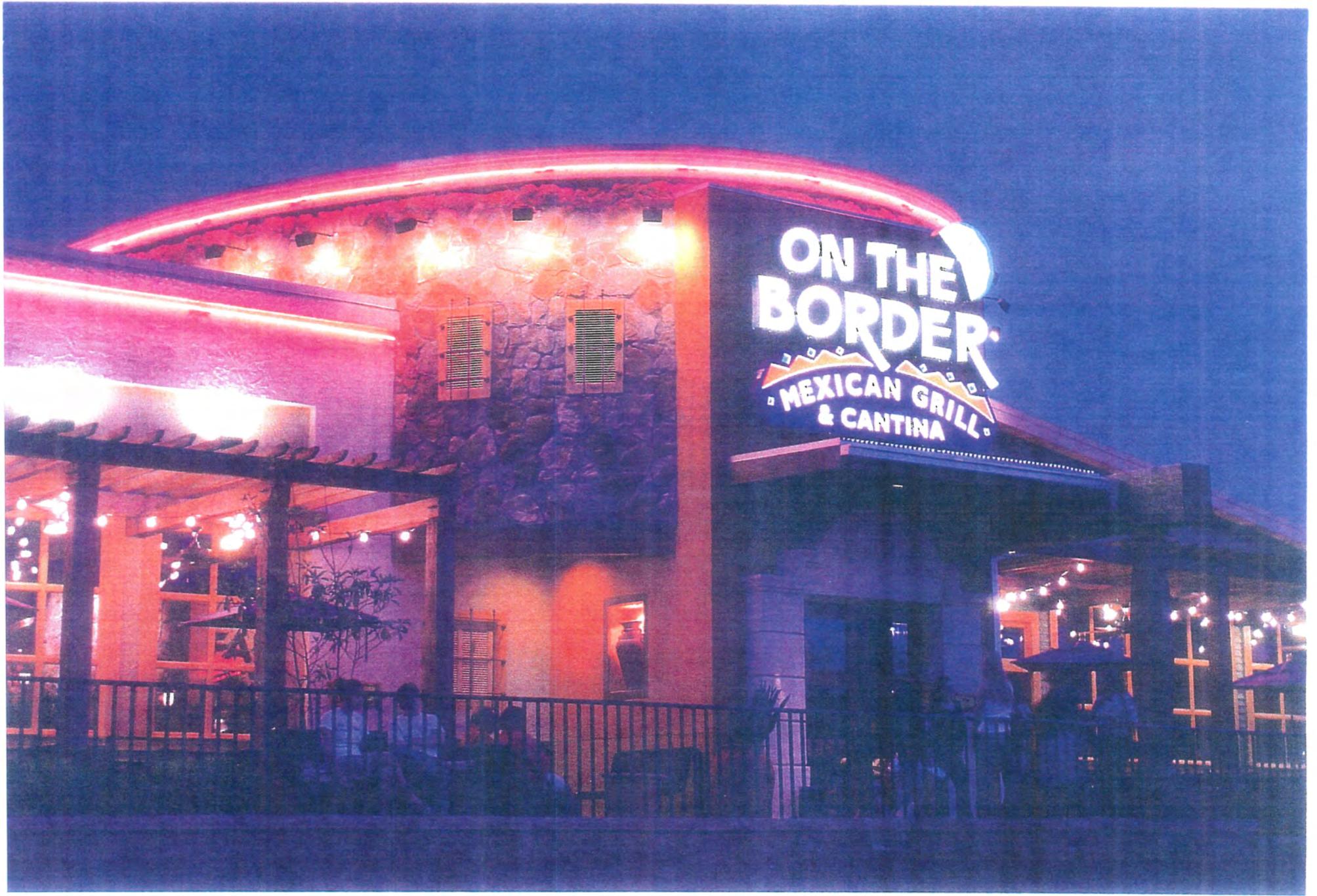
PROJECT NO. 1000000 03.01.01

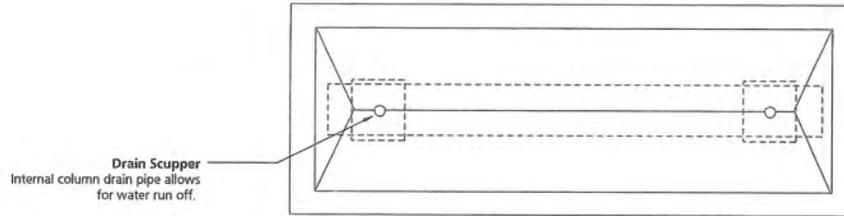
Mo's Irish Pub

# EXHIBIT 4

**ELEPHANT BAR**  
**RESTAUBANT**

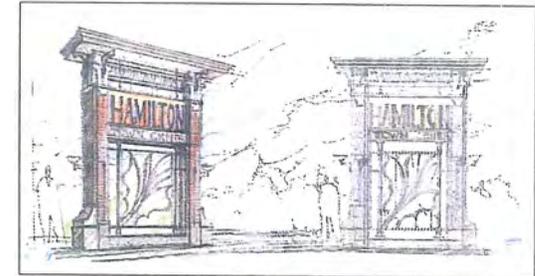




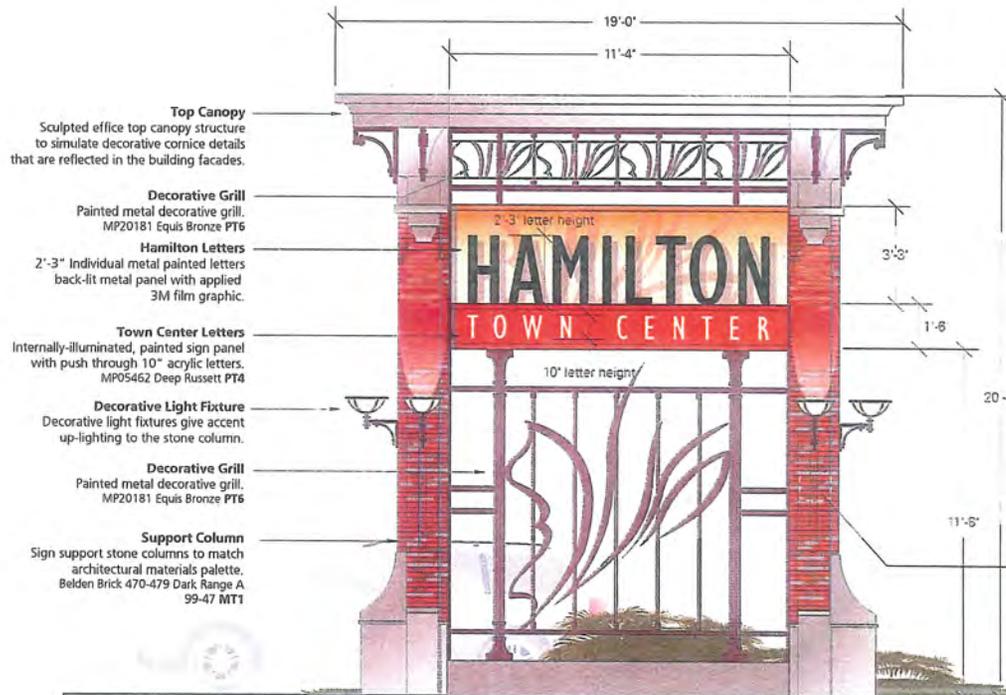


**Drain Scupper**  
Internal column drain pipe allows for water run off.

1 Plan-Entry Gateway ID Sign  
Scale: 1/4"=1'-0"



2 Perspective Sketch  
Scale: NTS



**Top Canopy**  
Sculpted effice top canopy structure to simulate decorative cornice details that are reflected in the building facades.

**Decorative Grill**  
Painted metal decorative grill.  
MP20181 Equis Bronze PT6

**Hamilton Letters**  
2'-3" Individual metal painted letters back-lit metal panel with applied 3M film graphic.

**Town Center Letters**  
Internally-illuminated, painted sign panel with push through 10" acrylic letters.  
MP05462 Deep Russett PT4

**Decorative Light Fixture**  
Decorative light fixtures give accent up-lighting to the stone column.

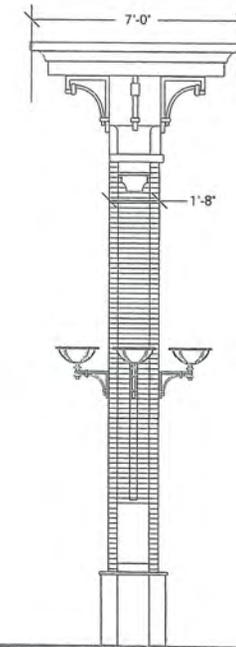
**Decorative Grill**  
Painted metal decorative grill.  
