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08/05/2014 09:15:27A 4 PGS  
Mary L. Clark  
HAMILTON County Recorder IN  
Recorded as Presented

**ORDINANCE NO. 32-07-14**

**AN ORDINANCE TO AMEND THE UNIFIED DEVELOPMENT ORDINANCE AND CORPORATE CAMPUS PLANNED DEVELOPMENT DISTRICT TO ALLOW FOR A SPECIFIC USE OF A DORMITORY WITHIN THE INDUSTRIAL/OFFICE SUBDISTRICT AND THE CHARACTER OVERLAY DISTRICT OF INTERNAL, A PART OF THE COMPREHENSIVE PLAN OF THE CITY OF NOBLESVILLE, HAMILTON COUNTY, INDIANA**

An ordinance to amend the Unified Development Ordinance ("UDO") for the City of Noblesville, Hamilton County, Indiana, enacted by the City of Noblesville under authority of Chapter 174 of the Acts of the Indiana General Assembly 1947, as amended.

**WHEREAS**, the Plan Commission of the City of Noblesville (the "Plan Commission") conducted a public hearing on document number 14N-14-0943 (the "Petition") at its July 21, 2014, meeting as required by law in regard to the application filed by SMC Corporation of America for a request to amend the adopted preliminary development plan and standards for the Corporate Campus; and

**WHEREAS**, the Plan Commission sent an favorable recommendation relating to the Petition to the Common Council of the City of Noblesville, Indiana, by a vote of eight in favor and zero opposed;

**NOW, THEREFORE, BE IT ORDAINED** by the Common Council of the City of Noblesville, Hamilton County, Indiana, meeting in regular session, that the Unified Development Ordinance for said City is hereby amended as follows:

**SECTION 1.** That the subject real estate described in attached "Exhibit A" and located adjacent to the northwest intersection of SMC Boulevard and Howe Road, all of which is located within the zoning jurisdiction of the City of Noblesville, Hamilton County, Indiana is currently zoned Corporate Campus Planned Development within the Subdistrict of Industrial/Office and a Character Overlay of Internal to allow for the use and construction of a dormitory within said planned development. Said Real Estate is the northern portion of Parcel No. 10-11-17-00-00-011.001.




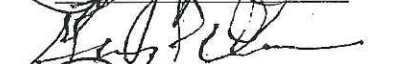
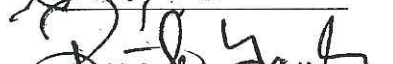
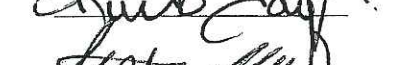
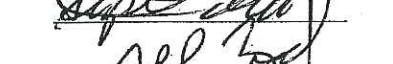
**SECTION 2.** That the Site Plan on an Aerial Photograph marked "Exhibit B" and Site Plan and Enlarged Site Plan marked "Exhibit C and Exhibit D" are hereby adopted by granting the following waivers from the adopted standards of the Corporate Campus Planned Development district: (1) allowing for the construction of a dormitory to be used by SMC employees only and said construction of the building, (2) allowing for the maximum height of the light pole structures to be 30-FT not including the base, and (3) allowing for the construction of a building less than 15,000-square feet, thus reducing it to a minimum size of approximately 7,500-square feet. All other requirements of the Corporate Campus Planned Development district shall be met including but not limited to building base landscaping, parking lot landscaping, trash receptacle enclosures, and architectural elevations.

**SECTION 3.** This Ordinance shall be in full force and effect from and upon its adoption and publication in accordance with the law.

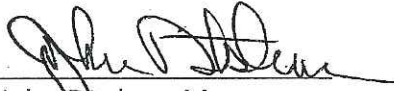
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**SECTION 4.** Upon motion duly made and seconded, the Ordinance was fully passed by the members of the Common Council this 29<sup>th</sup> day of July, 2014

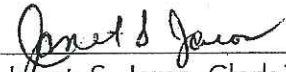
**COMMON COUNCIL**

AYE		NAY
	Brian Ayer	_____
	Mark Boice	_____
	Roy Johnson	_____
	Gregory P. O'Connor	_____
	Rick Taylor	_____
	Stephen C. Wood	_____
	Jeff Zeckel	_____

Approved and signed by the Mayor of the City of Noblesville, Hamilton County, Indiana this 29<sup>th</sup> day of July, 2014.

  
John Ditslear, Mayor  
City of Noblesville, Indiana

ATTEST:

  
Janet S. Jaros, Clerk-Treasurer

I affirm, under the penalties of perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law.

