

2010017733 ORDINANCE \$20.00
04/26/2010 10:58:40A 4 PGS
Jennifer J Hayden
HAMILTON County Recorder IN
Recorded as Presented

15.00
④
2.0010NC

ORDINANCE NO. 8-3-10

AN ORDINANCE TO AMEND THE DRUMMOND INDUSTRIAL PARK PLANNED DEVELOPMENT AND THE UNIFIED DEVELOPMENT ORDINANCE NO. 62-12-95 AND ALL AMENDMENTS THERETO, A PART OF THE COMPREHENSIVE MASTER PLAN OF THE CITY OF NOBLESVILLE, HAMILTON COUNTY, INDIANA

Document Cross-Reference No: 2001-28855 and 2009-51054

An ordinance to amend the Unified Development Ordinance for the City of Noblesville and the Drummond Industrial Park Planned Development, Hamilton County, Indiana, enacted by the City of Noblesville under authority of Chapter 174 of the Acts of the General Assembly 1947, as amended.

WHEREAS, the Plan Commission of the City of Noblesville has conducted a public hearing on Application #10N-15-0112 as required by law concerning an application for an amendment to the planned development ordinance for property owned by Drummond Realty, LLC and Drummond Realty II, LLC and

WHEREAS, the Plan Commission at their March 15, 2010 meeting has sent its FAVORABLE recommendation to the Noblesville Common Council in the manner by a vote of 9 ayes and 0 nays; and

NOW, THEREFORE, BE IT ORDAINED by the Common Council of the City of Noblesville, Hamilton County, Indiana, that the Unified Development Ordinance and the Drummond Industrial Planned Development are hereby amended as follows:

Section 1. The subject real estate is described per Exhibit A and located south of Greenfield Avenue and West of Summer Road is within the zoning jurisdiction of the City of Noblesville, Hamilton County, Indiana, and

Section 2. Whereas, the owners Drummond Realty LLC, Drummond Realty II, LLC, and applicant Verizon Wireless are requesting an amendment to permit the location of a monopole wireless communication facility with adjacent equipment building located on said real estate. The height of the monopole shall not exceed 185-feet. That signage on the structure shall be that which is required by the Federal Communication Commission (FCC), all as per Exhibit B. Said location of the wireless communication facility (monopole structure) shall be a permitted use in the B/PD (Business Planned Development) as adopted by Hamilton County, Indiana adhering to the adopted requirements for the I1 Light Industrial Zoning District for the City of Noblesville, Hamilton County, Indiana

Section 3. Unless a development standard, specification, guideline, and/or requirement contained in the Unified Development Ordinance is varied, altered, or modified by this ordinance and/or exhibits, then such development standard, specification, guideline, and/or requirement as specified in the Unified Development Ordinance shall apply.

Section 4. This Ordinance shall be in full force and effect from and upon its adoption and publication in accordance with the law.

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Section 5.

Upon motion duly made and seconded; this Ordinance was fully passed by the

members of the Common Council this 13th day of April, 2010.

COMMON COUNCIL

AYE

NAY

[Signature]
[Signature]
[Signature]
[Signature]
[Signature]
[Signature]

Roy Johnson _____
 Dale Snelling _____
 Brian Ayer _____
 Mark Boice _____
 Gregory P. O'Connor _____
 Mary Sue Rowland _____
 Stephen C. Wood _____

Approved and signed by the Mayor of the City of Noblesville, Hamilton County, Indiana, this

13th day of April, 2010.

[Signature]
 John Ditslear, Mayor
 City of Noblesville, Indiana

ATTEST:

[Signature]
 Janet Jaros, Clerk-Treasurer

Exhibits are on file and may be viewed in the City of Noblesville Clerk-Treasurer's Office.

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law.

Joyceann Yelton
 Printed Name of Declarant

Prepared by: Joyceann Yelton, Senior Planner, City of Noblesville, 16 South 10th Street, Noblesville, IN 46060 (317) 776-6325

DESCRIPTION OF PARENT TRACT

Recorded as Document # 199909966143 in the Office of the Recorder Hamilton County, State of Indiana.

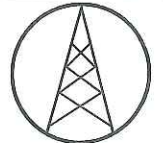
A part of the Southeast Quarter and a part of the Northeast Quarter of Section 16, Township 18 North, Range 5 East, located in Noblesville Township, Hamilton County, Indiana, being bounded as follows: Beginning at the Northeast corner of the Southeast Quarter of Section 16, Township 18 North, Range 5 East (stone with "X" found); thence South 00 degrees 18 minutes 57 seconds West (assumed bearing) 2669.27 feet to the Southeast corner of said Southeast Quarter (1" iron pipe found); thence North 89 degrees 51 minutes 05 seconds West 397.44 feet on and along the South line of said Southeast Quarter to a 5/8" iron rod with yellow cap, said point also being the Southeast corner of a 29.83 acre tract of land described in Deed Record 362, page 621; thence North 00 degrees 14 minutes 06 seconds East 1696.67 feet to a 5/8" iron rod with yellow cap, said point being South 89 degrees 30 minutes 43 seconds East 765.00 feet from an existing 1/2" iron rod; thence North 89 degrees 30 minutes 43 seconds West 767.77 feet to a 5/8" iron rod with yellow cap; said point being 165.00 feet East of the West line of the East Half of said Southeast Quarter; thence North 00 degrees 11 minutes 23 seconds East 873.19 feet parallel with the West line of the East Half of said Southeast Quarter to a 5/8" iron rod with yellow cap on the Westerly extension of the South line of a 5.00 acre tract of land described in Instrument Number 8703332; thence South 89 degrees 42 minutes 22 seconds East 772.13 feet on and along said westerly extension on and along the South line of said 5.00 acre tract and on along the South line of a tract of land described in Instrument Number 8703332 to the Southeast corner of said tract described in Instrument Number 8703332 (1/2" iron rod found); thence North 00 degrees 28 minutes 32 seconds East 103.74 feet to a 5/8" iron rod with yellow cap marking the Southwest corner of 4.442 acre tract of ground described in Deed Record 347 page 905; thence South 89 degrees 57 minutes 18 seconds East 347.09 feet on and along the South line of said 4.442 acre tract to a 5/8" iron rod with yellow cap, said point begin 50.00 feet West of the East line of the Northeast Quarter of Section 16, Township 18 North, Range 5 East; thence North 00 degrees 11 minutes 48 seconds East 486.98 feet parallel with the East line of said Northeast Quarter to a P.K. Nail in the center line of State Road 238; thence South 69 degrees 11 minutes 46 seconds East 53.42 feet to a P.K. Nail marking the point of intersection of the centerline of State Road 238 and the East line of said Northeast Quarter; thence South 00 degrees 11 minutes 48 seconds West 475.70 feet to the point of beginning, containing 40.496 acres. More or less and being subject to all applicable easements and right of way of record.