MP20181 Equis Bronze PT6

**Support Column**  
Sign support stone columns to match architectural materials palette.  
Belden Brick 470-479 Dark Range A 99-47 MT1



Belden Brick  
470-479 Dark Range A  
99-47 MT1

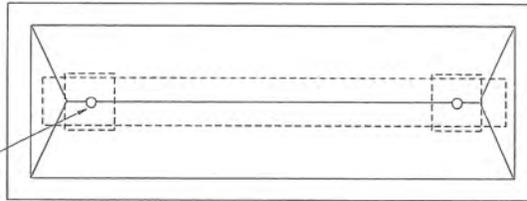
1 Elevation-Entry Gateway ID Sign  
Scale: 1/4"=1'-0"



2 Profile-Entry Gateway ID Sign  
Scale: 1/4"=1'-0"

# EXHIBIT 6

**Drain Scupper**  
Internal column drain pipe allows for water run off.



3 Plan-Primary Mon Sign  
Scale: 1/4" = 1'-0"

**Top Canopy**  
Sculpted effice top canopy structure to simulate decorative cornice details that are reflected in the building facades.

**Decorative Grill**  
Painted metal decorative grill.  
MP20181 Equis Bronze PT6

**Hamilton Letters**  
2'-3" individual metal painted letters back-lit metal panel with applied 3M film graphic.

**Town Center Letters**  
Internally-illuminated, painted sign panel with push through 10" acrylic letters.  
MP05462 Deep Russett PT4

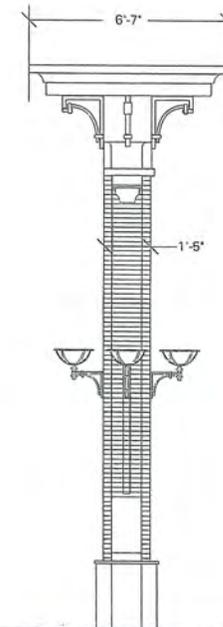
**Decorative Light Fixture**  
Decorative light fixtures give accent up-lighting to the stone column.