Joyceann Yelton  
Printed Name of Declarant

Prepared by: Joyceann Yelton, Senior Planner, City of Noblesville, 16 South 10<sup>th</sup> Street, Noblesville, IN 46060 (317) 776-6325

## EXHIBIT A

### Legal Description from July 11, 2008 Survey

A part of the West Half of the Southeast Quarter of Section 17, Township 18 North, Range 5 East, in Hamilton County, Indiana, being described as follows:

Commencing at the southwest corner of said Quarter Section; thence North 00 degrees 24 minutes 30 seconds West (assumed bearing) along the west line of said Quarter Section a distance of 747.28 feet to a 5/8" rebar with aluminum cap stamped "Amer Cons Engr Indpls" and the Point of Beginning; thence continuing North 00 degrees 24 minutes 30 seconds West along said line a distance of 1728.55 feet to the south line of Reflections at Cumberland Pointe, Section Two, as per plat thereof recorded in Plat Cabinet 3, Slide 550, as Instrument #200400086090, in the Office of the Recorder in Hamilton County, Indiana, said point lying 165.00 feet south of the northwest corner of said Half Quarter Section; thence South 89 degrees 46 minutes 10 seconds East along said line a distance of 1308.21 feet to a point on the east line of said Half Quarter Section lying 165.00' south of the northeast corner thereof; thence South 00 degrees 09 minutes 24 seconds East along said line a distance of 1731.43 feet to a Mag nail; thence North 89 degrees 38 minutes 21 seconds West parallel with the south line of said West Half a distance of 1300.64 feet to the Point of Beginning, containing 51.80 acres more or less.

This description includes the Right of Way for SMC Boulevard.

The property is the northern portion of this legal description containing approximately 24 acres, more or less.



**SITE PLAN ON AERIAL**



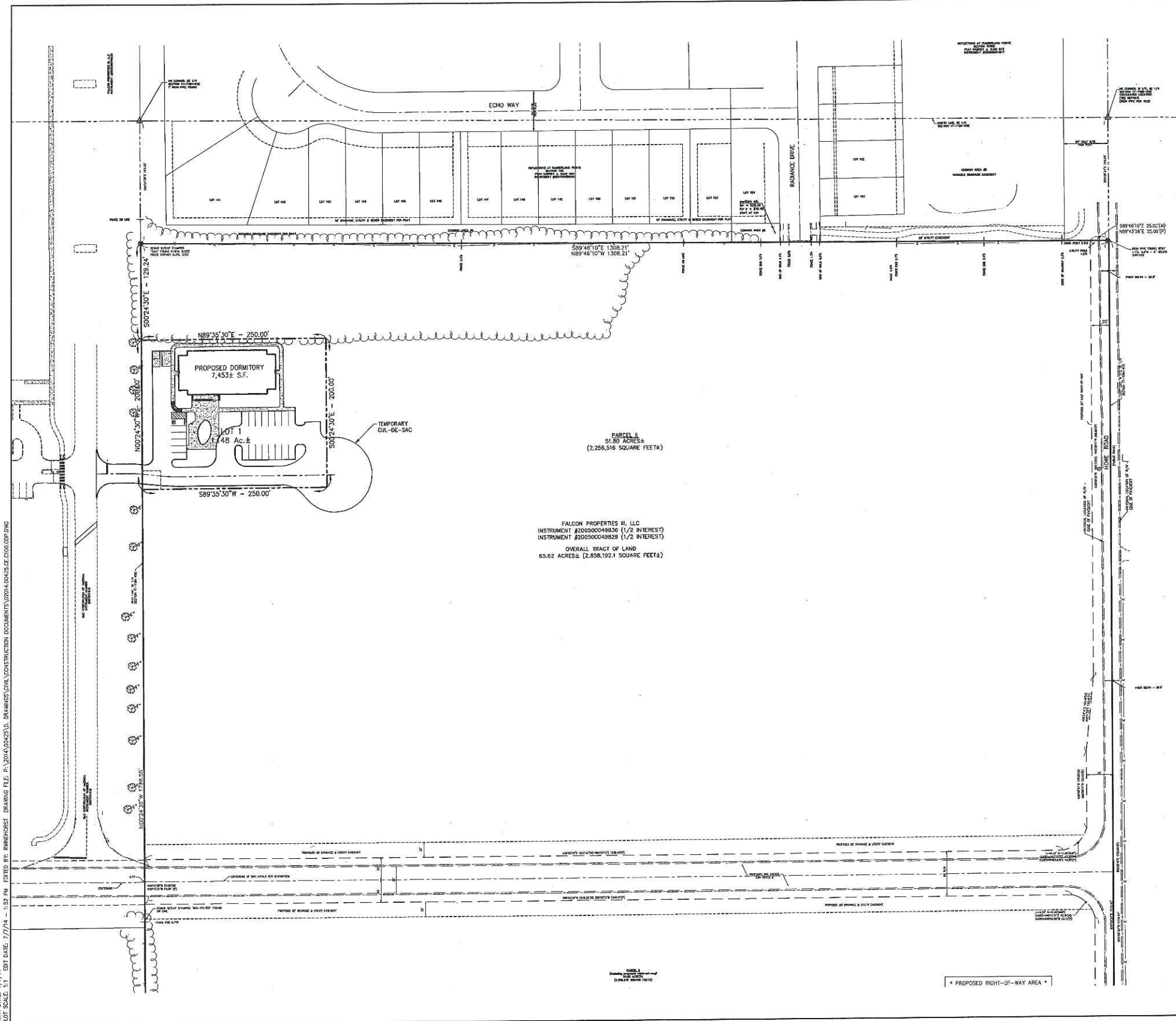
7260 SHADELAND STATION  
 INDIANAPOLIS, IN 46256-3957  
 TEL 317.547.5580 FAX 317.543.0270  
 www.structurepoint.com

