

Wal-Mart
Grocery
Center

19.00
④
2.00 nonc

2010017734 ORDINANCE \$19.00
04/26/2010 10:58:40A 4 PGS
Jennifer J Hayden
HAMILTON County Recorder IN
Recorded as Presented

ORDINANCE NO. 9-3-10

AN ORDINANCE TO AMEND THE TOWN AND COUNTRY PLANNED DEVELOPMENT ORDINANCE 3-1-96 AND THE UNIFIED DEVELOPMENT ORDINANCE NO. 62-12-95 AND ALL AMENDMENTS THERETO, A PART OF THE COMPREHENSIVE MASTER PLAN OF THE CITY OF NOBLESVILLE, HAMILTON COUNTY, INDIANA

Document Cross-Reference No: 9609606535

An ordinance to amend the Unified Development Ordinance for the City of Noblesville and the Town and Country Planned Development, Hamilton County, Indiana, enacted by the City of Noblesville under authority of Chapter 174 of the Acts of the General Assembly 1947, as amended.

WHEREAS, the Plan Commission of the City of Noblesville has conducted a public hearing on Application #10N-15-0117 as required by law concerning an application for an amendment to the planned development ordinance for property developed by RG Properties and approximately 18 acres owned by Wal Mart Stores, Inc. and

WHEREAS, the Plan Commission at their March 15, 2010 meeting has sent its FAVORABLE recommendation to the Noblesville Common Council in the manner by a vote of 9 ayes and 0 nays; and

NOW, THEREFORE, BE IT ORDAINED by the Common Council of the City of Noblesville, Hamilton County, Indiana, that the Unified Development Ordinance and the Drummond Industrial Planned Development are hereby amended as follows:

Section 1. The subject real estate is described per Exhibit A and located west of state Road No. 37 and south of Pleasant Street, specifically the real estate known as 16865 Clover Road within the zoning jurisdiction of the City of Noblesville, Hamilton County, Indiana, and

Section 2. Whereas, the owners Wal Mart Stores, Inc. are requesting an amendment to the adopted preliminary development plan to permit the addition of a garden center located along the north side of the existing building and the reduction of the required parking spaces to a minimum number of 949 spaces as per Exhibit B.

Section 3. Unless a development standard, specification, guideline, and/or requirement contained in the Unified Development Ordinance is varied, altered, or modified by this ordinance and/or exhibits, then such development standard, specification, guideline, and/or requirement as specified in the Unified Development Ordinance shall apply.

Section 4. This Ordinance shall be in full force and effect from and upon its adoption and publication in accordance with the law.

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Section 5. Upon motion duly made and seconded; this Ordinance was fully passed by the

members of the Common Council this 13th day of April, 2010.

COMMON COUNCIL

AYE

NAY

Roy Johnson _____

Dale Snelling _____

Brian Ayer _____

Mark Boice _____


Gregory P. O'Connor _____

Mary Sue Rowland _____

Stephen C. Wood _____

Approved and signed by the Mayor of the City of Noblesville, Hamilton County, Indiana, this

13th day of April, 2010.



John Ditslear, Mayor
City of Noblesville, Indiana

ATTEST:



Janet Jaros, Clerk Treasurer

Exhibits are on file and may be viewed in the City of Noblesville
Clerk-Treasurer's Office.

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law.