**Tenant Sign Panel**  
Internally-illuminated, painted metal sign panels with semi-transparent push through acrylic letters.  
MP20138 Old Gold PT5

**Support Column**  
Sign support stone columns to match architectural materials palette.  
Belden Brick 470-479 Dark Range A 99-47 MT1



1 Elevation-Primary Mon Sign  
Scale: 1/4" = 1'-0"

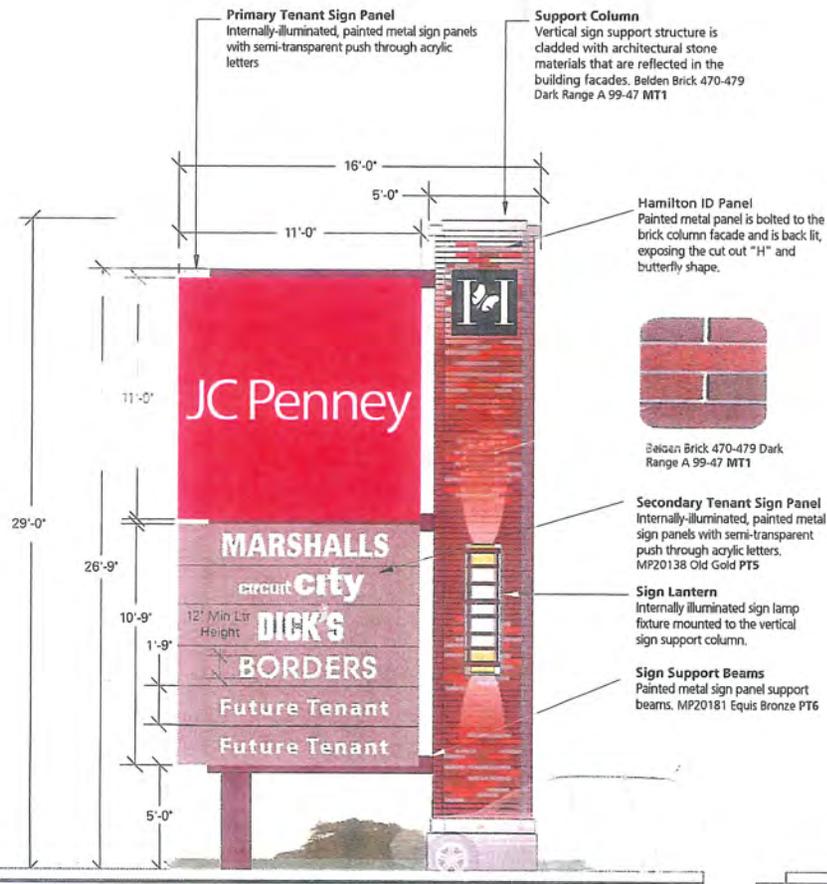


2 Profile-Primary Mon Sign  
Scale: 1/4" = 1'-0"

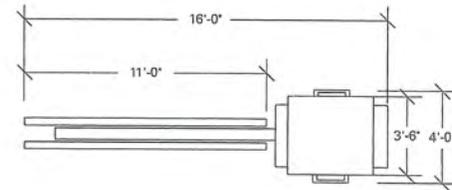


Belden Brick  
470-479 Dark Range A  
99-47 MT1

**EXHIBIT 7**



1 Elevation - Pylon Sign A  
Scale: 3/16"=1'-0"



2 Plan - Pylon Sign B  
Scale: 3/16"=1'-0"

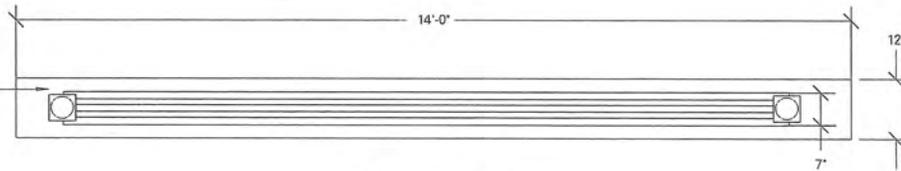


2 Elevation - Pylon Sign B  
Scale: 3/16"=1'-0"

2 Profile - Pylon Sign B  
Scale: 3/16"=1'-0"

# EXHIBIT 8

**Landscaping Pad**  
Concrete landscape pad base is flush with the ground level.



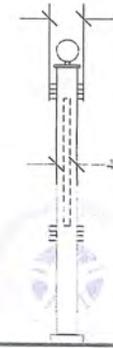
3 Plan-Outparcel Sign  
Scale: 1/2" = 1'-0"

**Sign Panel**  
Double-sided, internally-illuminated, painted metal sign panel with push through acrylic uniform tenant letters.  
MP20181 Equis Bronze PT6

