


25.00
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2011007014 ORDER \$25.00
01/31/2011 11:52:38A 7 PGS
Mary L. Clark
HAMILTON County Recorder IN
Recorded as Presented


ORDINANCE NO. 46-12-10

**AN ORDINANCE TO AMEND THE UNIFIED DEVELOPMENT ORDINANCE FOR
THE CITY OF NOBLESVILLE, INDIANA AND ITS OFFICIAL ZONING MAP**

Cross Reference Instrument Nos. 2006074175, 200400044356

This ordinance 46-12-10 ("Ordinance") is an ordinance amending the Unified Development Ordinance of the City of Noblesville, as amended ("Zoning Ordinance") which Zoning Ordinance includes the Official Zoning Map referred to in Article 7 of the Zoning Ordinance, as amended;

WHEREAS, the City of Noblesville Plan Commission has considered this application under docket number 10N-15-1734 ("Application") and conducted a public hearing on Monday, December 20, 2010 as required by law in regard to the petition for amendment to the Zoning Ordinance in order to rezone 71 acres more or less from "CCPD district (Corporate Campus planned development)" to "CCPD GUO district (Corporate Campus Government Use Overlay)"; and,

WHEREAS, the Plan Commission has sent a favorable recommendation to the Common Council in the following manner: vote of 9 to 1;

NOW, THEREFORE, BE IT ORDAINED by the Common Council, meeting in regular session, that the Unified Development Ordinance of the City of Noblesville, as amended, and the Office Zoning Map of said ordinance are hereby amended as follows:

SECTION 1. That the legal description of the subject real estate containing 71 acres, more or less, is attached as an Exhibit "A" ("Real Estate") attached hereto and incorporated herein by reference.

SECTION 2. That the Real Estate is now rezoned to a CCPD/GUO district (Corporate Campus Planned Development/Government Use Overlay) as designated in said Unified Development Ordinance of the City of Noblesville, as amended, and the Official Zoning Map of said ordinance subject to the conditions and restrictions set forth in this Ordinance.

SECTION 3. That the rezoning of said Real Estate is further subject to the following specific conditions and/or exceptions, as set forth below:

VARIATIONS

1. The elimination of the four foot berm and landscaping treatment along Promise Road to hide the parking area and building from view.
2. Reduction of the minimum building height of 24-feet.
3. Allowance of direct access of two ingress/egress drives onto a Primary Arterial (Promise Road).
4. Reduction of number of parking spaces from 122 to 97.
5. Reduction of the curbs required along the parking areas and drive areas that are located outside of the public right-of-way.
6. Reduction of parking lot screening from a primary arterial.
7. Reduction of building foundation landscaping.
8. Reduction of total square footage of minimum parking lot island.
9. Reduction of minimum width of parking island.
10. Reduction of interior parking lot landscaping.
11. Reduction of overall perimeter site buffering.




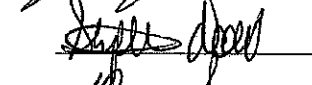
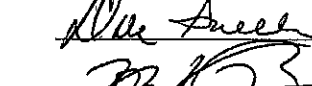
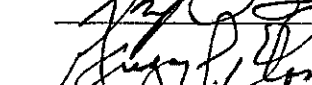

STIPULATIONS

1. All requirements shall be met except for those granted variations.
2. A letter shall be received from INDOT, specifically the Aviation Section; regarding the construction of the school building and noting that it is not located within the required minimum clear zones of the airport and meets the height limitations for buildings adjacent to an airport prior to the issuance of a building permit.
3. Require the dedication of the minimum half right-of-way based on the thoroughfare plan and the platting of a parcel by a Secondary Plat prior to the issuance of any building permit.

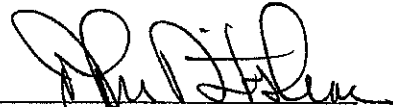
SECTION 4. That this Ordinance shall be in full force and effect from and after its adoption in accordance with law.

Adopted this 11th day of January, 2011, by the Common Council of the City of Noblesville, Hamilton County, Indiana.

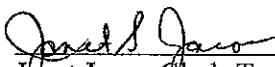
COMMON COUNCIL, CITY OF NOBLESVILLE

<u>AYE</u>		<u>NAY</u>
	Roy Johnson, President	_____
	Brian Ayer	_____
	Mary Sue Rowland	_____
	Stephen C. Wood	_____
	Dale Snelling	_____
	Mark Boice	_____
	Greg O'Connor	_____

APPROVED and signed by the Mayor of the City of Noblesville, Hamilton County, Indiana, this 11th day of January, 2011.


John Ditslear, Mayor
City of Noblesville, Indiana

ATTEST:


Janet Jaros, Clerk-Treasurer
City of Noblesville, Indiana
Hamilton County, Indiana

Prepared by: Douglas D. Church, Esq. Church Church Hittle & Antrim, 10765 Lantern Road, Suite 201, Fishers, Indiana 46038

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security Number in the document, unless required by law.
Douglas D. Church

Exhibits are on file and may be viewed in the City of Noblesville Clerk-Treasurer's Office.

EXHIBIT "A"
LEGAL DESCRIPTION FOR REAL ESTATE

EXHIBIT "A"
LEGAL DESCRIPTION FOR REAL ESTATE

INSTRUMENT NO. 200300105715

TRACT #1

A PART OF THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 16 TOWNSHIP 18 NORTH RANGE 5 EAST AND A PART OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 17 TOWNSHIP 18 NORTH RANGE 5 EAST LOCATED IN NOBLESVILLE TOWNSHIP HAMILTON COUNTY, INDIANA; BEING DESCRIBED AS FOLLOWS;