Joyceann Yelton

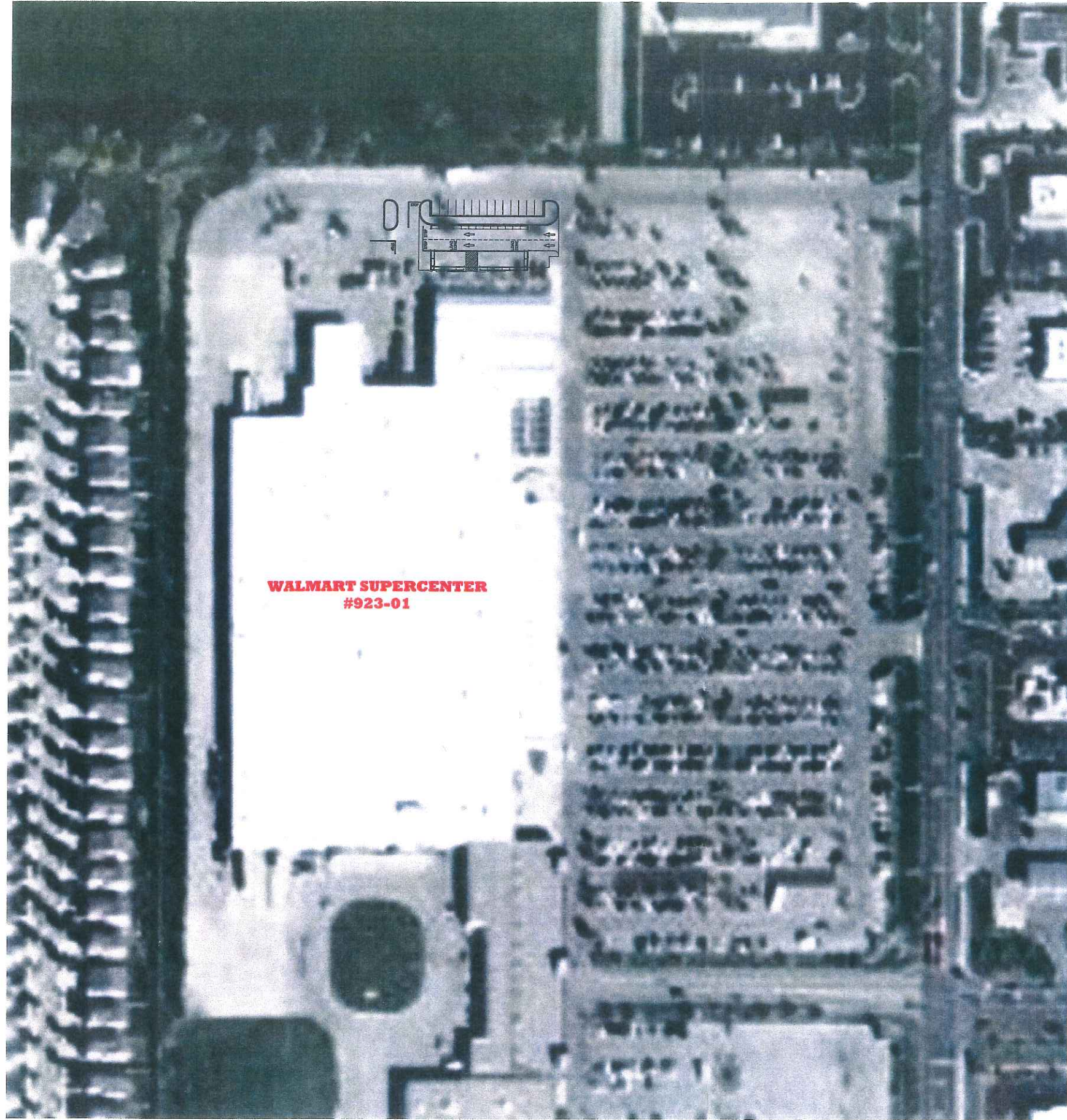
Printed Name of Declarant

Prepared by: Joyceann Yelton, Senior Planner, City of Noblesville, 16 South 10th Street, Noblesville, IN 46060 (317) 776-6325

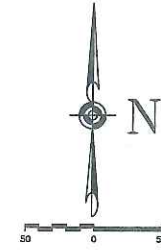
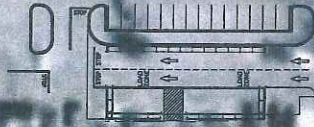
LAND DESCRIPTION
WALMART TAX PLAT

PART OF THE SOUTHEAST QUARTER OF SECTION 6, TOWNSHIP 18 NORTH, RANGE 5 EAST OF THE SECOND PRINCIPAL MERIDIAN IN HAMILTON COUNTY, INDIANA DESCRIBED AS FOLLOWS:

COMMENCING AT A HARRISON MONUMENT AT THE NORTHWEST CORNER OF SAID SOUTHEAST QUARTER SECTION; THENCE ON AN ASSUMED BEARING OF SOUTH 89 DEGREES 47 MINUTES 44 SECONDS EAST ALONG THE NORTH LINE OF SAID SOUTHEAST QUARTER SECTION A DISTANCE OF 528.00 FEET; THENCE SOUTH 00 DEGREES 23 MINUTES 43 SECONDS WEST PARALLEL WITH THE WEST LINE OF SAID SOUTHEAST QUARTER SECTION A DISTANCE OF 703.76 FEET; THENCE SOUTH 89 DEGREES 40 MINUTES 37 SECONDS EAST A DISTANCE OF 203.79 FEET TO THE NORTHEAST CORNER OF LAKECREST ADDITION, THE PLAT OF WHICH IS RECORDED IN PLAT BOOK 2, PAGE 187 IN THE OFFICE OF THE RECORDER OF HAMILTON COUNTY, INDIANA; THENCE SOUTH 00 DEGREES 24 MINUTES 21 SECONDS WEST ALONG THE EAST LINE OF SAID LAKECREST ADDITION A DISTANCE OF 10.24 FEET TO A 5/8 INCH REBAR WITH CAP MARKED "SCHNEIDER ENG FIRM #0001"; THENCE SOUTH 89 DEGREES 47 MINUTES 44 SECONDS EAST PARALLEL WITH THE NORTH LINE OF SAID SOUTHEAST QUARTER SECTION A DISTANCE OF 511.18 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 00 DEGREES 24 MINUTES 21 SECONDS WEST PARALLEL WITH THE EAST LINE OF SAID LAKECREST ADDITION A DISTANCE OF 968.32 FEET; THENCE SOUTH 89 DEGREES 35 MINUTES 39 SECONDS EAST A DISTANCE OF 176.57 FEET; THENCE NORTH 00 DEGREES 24 MINUTES 21 SECONDS EAST A DISTANCE OF 120.00 FEET; THENCE SOUTH 89 DEGREES 35 MINUTES 39 SECONDS EAST A DISTANCE OF 124.57 FEET; THENCE NORTH 00 DEGREES 24 MINUTES 21 SECONDS EAST A DISTANCE OF 30.00 FEET; THENCE SOUTH 89 DEGREES 35 MINUTES 39 SECONDS EAST A DISTANCE OF 201.37 FEET; THENCE SOUTH 00 DEGREES 24 MINUTES 21 SECONDS WEST A DISTANCE OF 31.55 FEET; THENCE SOUTH 89 DEGREES 35 MINUTES 39 SECONDS EAST A DISTANCE OF 118.13 FEET; THENCE SOUTH 00 DEGREES 24 MINUTES 21 SECONDS WEST A DISTANCE OF 137.97 FEET; THENCE SOUTH 89 DEGREES 35 MINUTES 39 SECONDS EAST A DISTANCE OF 283.50 FEET; THENCE NORTH 00 DEGREES 24 MINUTES 21 SECONDS EAST A DISTANCE OF 991.02 FEET; THENCE NORTH 89 DEGREES 47 MINUTES 44 SECONDS WEST PARALLEL WITH THE NORTH LINE OF SAID SOUTHEAST QUARTER A DISTANCE OF 904.14 FEET TO THE POINT OF BEGINNING. CONTAINING 18.900 ACRES, MORE OR LESS.