GTE MOBILNET OF INDIANA LIMITED PARTNERSHIP d/b/a



**VERIZON WIRELESS
MUSIC CENTER
CELL SITE**
11831 GREENFIELD AVE.
NOBLESVILLE, IN 46060
HAMILTON COUNTY

GTE MOBILNET OF INDIANA
LIMITED PARTNERSHIP d/b/a



**COM-TECH
SERVICES**
P.O. Box 609
WESTFIELD, IN 46074
(317) 867-4486
FAX (317) 867-4488

CERTIFICATION:

**NOT FOR
CONSTRUCTION**

SITE NAME: VERIZON WIRELESS
MUSIC CENTER

SITE ADDRESS: 11831 GREENFIELD AVE.
NOBLESVILLE, IN 46060

LATITUDE: 40° 00' 29.59" N
LONGITUDE: 85° 57' 27.22" W

TOWER TYPE:
MONOPOLE

TOWER HEIGHT:
185' AGL

DRAWN BY: MLC

CHECKED BY: RT

NO.	DATE	REVISION/ISSUE
	3/15/10	ZONING

THE INFORMATION CONTAINED HERE WITHIN IS PROPRIETARY AND CONFIDENTIAL. THE PLANS AND DETAILS SHOWN IN THESE DRAWINGS ARE THE PROPERTY OF COM-TECH SERVICES, AND ARE PRODUCED SOLELY FOR USE BY COM-TECH SERVICES AND THE CLIENT. ALL INFORMATION CONTAINED IN THESE PLANS SHALL NOT BE USED WITHOUT THE WRITTEN CONSENT OF COM-TECH SERVICES.

SHEET TITLE:
PROJECT INFORMATION,
LOCATION MAPS,
AND SHEET INDEX

PROJECT NO.:
2009360940

SHEET NUMBER:
T-1

SITE ACQUISITION FIRM
WFI
MARILYN KLEIST
7955 S. CASS STREET SUITE 111
DARIEN, IL
PHONE: (317) 910-2131

SURVEYOR
MCREA LAND SURVEYING
CHRIS MCREA
1210 S. ANTHONY BLVD.
FORT WAYNE, IN 46819
PHONE: (260) 639-0048

ARCHITECTURAL AND ENGINEERING FIRM
COM-TECH SERVICES
RICHARD TAYLOR
P.O. BOX 609
WESTFIELD, IN 46074
PHONE: (317) 331-5594
FAX: (317) 867-4488

ELECTRICAL
PSI CINERGY
MEMBER OF SERVICE DEPARTMENT
PHONE: (800) 688-0688

TELEPHONE
AT&T
MEMBER OF SERVICE DEPARTMENT
PHONE: (800) 340-1734

POLICE DEPARTMENT
NOBLESVILLE POLICE DEPARTMENT
135 S. 9TH STREET
NOBLESVILLE, IN 46060
PHONE: (317) 776-6340

FIRE DEPARTMENT
NOBLESVILLE FIRE DEPARTMENT
135 S. 9TH STREET
NOBLESVILLE, IN 46060
PHONE: (317) 776-6336

HOSPITAL
COMMUNITY HOSPITAL NORTH
7150 CLEARVISTA DR.
INDIANAPOLIS, IN 46256
PHONE: (317) 621-6262

LANDLORD INFORMATION
DRUMMOND REALTY
BOB DRUMMOND
11827 SR 238 E.
NOBLESVILLE, IN 46060
PHONE: (317) 691-2488

CONSULTANT TEAM

THE PROJECT INCLUDES

INSTALLATION OF TWELVE (12) PANEL SECTOR ANTENNAS ON NEW 185' AGL MONOPOLE TOWER.

INSTALLATION OF A 11'-6"X26'-0" UNMANNED EQUIPMENT SHELTER ON A CONCRETE FOUNDATION.

NEW ELECTRICAL AND TELEPHONE SERVICE RUN TO THE SITE AND EQUIPMENT SHELTER.

NO WATER SUPPLY OR SEWAGE RUN TO SITE.

PROJECT DESCRIPTION

COM-TECH

A&E SERVICES

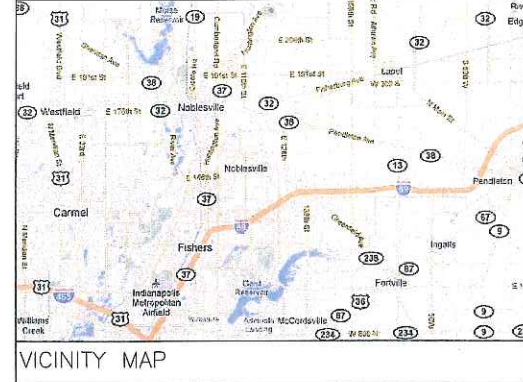
ARCHITECTURAL AND ENGINEERING BY:

ABBREVIATIONS AND SYMBOLS

	REVISION		DETAIL REFERENCE
	KEY NOTE		ELEVATION REFERENCE
	ROOM NUMBER		SECTION REFERENCE
	KEYED NOTE		

BEGINNING ON THE WEST SIDE OF INDIANAPOLIS AT THE VERIZON WIRELESS OFFICES, TURN RIGHT (EAST) ON 21ST STREET, THEN RIGHT (SOUTH) ON GIRL'S SCHOOL ROAD TO 10TH ST. TURN LEFT (EAST) ON 10TH ST. TO I-465, TURN LEFT (NORTH) ON I-465, THEN LEFT (NORTH) ON I-69, TO SR37 NOBLESVILLE EXIT, TO GREENFIELD AVE. TURN RIGHT (EAST) TO SUMMER RD. TURN SOUTH (RIGHT) ON SUMMER RD. FOLLOW DRIVE TO SITE.