COMMENCING AT THE 5/8" IRON ROD AT THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF SECTION 16 TOWNSHIP 18 NORTH RANGE 5 EAST; THENCE SOUTH 00 DEGREES 19 MINUTES 33 SECONDS EAST 166.57 FEET ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE SOUTH 00 DEGREES 19 MINUTES 33 SECONDS EAST 304.12 FEET TO A 5/8" IRON ROD WITH YELLOW CAP STAMPED MILLER SURVEYING; THENCE NORTH 89 DEGREES 37 MINUTES 32 SECONDS EAST 669.02 FEET TO A 5/8" IRON ROD WITH YELLOW CAP STAMPED MILLER SURVEYING; THENCE NORTH 00 DEGREES 19 MINUTES 33 SECONDS WEST 470.69 FEET TO A 5/8" IRON ROD WITH YELLOW CAP STAMPED MILLER SURVEYING ON THE NORTH LINE OF SAID SOUTHWEST QUARTER; THENCE NORTH 89 DEGREES 37 MINUTES 32 SECONDS EAST 659.22 FEET TO A MAG NAIL AT THE NORTHEAST CORNER OF THE WEST HALF OF SAID SOUTHWEST QUARTER; THENCE SOUTH 00 DEGREES 15 MINUTES 42 SECONDS EAST 1221.90 FEET ALONG THE EAST LINE OF SAID WEST HALF TO A MAG NAIL; THENCE SOUTH 89 DEGREES 54 MINUTES 55 SECONDS WEST 412.00 FEET TO A 5/8" IRON ROD WITH YELLOW CAP STAMPED MILLER SURVEYING; THENCE SOUTH 00 DEGREES 15 MINUTES 42 SECONDS EAST 188.25 FEET TO A 5/8" IRON ROD WITH YELLOW CAP STAMPED MILLER SURVEYING; THENCE SOUTH 89 DEGREES 54 MINUTES 55 SECONDS WEST 2218.80 FEET TO A MAG NAIL ON THE WEST LINE OF THE EAST HALF OF THE SOUTH EAST QUARTER OF SECTION 17 TOWNSHIP 18 NORTH RANGE 5 EAST; THENCE NORTH 00 DEGREES 31 MINUTES 18 SECONDS WEST 1237.01 FEET MORE OR LESS TO A MAG NAIL THAT BEARS SOUTH 89 DEGREES 55 MINUTES 14 SECONDS WEST FROM THE POINT OF BEGINNING; THENCE NORTH 89 DEGREES 55 MINUTES 14 SECONDS EAST 1308.37 FEET TO THE POINT OF BEGINNING. CONTAINING 70.9530 ACRES MORE OR LESS.

TRACT #2

(DESCRIPTION OF "GAP" IN DESCRIPTIONS)

A PART OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 17 TOWNSHIP 18 NORTH RANGE 5 EAST LOCATED IN NOBLESVILLE TOWNSHIP HAMILTON COUNTY, INDIANA, BEING DESCRIBED AS FOLLOWS;

COMMENCING AT THE 5/8" IRON ROD AT THE NORTHEAST CORNER OF THE SOUTHEAST QUARTER OF SECTION 17 TOWNSHIP 18 NORTH RANGE 5 EAST; THENCE SOUTH 00 DEGREES 19 MINUTES 33 SECONDS EAST (ASSUMED BEARING) 165.00 FEET ALONG THE EAST LINE OF SAID SOUTHEAST QUARTER TO A 5/8" IRON ROD WITH YELLOW CAP STAMPED MILLER SURVEYING AT THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE SOUTH 00 DEGREES 19 MINUTES 33 SECONDS EAST 1.57 FEET ALONG THE EAST LINE OF SAID SOUTHEAST QUARTER; THENCE SOUTH 89 DEGREES 55 MINUTES 14 SECONDS WEST 1308.37 FEET PARALLEL WITH THE NORTH LINE OF SAID SOUTHEAST QUARTER TO THE WEST LINE OF THE EAST OF SAID SOUTHEAST QUARTER; THENCE NORTH 00 DEGREES 31 MINUTES 18 SECONDS WEST 1.57 FEET ALONG THE WEST LINE OF SAID EAST HALF TO A MAG NAIL; THENCE NORTH 89 DEGREES 55 MINUTES 14 SECONDS EAST 1308.38 FEET TO THE POINT OF BEGINNING, CONTAINING 0.047 OF AN ACRE MORE OR LESS.



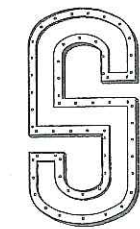
Phase II New Elementary School

Noblesville Schools

1775 Field Drive Noblesville, Indiana 46060

Phase II Submittal

November 2, 2010



SHIEL SEXTON
NOBLESVILLE
SCHOOLS
DESIGN-BUILD
TEAM

Phase II
New Elementary School
NOBLESVILLE SCHOOLS

Phase II Submittal
November 2, 2010
CSO #10150E

SHEET INDEX

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SURVEY
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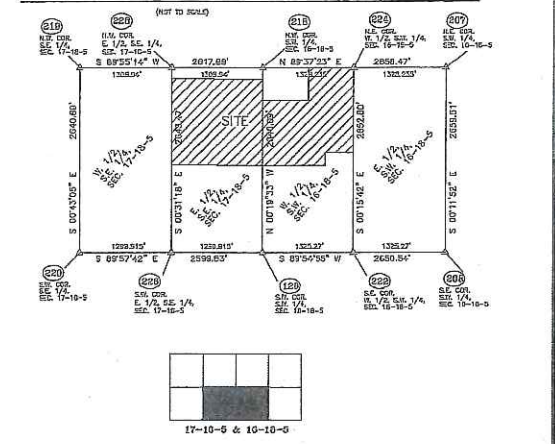
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SHIEL SEXTON
NOBLESVILLE
SCHOOLS
DESIGN-BUILD
TEAM

ALTA / ACSM LAND TITLE SURVEY
 PART OF THE S.W. 1/4, SEC. 16-18-5 & PART OF THE S.E. 1/4, SEC. 17-18-5
 NOBLESVILLE, HAMILTON COUNTY, INDIANA

DETAIL OF S.E. 1/4, SEC. 17-18-5 & S.W. 1/4, SEC. 16-18-5



BENCHMARK INFORMATION

HORIZONTAL AND VERTICAL CONTROL:
 COORDINATE SYSTEM: US STATE PLANE 1883 (AT GROUND)
 PROJECT DATUM: WORLD GEODETIC SYSTEM (WGS 1984)
 VERTICAL DATUM: NAVD 83
 ZONE: INDIANA EAST 1201
 GEOD. MODEL: GEOD003 (CONUS)
 COORDINATE UNITS: US SURVEY FEET
 DISTANCE UNITS: US SURVEY FEET
 HEIGHT UNITS: US SURVEY FEET

LEGEND

- 1" UNDERGROUND TELEPHONE LINE
- 2" OVERHEAD TELEPHONE LINE
- 3" MISC. WIRE FENCE
- TELEPHONE/FEDERAL HIGHWAY MARKER
- TELEPHONE FEDERAL UTILITY POLE
- ⊙ CURY POLE
- ⊙ IS / ISU
- ⊙ GAS HANDBY
- ⊙ TELEPHONE HANDBY
- ⊙ RECALCULATED EASEMENT ESTABLISHED 10' IN EACH DIRECTION FROM THE TOP OF BANK