**Sign Posts**  
Painted metal 4"x4" vertical support posts.  
MP20138 Old Gold PT5

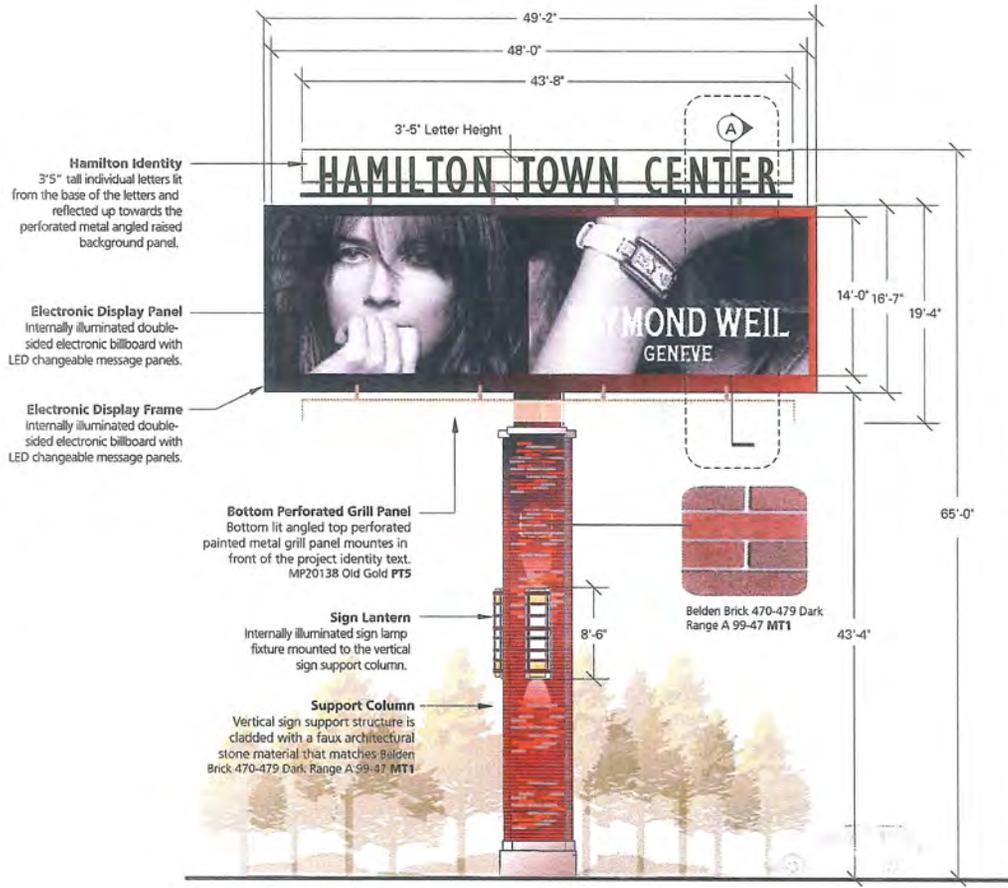


1 Elevation-Outparcel Sign  
Scale: 1/2" = 1'-0"

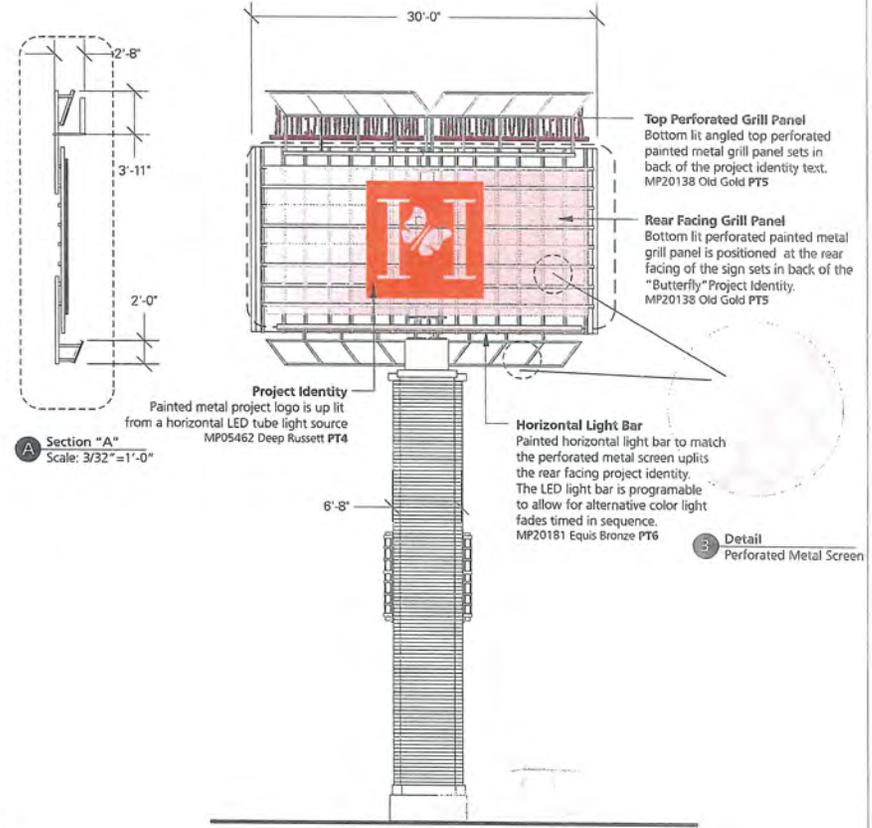


2 Profile-Outparcel Sign  
Scale: 1/2" = 1'-0"





1 Elevation -Front  
Scale: 3/32"=1'-0"



2 Elevation-Rear  
Scale: 3/32"=1'-0"

## EXHIBIT 9

**EXHIBIT 10**

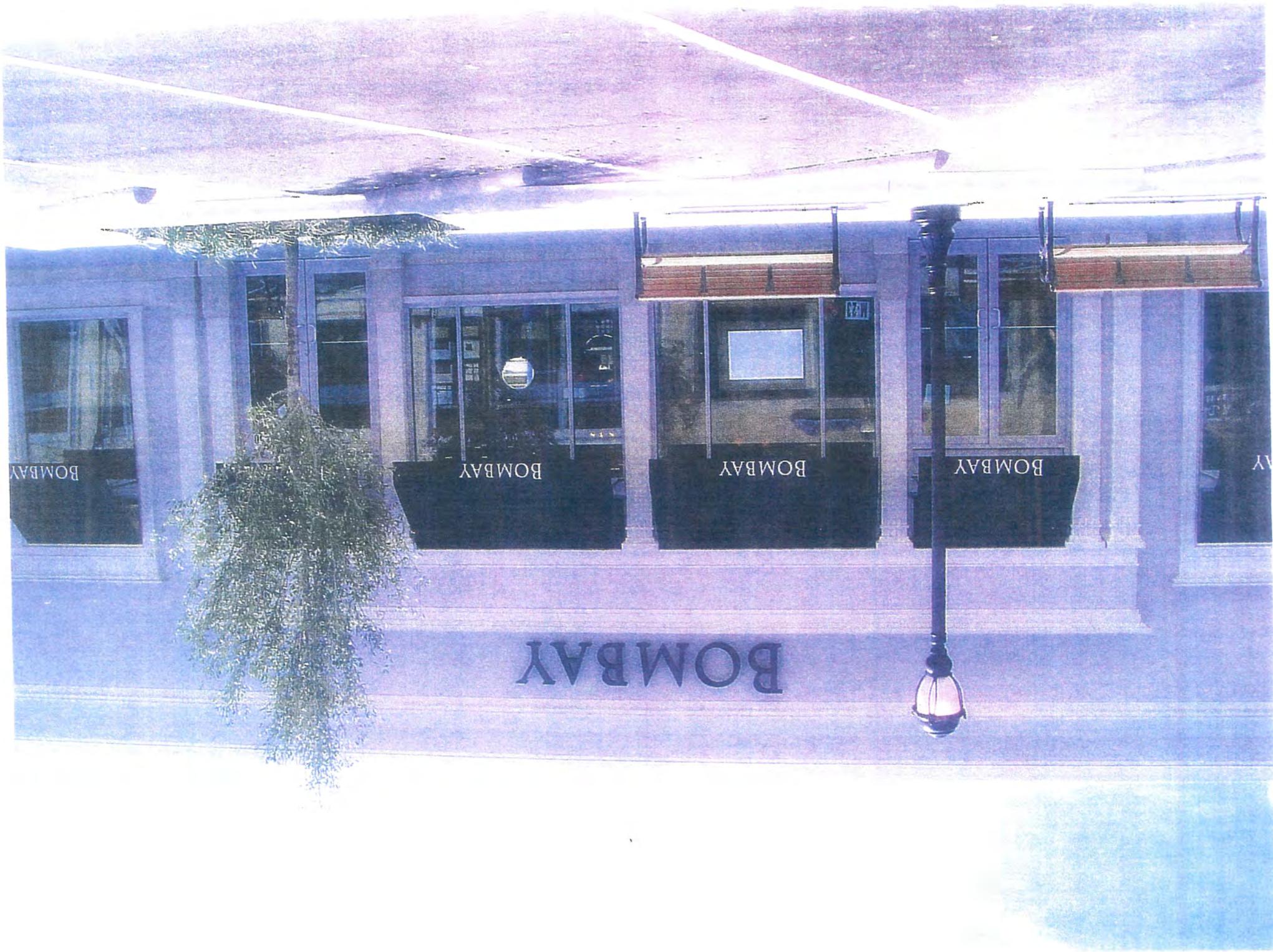