SITE DIRECTIONS



PROJECT MANAGER: _____

CONSTRUCTION MANAGER: _____

NETWORK OPERATIONS MANAGER: _____

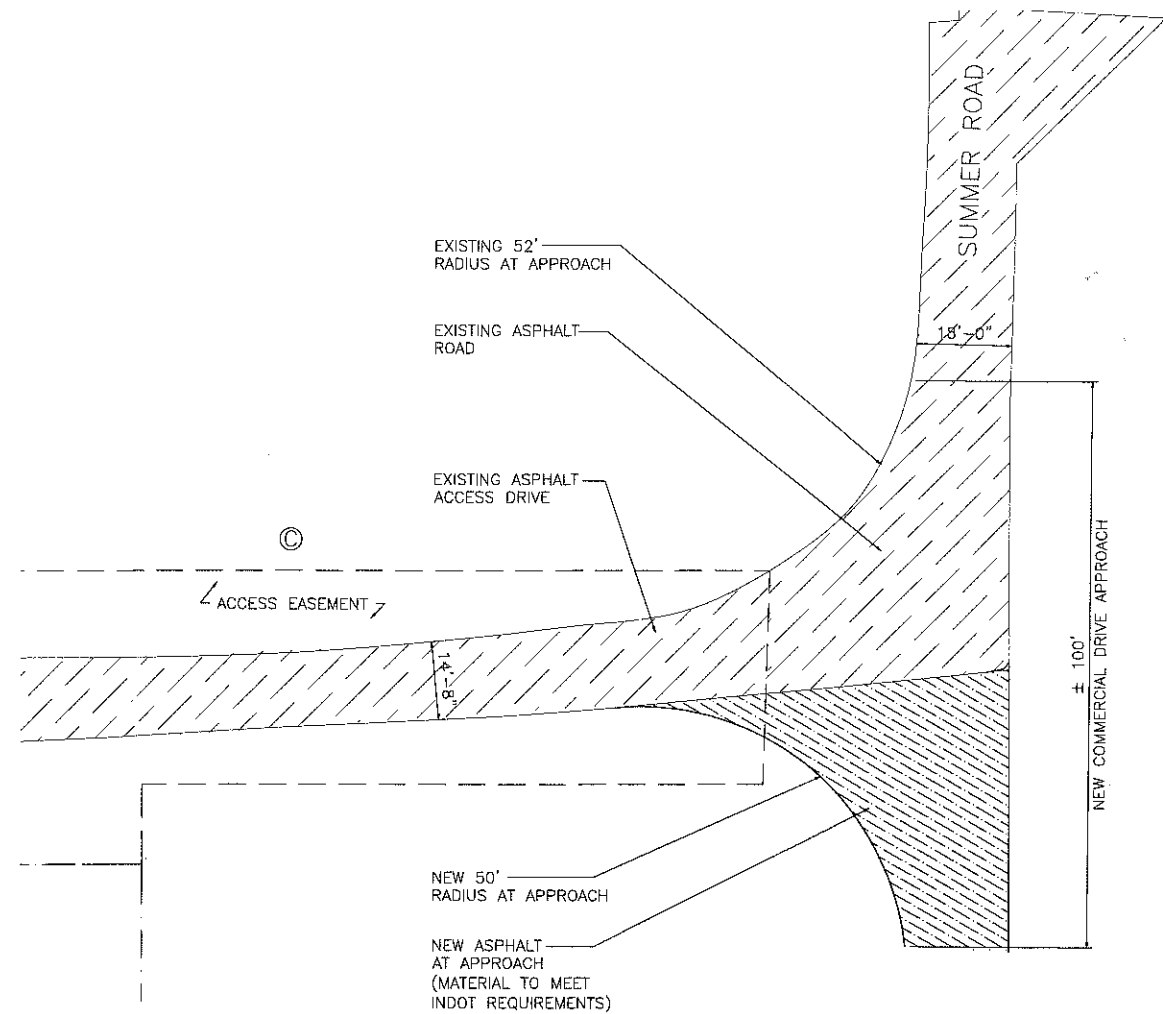
NATIONAL DIRECTOR: _____

SIGNATURE _____ DATE _____

APPROVED BY _____

SHEET INDEX

T-1	- PROJECT INFORMATION, LOCATION MAPS, AND DRAWING INDEX
C-1	- DEVELOPED PLAN AND CONSTRUCTION NOTES
C-2	- ENLARGED SITE PLAN
C-3	- TOWER SETBACK
C-4	- COMMERCIAL DRIVE DETAIL
A-1	- TOWER MAPPING PROFILE
B-1	- EQUIPMENT ENCLOSURE PLAN AND SECTION
B-2	- EQUIPMENT ENCLOSURE ELEVATIONS
LS-1	- LANDSCAPE PLAN



NEW APPROACH DETAIL

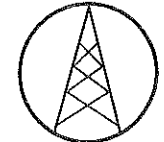
SCALE: 1/16"=1'-0"

NORTH



GTE MOBILNET OF INDIANA
LIMITED PARTNERSHIP d/b/a

verizon
wireless



**COM-TECH
SERVICES**
P.O. Box 609
WESTFIELD, IN 46074
(317) 867-4486
FAX (317) 867-4488

CERTIFICATION:

**NOT FOR
CONSTRUCTION**

SITE NAME: VERIZON WIRELESS
MUSIC CENTER

SITE ADDRESS: 11831 GREENFIELD AVE.
NOBLESVILLE, IN 46060

LATITUDE: 40° 00' 29.59" N
LONGITUDE: 85° 57' 27.22" W

TOWER TYPE:
MONOPOLE

TOWER HEIGHT:
185' AGL

DRAWN BY: MLC

CHECKED BY: RT

NO.	DATE	REVISION/ISSUE
	3/15/10	ZONING.