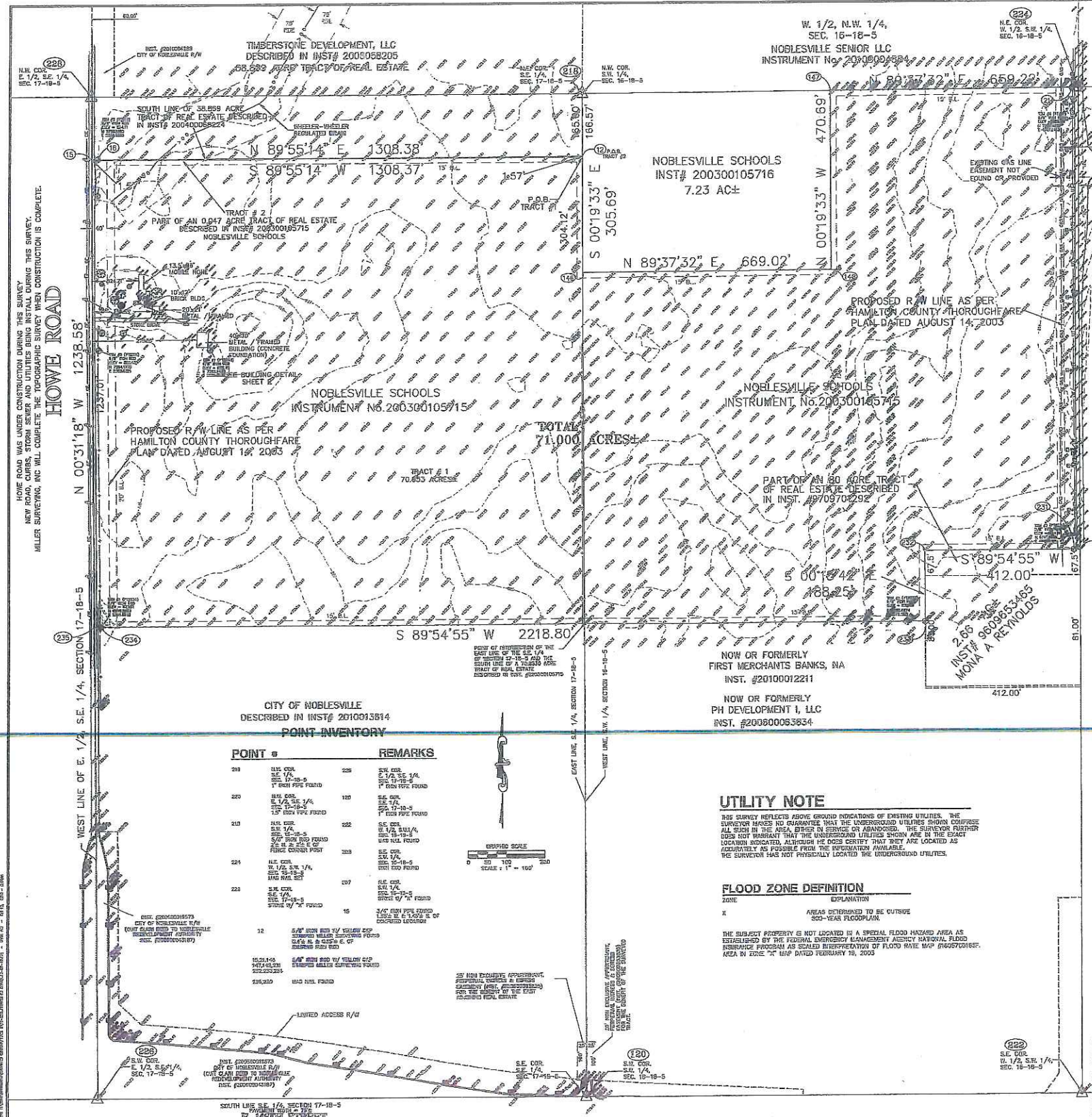
- 1027 (P12307) 1/2" IRON ROD ELEV = 825.03
N 8227.2070 E -4818.1009
- 1028 (P12323) 1/2" IRON ROD ELEV = 826.84
N 8852.8274 E 4252.1871
- 1029 (P12325) 3/4" IRON ROD ELEV = 824.69
N 8244.9289 E 4881.2403
- 1030 (P12321) 3/4" IRON ROD ELEV = 825.15
N 7963.4252 E 4881.2403
- 1031 (P12324) 3/4" IRON ROD ELEV = 827.31
N 8546.5833 E 3262.8418
- 1032 (P12323) 1/2" IRON ROD ELEV = 828.84
N 8852.8274 E 4252.1871
- 1033 (P12327) 3/4" IRON ROD ELEV = 824.69
N 8244.9289 E 4881.2403
- 1034 (P12321) 3/4" IRON ROD ELEV = 825.15
N 7963.4252 E 4881.2403
- 1035 (P12324) 3/4" IRON ROD ELEV = 827.31
N 8546.5833 E 3262.8418
- 1036 (P12323) 1/2" IRON ROD ELEV = 828.84
N 8852.8274 E 4252.1871
- 1037 (P12327) 3/4" IRON ROD ELEV = 824.69
N 8244.9289 E 4881.2403
- 1038 (P12321) 3/4" IRON ROD ELEV = 825.15
N 7963.4252 E 4881.2403

ZONING

CLASSIFICATION: C2-0 (RESIDENTIAL SUBDIVISION)
 POLICY AND ARE THEREFORE SUBJECT TO ANY STATEMENT OF FACTS REVEALED BY EXAMINATION OF SCHEDULE "A" AND SCHEDULE "B" OF A TITLE POLICY.

CERTIFICATION

DATE: _____
 SIGNED: _____
 REGISTRATION NO. 00085



PORTION OF THE S.W. 1/4, SEC. 17-18-5, AND PORTION OF THE S.E. 1/4, SEC. 16-18-5, HAMILTON COUNTY, INDIANA, AS SHOWN ON THE ALTA / ACSM LAND TITLE SURVEY DATED FEBRUARY 15, 2005, ARE UNDER CONSTRUCTION DURING THE SURVEY. NEW SURVEY POINTS WILL BE PLACED AND THE SURVEY WILL BE COMPLETED AS CONSTRUCTION IS COMPLETE. MILLER SURVEYING, INC. WILL COMPLETE THE TOPOGRAPHIC SURVEY.

UTILITY NOTE

THIS SURVEY REFLECTS ABOVE GROUND INDICATIONS OF EXISTING UTILITIES. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

FLOOD ZONE DEFINITION

ZONE X AREAS DETERMINED TO BE OUTSIDE 100-YEAR FLOODPLAIN

THE SUBJECT PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS ESTABLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY NATIONAL FLOOD INSURANCE PROGRAM AS SHOWN ON THE FEDERAL FLOOD HAZARD MAP (1505770105). AREA IN CODE "X" MAP DATED FEBRUARY 15, 2005.