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 INDIANAPOLIS, IN 46256-3957  
 TEL 317.547.5580 FAX 317.543.0270  
 www.structurepoint.com

SCALE:	1" = 300'
DATE:	06/02/2014
DRAWN BY:	BNS
CHK'D. BY:	BNS
JOB NO.	2014.00425

SHEET NO. **EX** OF **B**

EXHIBIT **B**



SCALE: 1"=60'

EXISTING LEGEND

- MB MAILBOX
- EH ELECTRIC HANDHOLE
- F POST
- LP LIGHT POLE
- T TREE
- Tr TOP OF RIM ELEVATION
- InV INVERT ELEVATION
- RP REINFORCED CONCRETE PIPE
- PPV PLASTIC PIPE

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 PLOT SCALE: 1" = 60'

REFER TO SHEET C002 FOR GENERAL GRADING & UTILITY NOTES

- NOTES:
- CONTRACTOR SHALL PROTECT AND NOT DESTROY THE PROPERTY CORNER MONUMENTS DURING CONSTRUCTION.
  - CONTRACTOR TO VERIFY LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO COMMENCING ANY CONSTRUCTION. CONTACT ENGINEER IF VARIATION EXISTS.

**CAUTION !!**  
 THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (including, but not limited to, manholes, risers, valves, and marks made upon the ground by others) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

1-800-382-5544  
 CALL TOLL FREE  
 - INDIANA UNDERGROUND -

**SMC CORPORATION OF AMERICA**  
 10100 SMC BLVD.  
 NOBLESVILLE, IN

**AMERICAN STRUCTUREPOINT INC.**  
 7266 Shattford Station | Indianapolis, Indiana 46250  
 TEL 317.547.5589 | FAX 317.243.0270  
 www.structurepoint.com