# Hamilton Town Center

North Main Street, TN



EXHIBIT 11



BOMBAY

BOMBAY

BOMBAY

BOMBAY

AY

BOMBAY

## EXHIBIT 12

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ALDO

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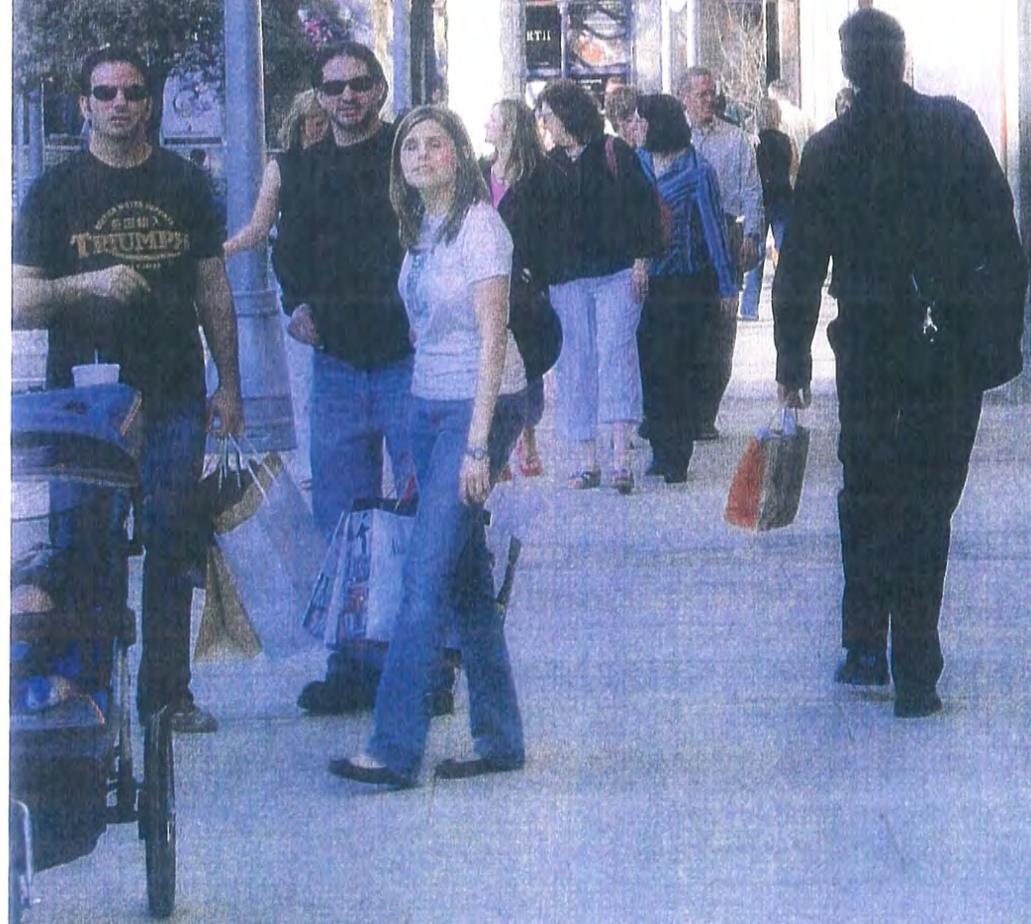
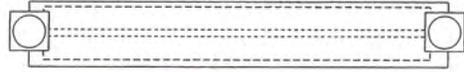


EXHIBIT 13



4 Plan  
Scale: 3/4"=1'-0"

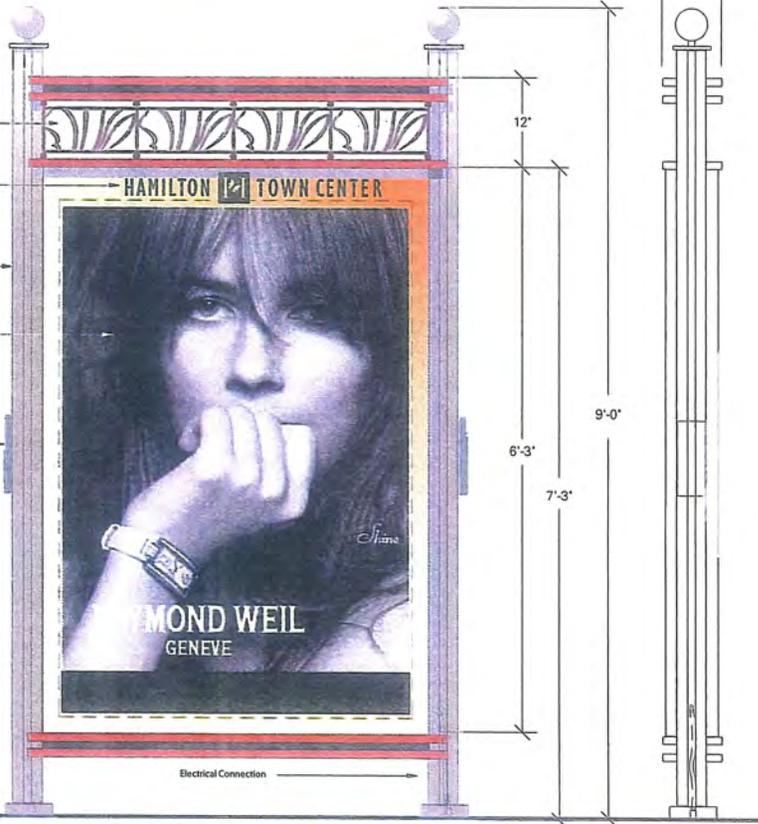
**Decorative Grill**  
Painted metal cut out decorative metal grill pattern. MP20181 Equis Bronze PT6

**Hamilton Letters**  
Non-illuminated individual letters flush mounted to the background metal panel.

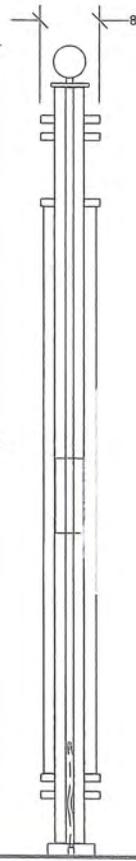
**Sign Posts**  
Painted metal 4"x4" vertical support post and sign panel. MP20138 Old Gold PT5

**Directory Panel**  
Double sided internally-illuminated sign cabinet. One side with directory map and one side with an advertising promotional panel.