REV.	DATE	BY	DESCRIPTION

MILLER SURVEYING INC.
 503 CEDAR RIDGE
 NOBLESVILLE INDIANA 46060
 PH. 615.778.0044 FAX 773.3995

LOCATION: PART OF THE S.W. 1/4, SEC. 16-18-5 & PART OF THE S.E. 1/4, SEC. 17-18-5, HAMILTON COUNTY, INDIANA. SCALE: 1" = 100' FIELD BOOK: DC

DATE: 7-26-10

DESCRIPTION: ALTA SURVEY B33086



12 S. Main Street, Suite 100 Fortville, IN 46040
 Tel 317-485-6900 Fax 317-485-6972
 www.context-design.com

EXISTING WOODLOT
TO REMAIN

DETENTION

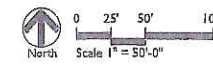
PROPOSED BUILDING

GEOHERMAL FIELD

SECONDARY PLAYGROUND

K-1 PLAYGROUND

LEGEND	Plan Quantity
Heavy-Duty Asphalt	11897 sq. yds.
Asphalt Parking and Drives	4594 sq. yds.
Standard Concrete Walks	31104 sq. ft.
Heavy-Duty Concrete Pavement	9960 sq. ft.
Trail (Along Roadway)	987 sq. yds.
Promise Road Improvements	6011 sq. yds.
Ornamental Tree	41
Evergreen	32
Deciduous Tree	165
Curb	7572 in. ft.



CSO Architects
 ARCHITECTURE - INTERIOR DESIGN
 200 East 96th Street, Suite 100 - Indianapolis, Indiana 46240
 Main 317-842-7800 - Fax 317-174-0977 - website.net
 2007-08-08 10:58 AM - All Rights Reserved

**SHIEL SEXTON
 NOBLESVILLE
 SCHOOLS
 DESIGN-BUILD
 TEAM**

**Phase II
 New Elementary School
 14900 Block - Promise Road
 Noblesville, Indiana 46060**

SCOPE DRAWINGS:
 These drawings include the general plan of the project, the site plan, the landscape site plan, the site plan for the building, the site plan for the parking lot, the site plan for the playground, and the site plan for the geothermal field.

REVISIONS:

NO.	DATE	BY	DESCRIPTION

DATE PLOTTED: 10-26-07

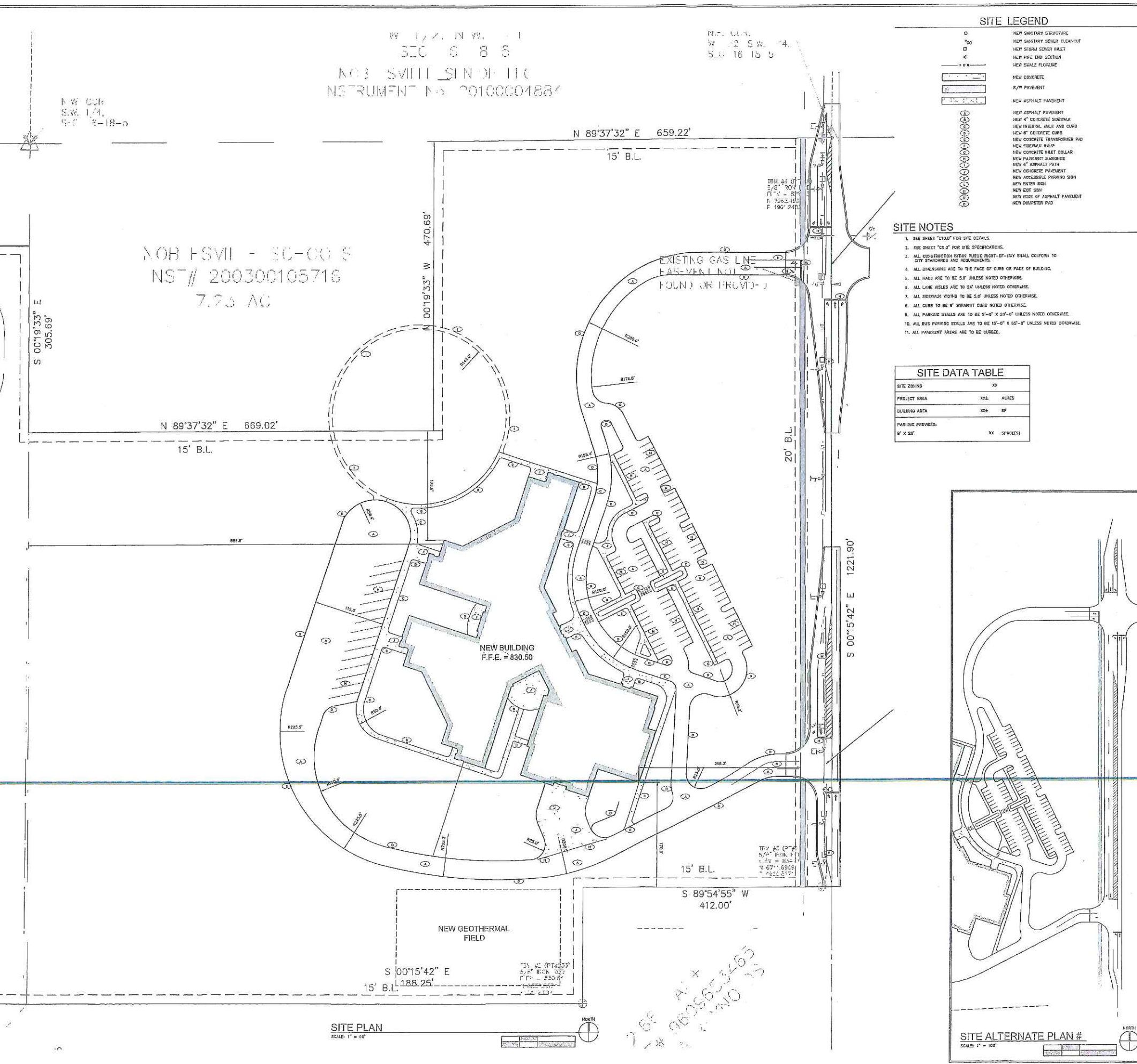
DATE	DRAWN BY	CHECKED BY
10-26-07	JTB	FSP

**DRAWING TITLE:
 SITE KEY
 PLAN**

CHECKED BY:

**DRAWING NUMBER:
 L1.0**

**PROJECT NUMBER:
 10150E**



SITE LEGEND

- NEW SANITARY STRUCTURE
- NEW SANITARY SEWER CLEANOUT
- NEW SIGNAL SEWER BUILT
- NEW PIPE DIA SECTION
- NEW SHALE FLOORING
- NEW CONCRETE
- R/W PAVEMENT
- NEW ASPHALT PAVEMENT
- NEW ASPHALT PAVEMENT
- NEW ASPHALT PAVEMENT
- NEW 4" CONCRETE SIDEWALK
- NEW IRREGULAR VALE AND CURB
- NEW 6" CONCRETE CURB
- NEW CONCRETE TRANSFORMER PAD
- NEW SIDEWALK RAMP
- NEW CONCRETE HEAT COLLAR
- NEW PAVEDBIT HARDINGS
- NEW 4" ASPHALT PATH
- NEW CONCRETE PAVEMENT
- NEW ACCESSIBLE PARKING SIGN
- NEW CENTER SIGN
- NEW EDGE OF ASPHALT PAVEDBIT
- NEW CHAMPSTER PAD

SITE NOTES

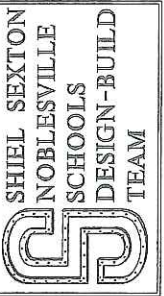
- SEE SHEET "C100" FOR SITE DETAILS.
- SEE SHEET "C100" FOR SITE SPECIFICATIONS.
- ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY STANDARDS AND REQUIREMENTS.
- ALL DIMENSIONS ARE TO THE FACE OF CURB OR FACE OF BUILDING.
- ALL RAMP ARE TO BE 5.0% UNLESS NOTED OTHERWISE.
- ALL LANE ANGLES ARE TO 24' UNLESS NOTED OTHERWISE.
- ALL SIDEWALK WIDTH TO BE 5.0% UNLESS NOTED OTHERWISE.
- ALL CURB TO BE 6" STRAIGHT CURB UNLESS NOTED OTHERWISE.
- ALL PARKING STALLS ARE TO BE 9'-0" X 20'-0" UNLESS NOTED OTHERWISE.
- ALL BUS PARKING STALLS ARE TO BE 15'-0" X 8'-0" UNLESS NOTED OTHERWISE.
- ALL PAVEDBIT AREAS ARE TO BE CURBED.

SITE DATA TABLE

SITE ZONING	XX
PROJECT AREA	XXE ACRES
BUILDING AREA	XXE SF
PARKING PROVIDED:	XX SPACES(S)
8' X 20'	

ABBREVIATIONS AND EXISTING LEGEND

- | | | | |
|-------|---------------|------|------------|
| ACED | ACCESSIONARY | 11E | WATERPUMP |
| ADJ | ADJACENT | 12E | WATERMETER |
| ALT | ALTERNATE | 13E | WATERMETER |
| APPRX | APPROXIMATELY | 14E | WATERMETER |
| ARCH | ARCHITECTURAL | 15E | WATERMETER |
| ASB | ASBESTOS | 16E | WATERMETER |
| BUILD | BUILDING | 17E | WATERMETER |
| CA | CALLUP | 18E | WATERMETER |
| COND | CONDENSED | 19E | WATERMETER |
| CONC | CONCRETE | 20E | WATERMETER |
| CONC | CONCRETE | 21E | WATERMETER |
| CONC | CONCRETE | 22E | WATERMETER |
| CONC | CONCRETE | 23E | WATERMETER |
| CONC | CONCRETE | 24E | WATERMETER |
| CONC | CONCRETE | 25E | WATERMETER |
| CONC | CONCRETE | 26E | WATERMETER |
| CONC | CONCRETE | 27E | WATERMETER |
| CONC | CONCRETE | 28E | WATERMETER |
| CONC | CONCRETE | 29E | WATERMETER |
| CONC | CONCRETE | 30E | WATERMETER |
| CONC | CONCRETE | 31E | WATERMETER |
| CONC | CONCRETE | 32E | WATERMETER |
| CONC | CONCRETE | 33E | WATERMETER |
| CONC | CONCRETE | 34E | WATERMETER |
| CONC | CONCRETE | 35E | WATERMETER |
| CONC | CONCRETE | 36E | WATERMETER |
| CONC | CONCRETE | 37E | WATERMETER |
| CONC | CONCRETE | 38E | WATERMETER |
| CONC | CONCRETE | 39E | WATERMETER |
| CONC | CONCRETE | 40E | WATERMETER |
| CONC | CONCRETE | 41E | WATERMETER |
| CONC | CONCRETE | 42E | WATERMETER |
| CONC | CONCRETE | 43E | WATERMETER |
| CONC | CONCRETE | 44E | WATERMETER |
| CONC | CONCRETE | 45E | WATERMETER |
| CONC | CONCRETE | 46E | WATERMETER |
| CONC | CONCRETE | 47E | WATERMETER |
| CONC | CONCRETE | 48E | WATERMETER |
| CONC | CONCRETE | 49E | WATERMETER |
| CONC | CONCRETE | 50E | WATERMETER |
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| CONC | CONCRETE | 54E | WATERMETER |
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| CONC | CONCRETE | 56E | WATERMETER |
| CONC | CONCRETE | 57E | WATERMETER |
| CONC | CONCRETE | 58E | WATERMETER |
| CONC | CONCRETE | 59E | WATERMETER |
| CONC | CONCRETE | 60E | WATERMETER |
| CONC | CONCRETE | 61E | WATERMETER |
| CONC | CONCRETE | 62E | WATERMETER |
| CONC | CONCRETE | 63E | WATERMETER |
| CONC | CONCRETE | 64E | WATERMETER |
| CONC | CONCRETE | 65E | WATERMETER |
| CONC | CONCRETE | 66E | WATERMETER |
| CONC | CONCRETE | 67E | WATERMETER |
| CONC | CONCRETE | 68E | WATERMETER |
| CONC | CONCRETE | 69E | WATERMETER |
| CONC | CONCRETE | 70E | WATERMETER |
| CONC | CONCRETE | 71E | WATERMETER |
| CONC | CONCRETE | 72E | WATERMETER |
| CONC | CONCRETE | 73E | WATERMETER |
| CONC | CONCRETE | 74E | WATERMETER |
| CONC | CONCRETE | 75E | WATERMETER |
| CONC | CONCRETE | 76E | WATERMETER |
| CONC | CONCRETE | 77E | WATERMETER |
| CONC | CONCRETE | 78E | WATERMETER |
| CONC | CONCRETE | 79E | WATERMETER |
| CONC | CONCRETE | 80E | WATERMETER |
| CONC | CONCRETE | 81E | WATERMETER |
| CONC | CONCRETE | 82E | WATERMETER |
| CONC | CONCRETE | 83E | WATERMETER |
| CONC | CONCRETE | 84E | WATERMETER |
| CONC | CONCRETE | 85E | WATERMETER |
| CONC | CONCRETE | 86E | WATERMETER |
| CONC | CONCRETE | 87E | WATERMETER |
| CONC | CONCRETE | 88E | WATERMETER |
| CONC | CONCRETE | 89E | WATERMETER |
| CONC | CONCRETE | 90E | WATERMETER |
| CONC | CONCRETE | 91E | WATERMETER |
| CONC | CONCRETE | 92E | WATERMETER |
| CONC | CONCRETE | 93E | WATERMETER |
| CONC | CONCRETE | 94E | WATERMETER |
| CONC | CONCRETE | 95E | WATERMETER |
| CONC | CONCRETE | 96E | WATERMETER |
| CONC | CONCRETE | 97E | WATERMETER |
| CONC | CONCRETE | 98E | WATERMETER |
| CONC | CONCRETE | 99E | WATERMETER |
| CONC | CONCRETE | 100E | WATERMETER |



Phase 2 - Elementary
Noblesville, Indiana

SCOPE DRAWINGS:
These drawings are prepared for the purpose of showing the location and extent of the proposed construction. They are not to be used for construction purposes.