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SHEET TITLE:
**COMMERCIAL
APPROACH
DETAIL**

PROJECT NO.:
2009360940

SHEET NUMBER:
C-4

185'-0" (AGL) ELEVATION
TOP OF LIGHTNING ROD
(NOT TO EXCEED FAA HEIGHT)

NEW GALVANIZED STEEL
ANTENNA MOUNTS AND
GRAY PANEL ANTENNAS

2,3
A-1

180'-0" (AGL) ELEVATION
TOP OF STEEL

175'-0" (AGL) ELEVATION
C.L. VERIZON WIRELESS
RAD CENTER

FUTURE ANTENNAS
TYPICAL

GALVANIZED STEEL
MONOPOLE

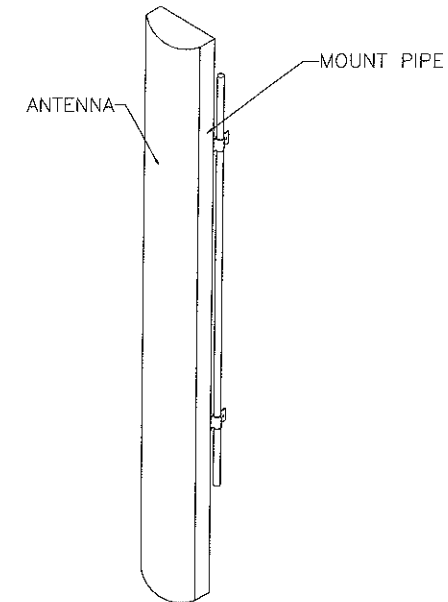
NEW PREFABRICATED SHELTER WITH
LIGHT BROWN AGGREGATE FINISH, TAN
HVAC UNITS, DOORS AND CANOPY

0'-0" ELEVATION
TOP OF TOWER FOUNDATION
ELEVATION= 819'-0"
(FINISH GRADE 818'-6")

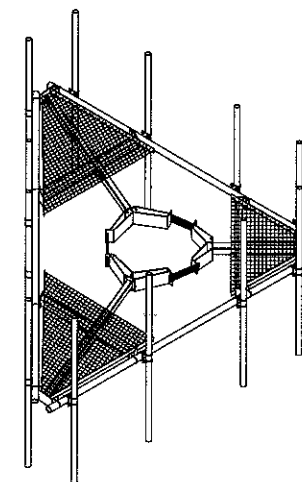
1 TOWER ELEVATION
SCALE: 1"=10'

NOTE:

ALL MATERIAL PROVIDED
BY VERIZON WIRELESS



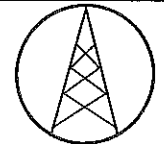
2 ANTENNA ISOMETRIC
N.T.S.



3 ISOMETRIC ANTENNA PLATFORM
N.T.S.

GTE MOBILNET OF INDIANA
LIMITED PARTNERSHIP d/b/a

verizon
wireless



COM-TECH SERVICES
P.O. Box 609
WEBFIELD, IN 46074
(317) 867-4466
FAX (317) 867-4488

CERTIFICATION:

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TOWER HEIGHT:
185' AGL

DRAWN BY: MLC

CHECKED BY: RT

NO.	DATE:	REVISION/ISSUE:
	3/15/10	ZONING.

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COM-TECH SERVICES.

SHEET TITLE:

TOWER MAPPING
PROFILE

PROJECT NO.:

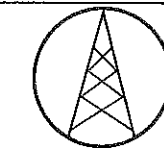
2009360940

SHEET NUMBER:

A-1

GTE MORILNET OF INDIANA
LIMITED PARTNERSHIP db/a

verizon
wireless



**COM-TECH
SERVICES**
P.O. Box 609
Westfield, IN 46074
(317) 867-4486
FAX (317) 867-4488

CERTIFICATION:

SITE NAME: VERIZON WIRELESS
MUSIC CENTER

SITE ADDRESS: 1831 GREENFIELD AVE.
NOBLESVILLE, IN 46060

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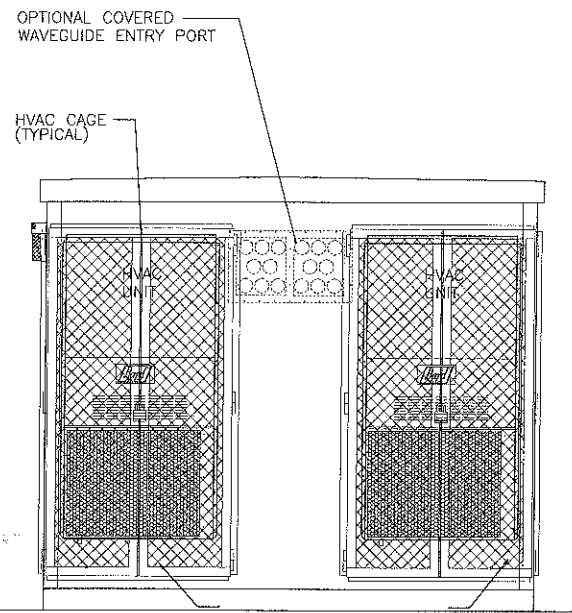
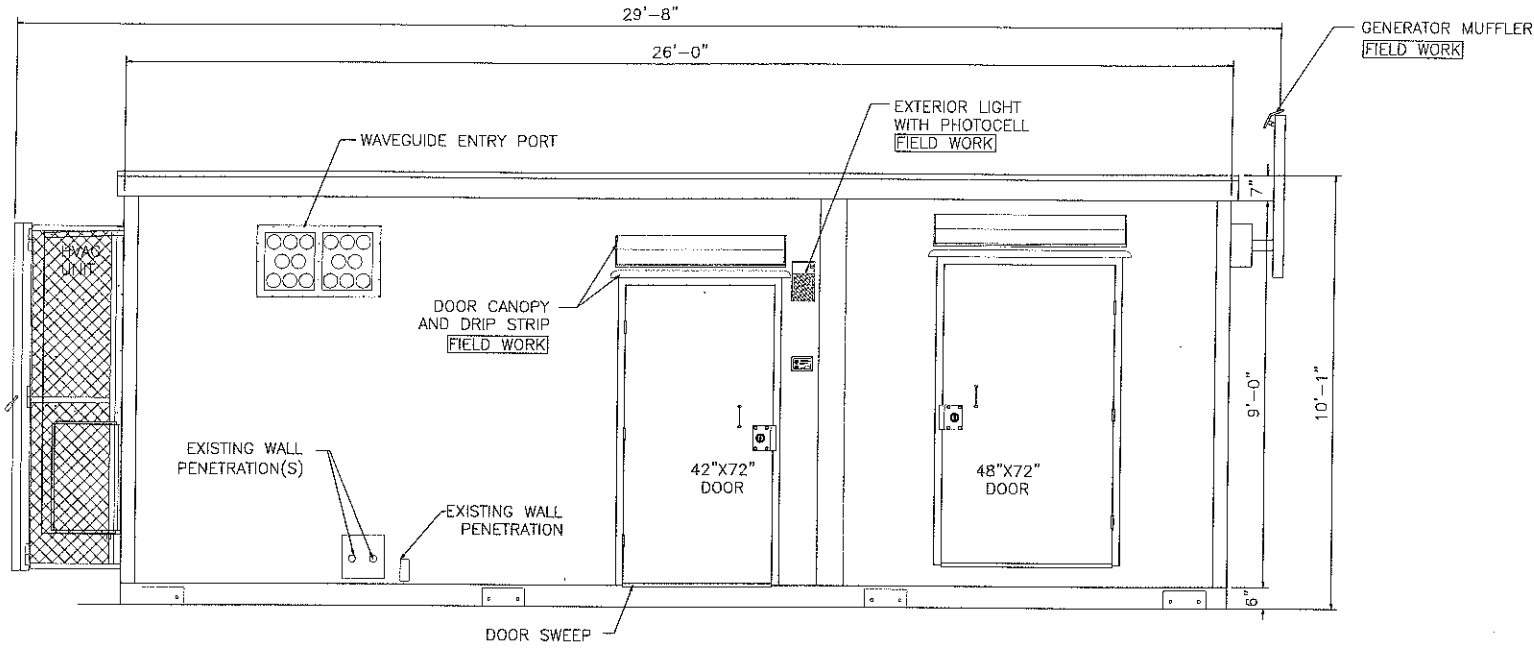
NO.	DATE	REVISION/ISSUE
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SHEET TITLE:
**EQUIPMENT ENCLOSURE
ELEVATIONS**

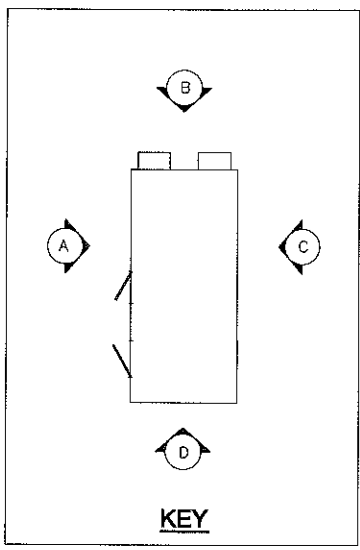
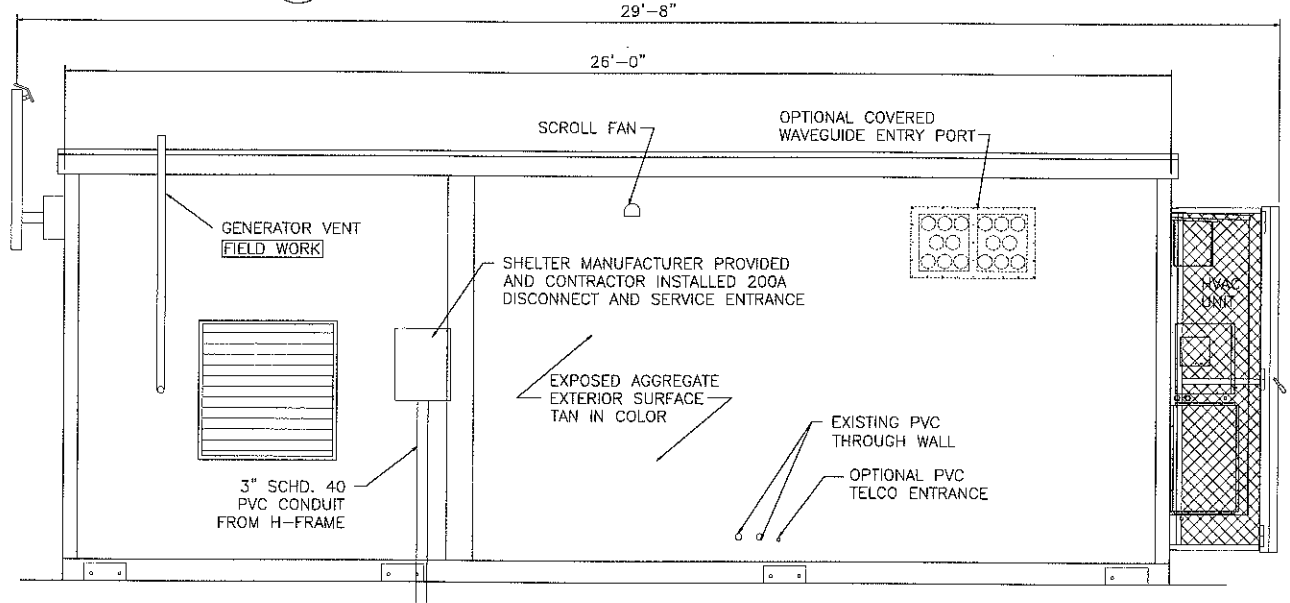
PROJECT NO.:
2009360940