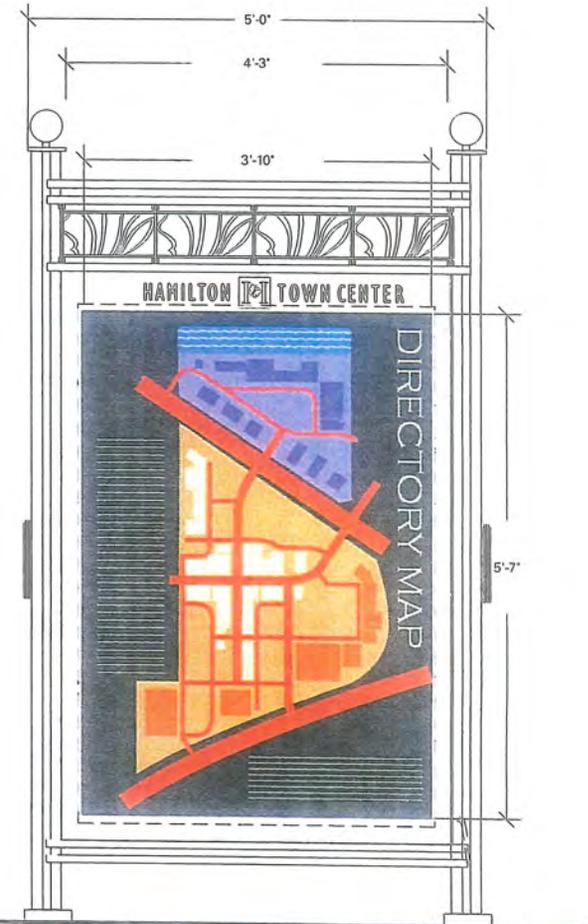
**Advertising brochure holder**



1 Elevation-Side B Advertising  
Scale: 3/4"=1'-0"



2 Profile  
Scale: 3/4"=1'-0"

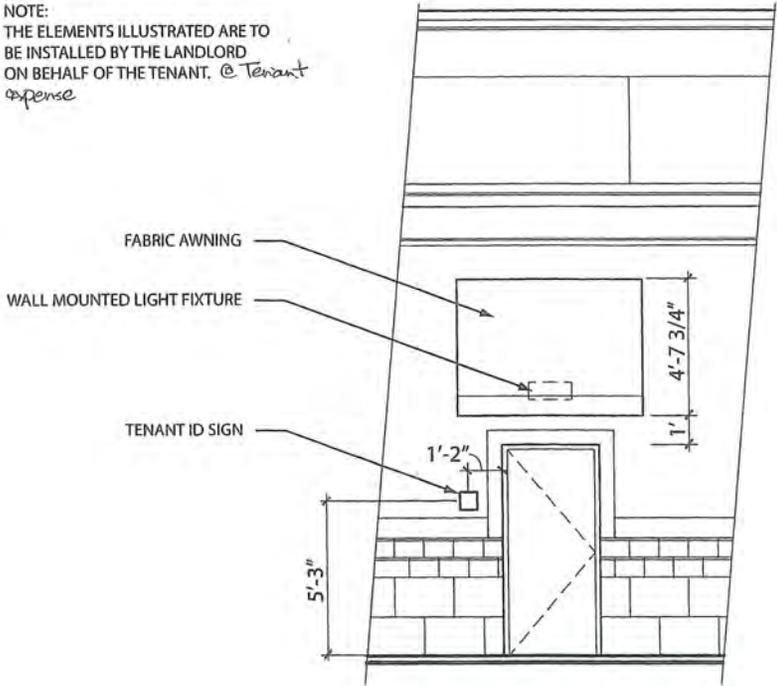


3 Elevation-Side A Directory Map  
Scale: 3/4"=1'-0"

# EXHIBIT 14

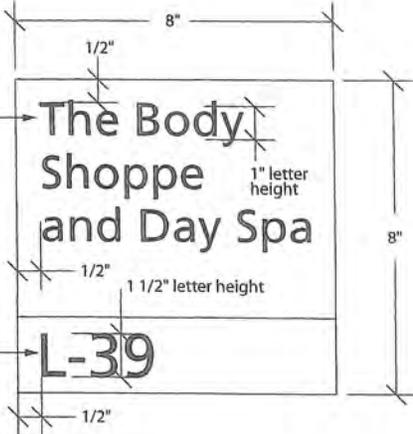
SERVICE ENTRANCE MODEL

NOTE:  
THE ELEMENTS ILLUSTRATED ARE TO  
BE INSTALLED BY THE LANDLORD  
ON BEHALF OF THE TENANT. @ Tenant  
expense



**Tenant Name**  
The tenant name is applied  
3M vinyl letters to a painted  
metal panel. The text font  
is Fruitger Roman caps  
and lower case.