REVISIONS:

ISSUE DATE: 09-15-2018
DRAWN BY: [Name]
CHECKED BY: [Name]

DRAWING TITLE:
SITE PLAN

CERTIFIED BY:

DRAWING NUMBER:
C2.0

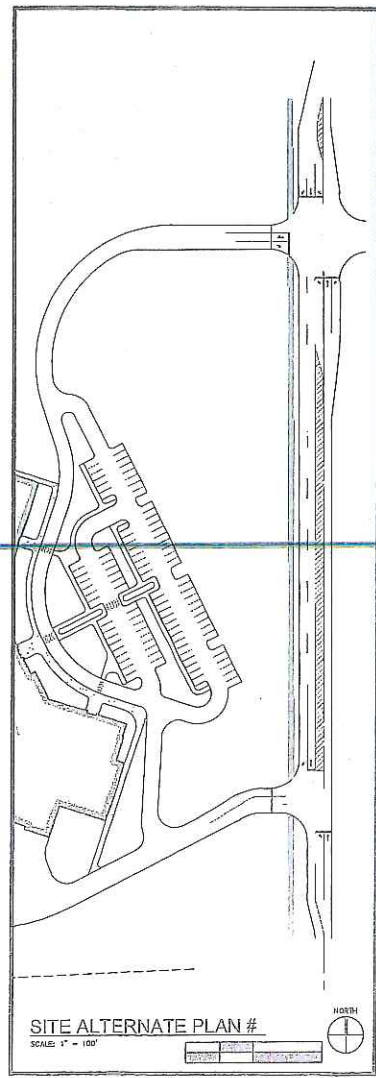
PROJECT NUMBER:
10106E

HOLEY MOLEY SAYS "DIG SAFELY"

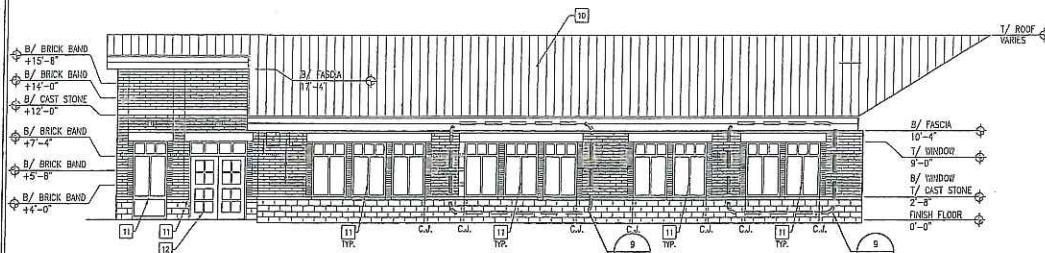
Know what's below. Call before you dig.

IF IT IS AN UNIDENTIFIED PROPERTY OR...
IF IT IS AN UNIDENTIFIED PROPERTY OR...
IF IT IS AN UNIDENTIFIED PROPERTY OR...

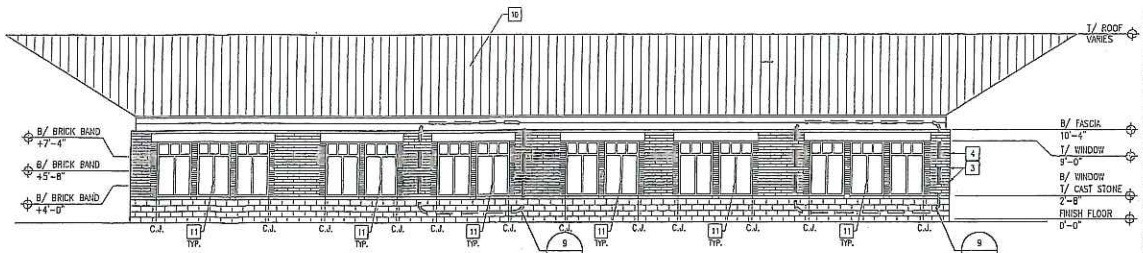
- DETAIL SPECIFICATIONS ORDER OF PREFERENCE**
- CITY OF NOBLESVILLE SPECIFICATIONS AND STANDARDS.
 - INDIANA SPECIFICATIONS AND STANDARDS.
 - STATE SPECIFICATIONS AND STANDARDS.
 - FEDERAL SPECIFICATIONS AND STANDARDS.
 - OTHER APPLICABLE STANDARDS SPECIFICATIONS AND SPECIFICATIONS.
- NOTICE, PERMITS AND NOTES**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND NOTICES FROM THE CITY OF NOBLESVILLE AND THE STATE OF INDIANA PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
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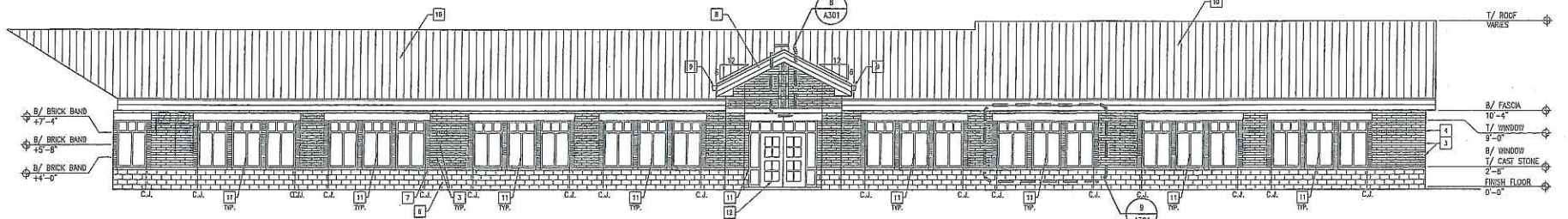
7-616 AL X
06296533-65
10/10/18