SHEET NUMBER:
B-2

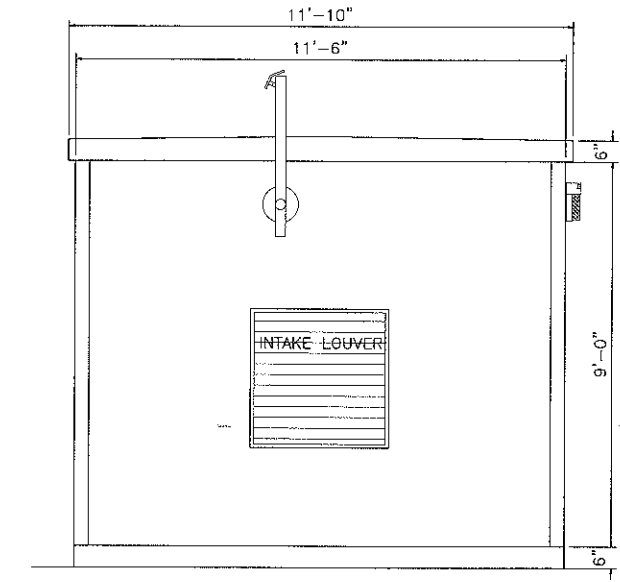


1 ELEVATION A - EQUIPMENT ENCLOSURE
SCALE: 1/2"=1'-0"

2 ELEVATION B - EQUIPMENT ENCLOSURE
SCALE: 1/2"=1'-0"



3 ELEVATION C - EQUIPMENT ENCLOSURE
SCALE: 1/2"=1'-0"



4 ELEVATION D - EQUIPMENT ENCLOSURE
SCALE: 1/2"=1'-0"

LANDSCAPE NOTES:

PROTECTION OF EXISTING PROPERTY

It shall be the responsibility of the Landscape Contractor to determine and/or verify the location of existing pipe lines and utilities of every type below, on or above the ground which may interfere with his operations. He shall enter into the Contract in full understanding of the conditions that may be encountered and his responsibility in connection therewith. Upon award of the Contract, the Landscape Contractor shall inform the Project Engineer or his Representative of any such utilities and structures that his plan of operations may affect in sufficient time to arrange for the work of removing, relocating, or reconstructing as may be necessary. The Landscape Contractor shall be responsible for the protection and preservation of existing improvements, including necessary removal and storage of such improvements, and subsequent replacement to maintain to the fullest extent possible the undisturbed condition.

All existing pipes, poles, wires, cable, fences, property line markers, and other structures, which must be preserved in place without being temporarily or permanently relocated, shall be carefully supported and protected from damage by the Landscape Contractor should such items be damaged, they shall be restored by their respective owner at the expense of the Landscape Contractor to at least as good condition as that in which they were found immediately before the work was begun. Bench marks and other reference points shall be carefully maintained, and if disturbed or destroyed, shall be replaced by the Contractor to the satisfaction of the Project Engineer and at no additional cost to the Owner.

On paved surfaces the Landscape Contractor shall not use or operate tractors, bulldozers, or other power-operated equipment which would damage such surfaces. All surfaces which have been damaged by the Landscape Contractor's operations shall be restored to a condition at least equal to that in which they were found immediately before work was begun. Suitable materials and methods shall be used for such restoration.

DISPOSITION OF DEBRIS

Debris resulting from the landscape work shall be removed from the site as soon as practical and shall not be left until the completion of the Contract. Burning of debris will not be permitted.

EXCESS MATERIAL

Excess excavated material extracted from tree pits and not suitable for reuse as backfill shall be immediately disposed of at location provided. Suitable Material shall be spread and graded in such a manner as to drain properly in accordance with the Grading and Drainage Plans for the job.

PLANTING

SCOPE

The extent of the work shall include provision of plant material and all labor, equipment and materials necessary to complete the operations as shown on the Drawings and as specified hereinafter and including guarantees covering and replacement of all plant materials damaged or destroyed during the course of work and the guarantee period.

GENERAL REQUIREMENTS

The top of plant (pits) (bottom of saucers) when completed and settled shall either be level or uniformly sloped to points no higher or lower than two (2) inches from the adjacent finish grade.

Nomenclature: Conform to the names given in Standardized Plant Names, 1974 edition, prepared by the American Joint Committee on Horticulture Nomenclature. Names of varieties not included therein conform generally with names accepted in the nursery trade.

Quality: Plants shall have a habit of growth that is normal for the species and shall be sound, healthy, vigorous and free from insect pests, plant diseases and injuries. Plants shall be heavily branched and heavily leafed. All plants shall be nursery grown and shall have been growing under the name climatic condition as the area where they are to be used for at least two (2) years prior to installation of this job. Requirements for the size (height) of plants in the plant list generally follow the Code of Standards currently recommended by the American Standard for Nursery Stock.

PRODUCT STORAGE AND HANDLING

Product Shipping: Shipping of plant material shall be undertaken on temperate days with the high temperature not to exceed eighty (80) degree F during periods of transportation.