**Tenant Suite Number**  
The tenant suite number is an  
applied 3M vinyl letters to  
a painted metal panel. The text  
font is Fruitger Roman caps.

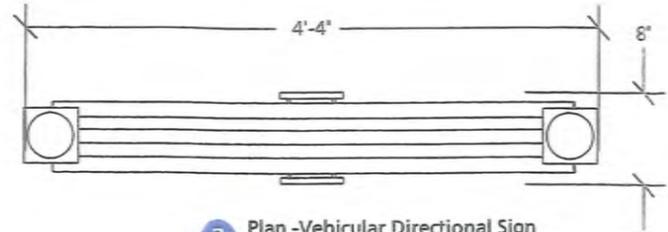


Scale: 3"=1'-0"

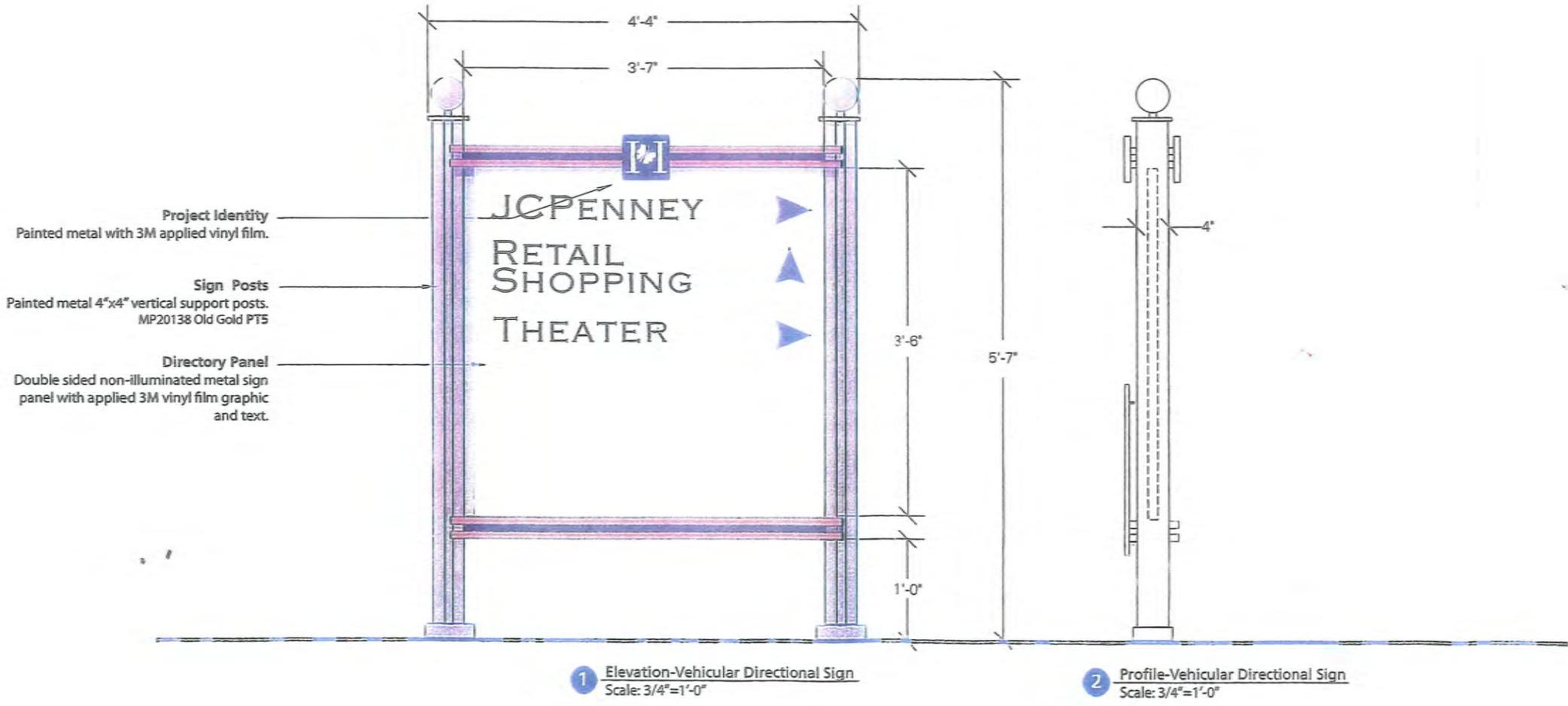
ELEVATION

**Hamilton Town Center**  
Hamilton, Indiana

EXHIBIT 15



3 Plan -Vehicular Directional Sign  
Scale: 3/4"=1'-0"



- Project Identity  
Painted metal with 3M applied vinyl film.
- Sign Posts  
Painted metal 4"x4" vertical support posts.  
MP20138 Old Gold PTS
- Directory Panel  
Double sided non-illuminated metal sign panel with applied 3M vinyl film graphic and text.

1 Elevation-Vehicular Directional Sign  
Scale: 3/4"=1'-0"

2 Profile-Vehicular Directional Sign  
Scale: 3/4"=1'-0"