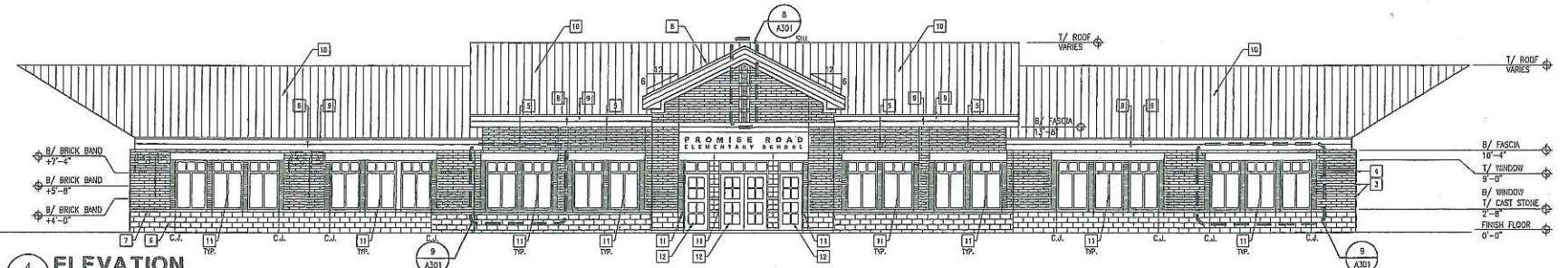
6 ELEVATION
A301 SCALE: 1/8" = 1'-0"



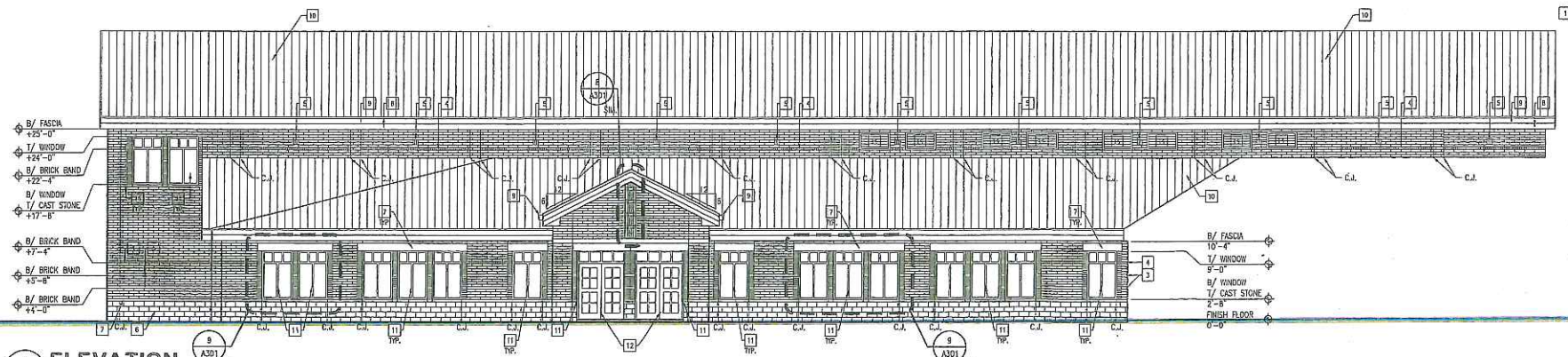
7 ELEVATION
A301 SCALE: 1/8" = 1'-0"



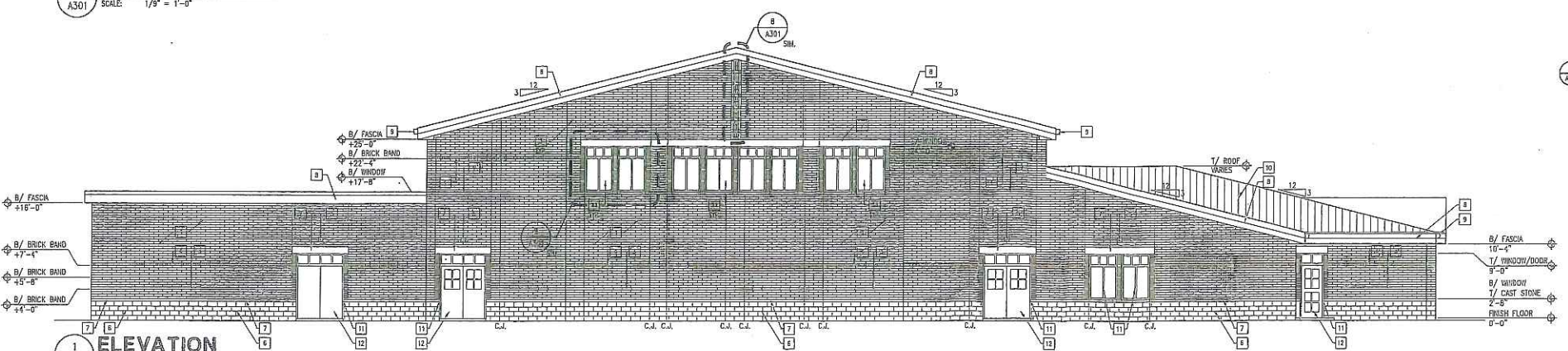
5 ELEVATION
A301 SCALE: 1/8" = 1'-0"



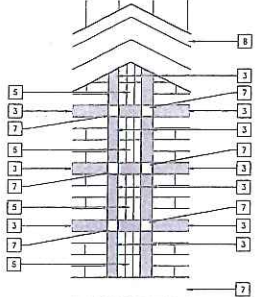
4 ELEVATION
A301 SCALE: 1/8" = 1'-0"



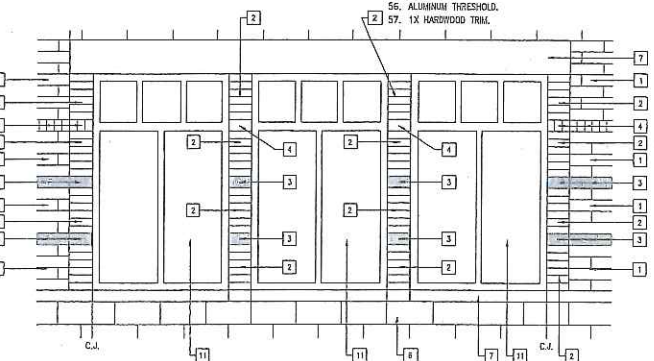
3 ELEVATION
A301 SCALE: 1/8" = 1'-0"