All plants shall be transported and handled with utmost care to insure adequate protection against injury and shall be protected from prolonged exposure to heat or high winds while in route or awaiting installation.

Temporary Storage: Insofar as is practical, plant material shall be planted on the day of delivery to the job site. In the event this is not possible, the Landscape Contractor shall protect the stock not planted.

Protect plants at all times from the sun or windy winds. Plants that cannot be planted immediately upon delivery shall be kept in the shade, well protected with soil, wet moss or other acceptable materials and shall be kept well watered. Plants shall not remain unplanted for longer than three (3) days after delivery.

Plants shall not be bound with wire or roped at any time so as to damage the bark or break branches. Plants shall be handled with support to the bottom of the root zone.

INSTALLATION

Time of Planting: Planting operations shall be undertaken in accordance with the schedule determined by the Project Engineer.

Thereafter, planting operations shall be conducted under favorable weather condition. At the Contractor's option and under his full responsibility, planting operations may be conducted under reasonable conditions with additional compensation.

Planting Pattern: Planting groupings are to be located as indicated on the Plans.

Plantings shall be located where they are shown on the Plans except where unforeseen obstructions overhead or below ground are encountered or here other authorized changes by the Project Engineer are made. Prior to excavation of planting areas or plant (pits), the Landscape Contractor shall ascertain the location of utility lines, cables and conduits so that proper precautions may be taken not to disturb or damage any subsurface conditions. Should obstructions be found, the Landscape Contractor shall promptly notify the Project Engineer who will arrange to relocate the plant material.

Pruning: Above-Ground Pruning: All plants shall be neatly pruned and/or clipped to preserve the natural characteristics of the species and in a manner appropriate to the requirements of the plant. No plants shall be pruned prior to delivery to the job site. Broken or badly damaged branches shall be cleanly removed both prior to and after installation, unless damage occurring to the plant during installation, in the judgement of the Project Engineer, warrants replacement.

Root Pruning: Root pruning shall be undertaken with extreme care. No root pruning shall occur prior to arrival of plant material on the job site. If directed by the Project Engineer, pruning of the root system should be undertaken cleanly, removing deleterious root material prior to placement in the plant (pits).

Setting Plants: Proposed plant pits shall be positively identified prior to digging and should be marked by the Landscape Contractor to the satisfaction of himself, or in the case of a dispute, the Project Engineer.

Each plant shall be set one (1) to a hole as specified. All holes shall be dug as indicated by the Details with straight and vertical sides and topsoil crowned at the bottoms and tamped to a minimum of six (6) inches to reduce possible settlement. The height and width of the plant pit shall be a minimum of one one-half (1-1/2) times larger than the pruned root was just prior to installation. The tamped crown shall be adjusted in height to allow the plant to be installed to the grade (bottom of saucer) at which it grew at the nursery; however, the crown shall be no lower than six (6) inches.

BACKFILLING

Inspection: No plant material shall be planted by the Contractor until it is inspected by the Project Engineer. The Project Engineer shall be the sole judge of the quality and acceptability of the materials. All rejected material shall be immediately removed from the site and replaced with acceptable material at no additional cost.

Use topsoil, free from rocks and other debris, as shall be found on the project site, or as is needed from off-site sources. Existing subsoil unacceptable for backfill is to be raked by the Contractor to achieve grade of surrounding areas adjacent to the plant pit. Plant (pits) shall be backfilled carefully to fill all voids and to avoid breaking or bruising of roots. Tamp backfill firm to prevent settlement. When pit is nearly filled, water thoroughly and allow water to soak away. If settling of the backfill occurs after watering, add more backfill to bring to finish grade. After completion of backfilling, utilize surrounding topsoil outside the area excavated for the plant pit to form an earthen saucer mound said excavation area. Earth saucer should be tamped in place to achieve a minimum height above the adjacent grade of six (6) inches. Planting mixture shall be four (4) parts topsoil and one (1) part approved commercial horticultural peat moss.

MULCHING

After planting has been approved by the Project Engineer, a layer of hardwood mulch three inches (3) thick shall be placed on the finished grade about all plants. The boundaries of mulch around trees shall be six inches (6) greater in diameter than that of the hole. All shrub beds shall be completely covered with a similar material, neatly forming an imaginary tangent line touching the outside mature diameter of shrubs as indicated on the Plans.

MAINTENANCE, GUARANTEES, INSPECTIONS AND REPLACEMENTS

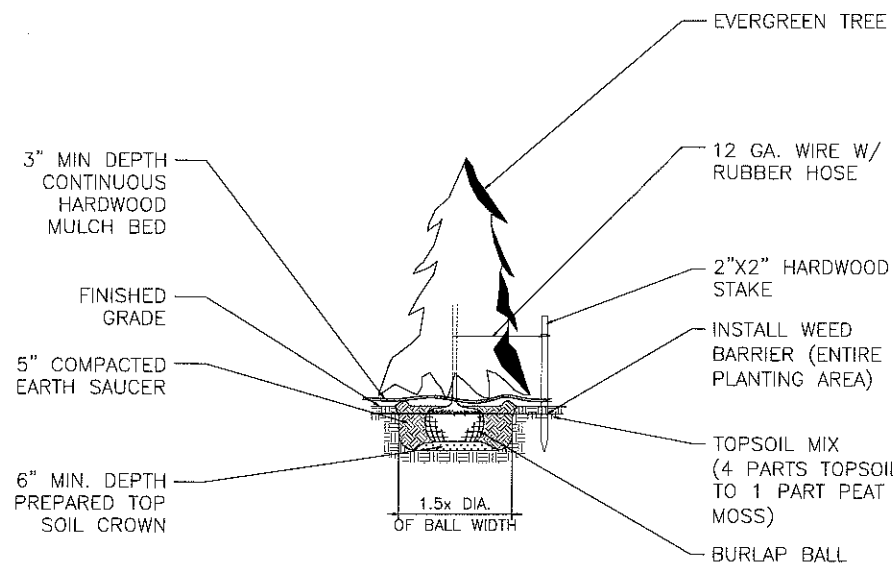
The Contractor shall review and approve the maintenance, including watering, weeding and cultivating, upon completion of planting.