**SMC FACILITY DORMITORY**

NORTHWEST CORNER OF HOWE ROAD AND SMC BOULEVARD

CERTIFIED BY

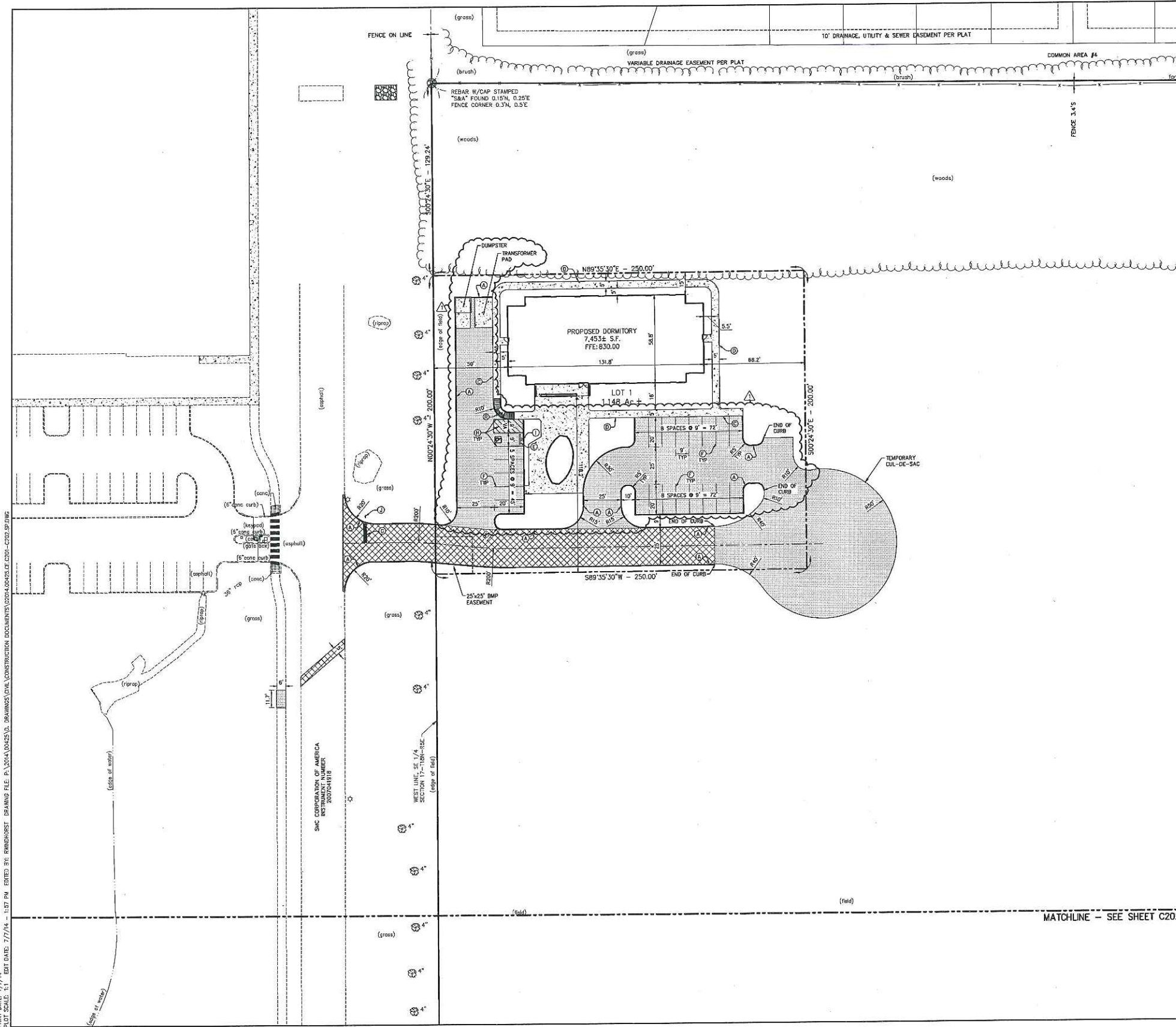
ISSUANCE INDEX	
DATE:	06/02/2014
PROJECT PHASE:	DETAILED DEVELOPMENT

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE
1	OWNER	07/07/14

Project Number 2014.00425

**OVERALL DEVELOPMENT PLAN**

**C100**



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 PLOT SCALE: 1:1

SMC CORPORATION OF AMERICA  
 10100 SMC BLVD.  
 NOBLESVILLE, IN

AMERICAN STRUCTUREPOINT INC.  
 7200 Shadeland Station | Indianapolis, Indiana 46236  
 TEL 317.547.5260 | FAX 317.543.0270  
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EXISTING LEGEND  
 MWLBOX  
 ELECTRIC HANDHOLE  
 POST  
 LIGHT POLE  
 TREE  
 TOP OF RM ELEVATION  
 INVERT ELEVATION  
 REINFORCED CONCRETE PIPE  
 PLASTIC PIPE

PROPOSED SITE LEGEND  
 LIGHT DUTY PAVEMENT  
 HEAVY DUTY PAVEMENT  
 CONCRETE  
 6" MONOLITHIC CONCRETE CURB  
 COMBINED WALK & CURB  
 CONCRETE SIDEWALK  
 PARKING BUMPER  
 4" SOLID WHITE, PAINT LINE  
 24" STOP BAR, WHITE, PAINT LINE  
 4" SOLID BLUE, PAINT LINE (A.D.A. SPACE)  
 ADA PARKING SIGN (VAN ACCESSIBLE AS NOTED)  
 STOP SIGN  
 A.D.A. RAMP (TYPE "K")  
 HANDICAP ACCESSIBLE PARKING SPACE

PARKING ANALYSIS

DORMITORY BEDS	=	22
REQUIRED RATIO	=	1/ BED
TOTAL SPACES REQUIRED	=	22
STANDARD PARKING (9'x20')	=	21
HANDICAP PARKING PROVIDED (INCLUDES 1 VAN ACCESSIBLE)	=	1
TOTAL PROPOSED PARKING	=	22

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CERTIFIED BY

ISSUANCE INDEX

DATE: 08/02/2014  
 PROJECT PHASE: DETAILED DEVELOPMENT

REVISION SCHEDULE

NO.	DESCRIPTION	DATE
1	OWNER	07/07/14

Project Number 2014.00425

SITE PLAN

C201