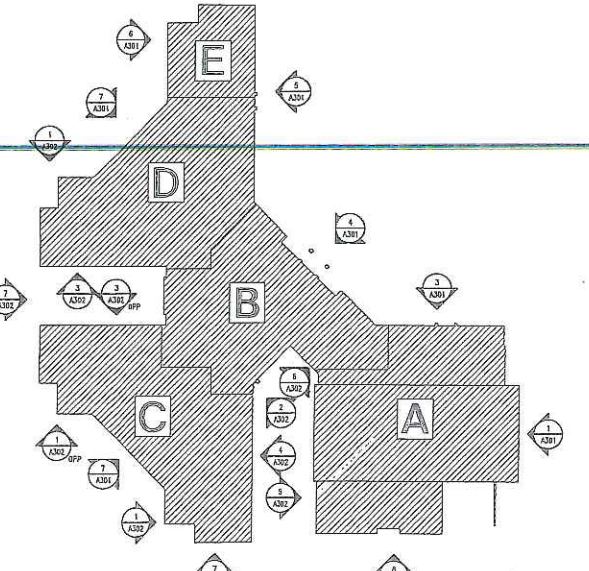
1 ELEVATION
A301 SCALE: 1/8" = 1'-0"



8 ENLARGED DETAIL
A301 SCALE: 1/3" = 1'-0"



9 ENLARGED DETAIL BRICK PATTERN @ WINDOWS
A301 SCALE: 1/2" = 1'-0"



KEY PLAN
SCALE: NTS

- KEYNOTES**
1. UTILITY BRICK (COLOR 1).
 2. MODULAR BRICK STACK BOND (COLOR 1).
 3. UTILITY BRICK (COLOR 2).
 4. MODULAR BRICK RAYLOCK (COLOR 3).
 5. MODULAR BRICK SOLDIER COURSE (COLOR 3).
 6. 4x8x16 BRICK/BLOCK BASE (COLOR 3).
 7. MASONRY ACCENT.
 8. BRASS METAL FASCIA.
 9. ALUMINUM CUTTER AND DOORSPANTS.
 10. STANDING SEAM METAL ROOF.
 11. ALUMINUM STOREFRONT ASSEMBLY WITH 1" INSULATED GLAZING.
 12. ALUMINUM DOOR WITH 1" INSULATED GLAZING.
 13. ENTRY CANOPY.
 14. LOUVER.
 15. 6'-0" x 9'-4" OVERHEAD COILING DOOR ASSEMBLY.
 16. GALVANIZED CHAINLINK FENCE.
 17. BRASS METAL COPING.
 18. 18 GA. 6" METAL STUD FRAMING @ 16" O.C.
 19. 3/4" GYPSUM WALL BOARD.
 20. 5/8" FIBER REINFORCED EXTERIOR GYPSUM SHEARING.
 21. GRADE - SEE CNL.
 22. FLUID APPLIED AIR BARRIER.
 23. PERIMETER INSULATION.
 24. 4" RIGID ROOF INSULATION.
 25. FULLY ADHERED EPDM MEMBRANE ROOFING SYSTEM.
 26. MORTAR NET.
 27. CONTINUOUS THROUGH-WALL FLASHING W/ KEEPS/VENTS IN HEAD JOINTS @ 2'-0" O.C.
 28. CONCRETE SLAB ON GRADE OVER GRANULAR FILL AND VAPOR BARRIER.
 29. FOUNDATION - SEE STRUCT.
 30. BRASS METAL WINDOW SILL.
 31. SUSPENDED ACOUSTICAL TILE CEILING SYSTEM, SEE R.C.P.
 32. STEEL JOIST - SEE STRUCT.
 33. STEEL BEAM - SEE STRUCT.
 34. TAPERED INSULATION.
 35. 2" CAVITY INSULATION (R-13).
 36. 1/2" METAL ROOF DECK.
 37. 3" ACOUSTICAL METAL ROOF DECK.
 38. 3/4" EXTERIOR GRADE PLYWOOD SHEATHING.
 39. STEEL TRUSS - SEE STRUCTURAL.
 40. CONCRETE MASONRY UNIT.
 41. CONCRETE MASONRY BOND BEAM.
 42. 8" PRECAST CONCRETE PLANK.
 43. 2" TOPPING SLAB.
 44. 3/4" METAL STUDS @ 16" O.C.
 45. METAL SIFT SYSTEM.
 46. WOOD FLOORING ASSEMBLY.
 47. OVERHEAD COILING GRILLE.
 48. STAINLESS STEEL COUNTER - SEE FOOD SERVICE.
 49. INSC. STEEL.
 50. VOID BLOCKING.
 51. STANDING SEAM METAL ROOF CLOSURE.
 52. ACOUSTICAL WALL PANEL.
 53. LIGHT GAUGE METAL TRUSS.
 54. STEEL ANGLE.
 55. STEEL RIGID.
 56. ALUMINUM THRESHOLD.
 57. 1x HARDWOOD TRIM.



CSO Architects
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317.552.1100 • Fax: 317.552.1107 • csosoc.com

**SHIEL SEXTON
NOBLESVILLE
SCHOOLS
DESIGN-BUILD
TEAM**

**PROJECT:
Phase II
New Elementary School
14900 Block - Promise Road
Noblesville, Indiana 46060**

SCOPE DRAWINGS:
These drawings include the general scope of the project for the building envelope, structure, mechanical, electrical, plumbing, and civil works. The drawings do not include details of construction, materials, and finishes. The drawings are for informational purposes only and are not to be used for construction without the approval of the architect.

REVISIONS:

NO.	DATE	DESCRIPTION

DESIGN DATE: 10/02/2010
DRAWN BY: [Signature]
CHECKED BY: [Signature]

**DRAWING TITLE:
ELEVATIONS**

CERTIFIED BY:
[Signature]

**DRAWING NUMBER
A301**

**PROJECT NUMBER
10150E**



CSO Architects
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 Phone: 317.946.7000 • Fax: 317.975.8977 • www.cso.com

**SHIEL SEXTON
 NOBLESVILLE
 SCHOOLS
 DESIGN-BUILD
 TEAM**

**Phase II
 New Elementary School
 14900 Block - Promise Road
 Noblesville, Indiana 46060**

SCOPE DRAWINGS:
 These drawings include the general scope of the project as shown on the site plan. It is the responsibility of the client to provide all necessary information and approvals for the project. The architect is not responsible for any errors or omissions in the drawings or for any consequences arising from the use of the drawings. The architect is not responsible for any construction methods or materials not shown in the drawings.

REVISIONS:

NO.	DATE	DESCRIPTION

ISSUE DATE: 11/02/2010
DRAWN BY: [Blank]
CHECKED BY: [Blank]

DRAWING TITLE:
ELEVATIONS

CERTIFIED BY:

DRAWING NUMBER:
A302

PROJECT NUMBER:
10150E