The Landscape Contractor's Lump Sum Price shall include maintenance of the job in accordance with the attached maintenance schedule for the twelve (12) month guarantee period. The Contractor shall also be responsible for resetting of any plants to an upright position or proper grade, and for the removal and replacement of any dead plant material.

Guarantees: All plants shall be guaranteed to remain alive and healthy for the full twelve (12) month period, replacements shall be guaranteed an additional (12) months from the date they are reset.

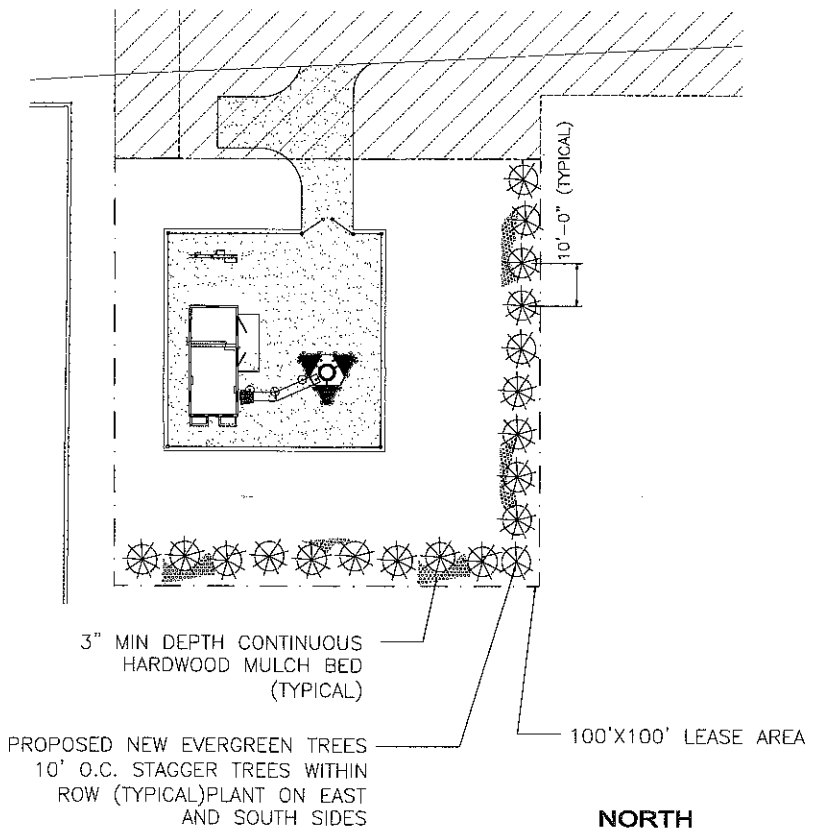
Inspection for Beginning the Guarantee Period: Inspection of the planting work to determine its completion for beginning the guarantee period will be made by the Project Engineer upon notice requesting such inspection by the Landscape Contractor at least seven (7) days prior to the anticipated date. All planting must be alive and healthy in order to be considered complete.

Final Inspection and Replacement: Inspection of the planting to determine its final acceptance will be made at the conclusion of the guarantee period by the Owner. No plants will be accepted unless they are alive and healthy. The Contractor shall replace any plants which are dead or in the opinion of the Project Engineer or Owner, in an unhealthy condition, and/or have lost their natural shape due to dead branches. The cost of such replacement(s) shall be borne by the Landscape Contractor and shall be included in his contract price.



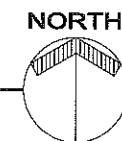
PLANT CHART

QUANTITY	LATIN NAME	COMMON NAME	SIZE	SPACING
(19)	THUJA OCCIDENTALIS	"ARBORVITAE" EVERGREEN TREE	5' TALL AT PLANTING	10' O.C. STAGGER



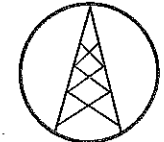
LANDSCAPE PLAN

SCALE: 1"=20'



GTE MOBILNET OF INDIANA
LIMITED PARTNERSHIP d/b/a

verizon
wireless



COM-TECH SERVICES
P.O. Box 609
WESTFIELD, IN 46074
(317) 867-4486
FAX (317) 867-4488

CERTIFICATION:

NOT FOR CONSTRUCTION

SITE NAME: VERIZON WIRELESS MUSIC CENTER

SITE ADDRESS: 11831 GREENFIELD AVE. NOBLESVILLE, IN 46069

LATITUDE: 40° 00' 29.59" N
LONGITUDE: 85° 57' 27.22" W

TOWER TYPE: MONOPOLE

TOWER HEIGHT: 185' AGL

DRAWN BY: MLC

CHECKED BY: RT

NO.	DATE	REVISION/ISSUE
	3/15/10	ZONING.

THE INFORMATION CONTAINED HERE WITHIN IS PROPRIETARY AND CONFIDENTIAL. THE PLANS AND DETAILS SHOWN IN THESE DRAWINGS ARE THE PROPERTY OF COM-TECH SERVICES, AND ARE PRODUCED SOLELY FOR USE BY COM-TECH SERVICES AND THE CLIENT. ALL INFORMATION CONTAINED IN THESE PLANS SHALL NOT BE USED WITHOUT THE WRITTEN CONSENT OF COM-TECH SERVICES.

SHEET TITLE: LANDSCAPE PLAN

PROJECT NO.: 2009360940

SHEET NUMBER: LS-1

Photos and Renderings of Similar Racking/Drive-Thru Systems



-Shopping Carts will not be stored in this area. These photos were taken prior to store opening.

This black fencing is how the area will appear from the outside. The other is looking into the area.