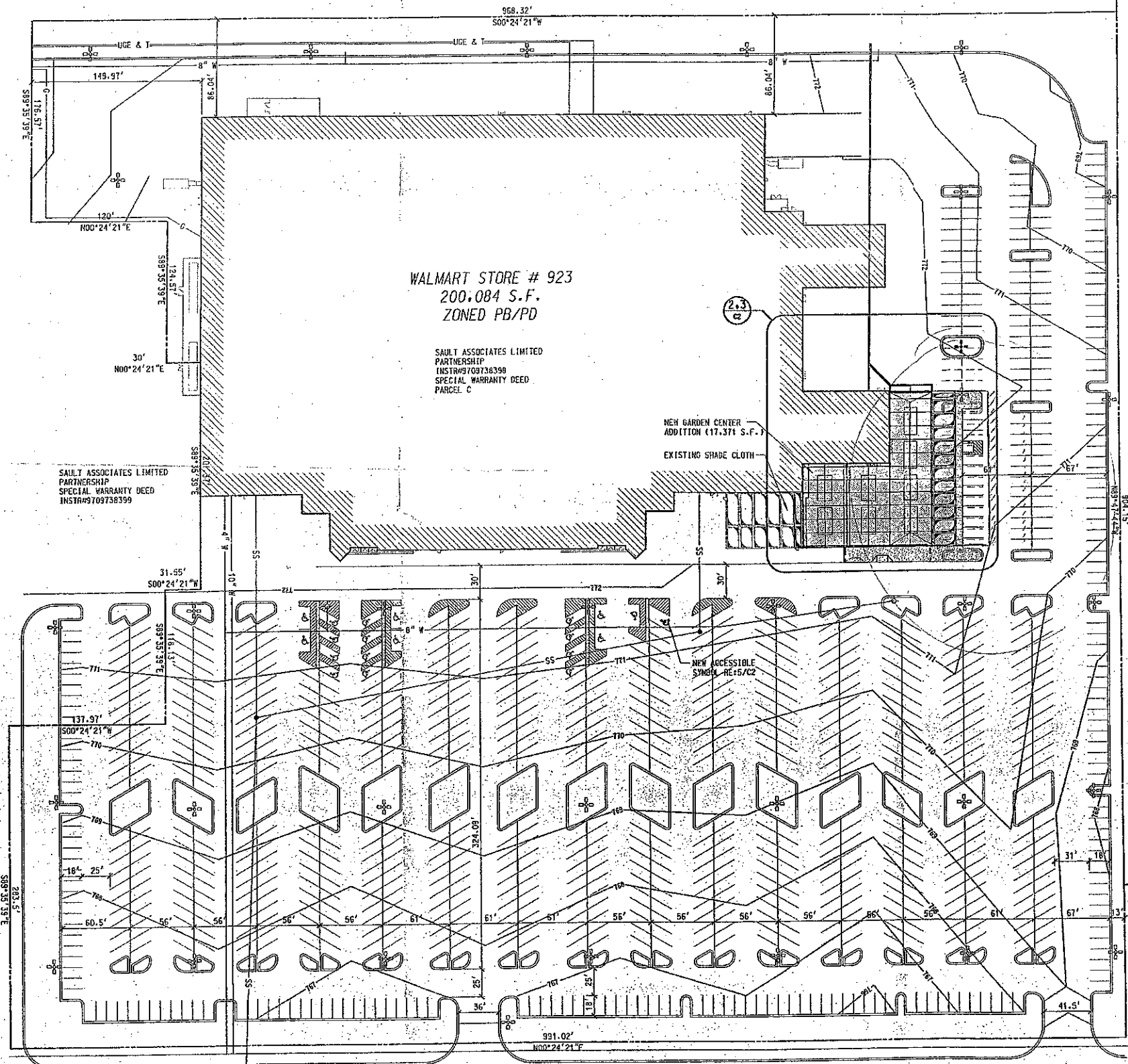
**WALMART SUPERCENTER
#923-01**



NOTE
THE INFORMATION SHOWN ON THIS PLAN WAS OBTAINED FROM PLANS PREPARED BY OHTER AND AERIAL PHOTOS OBTAINED FROM BING MAPS.

CONCEPTUAL SITE PLAN	
WALMART SUPERCENTER #923-01 NOBLESVILLE, INDIANA	
7088 LEDGESTONE COMMONS BARTLETT, TENNESSEE 38133 PH: (615) 384-0004 • FAX: (615) 384-0770	
DWG: noblesite DATE: JANUARY 25, 2010 SCALE: 1"=50' SHEET 1 OF 1	
SHEET:	PROJECT:
REVISIONS NO. DATE DESCRIPTION	

STONE CREEK VILLAGE SECTION I
INSTR#9709720575
PLAT CABINET 1, SLIDE #781
(RESIDENTIAL SUBDIVISION)



WALMART STORE # 923
200,084 S.F.
ZONED PB/PD

SAULT ASSOCIATES LIMITED
PARTNERSHIP
INSTR#9709738399
SPECIAL WARRANTY DEED
PARCEL C

SAULT ASSOCIATES LIMITED
PARTNERSHIP
SPECIAL WARRANTY DEED
INSTR#9709738399

SAULT ASSOCIATES LIMITED
PARTNERSHIP
SPECIAL WARRANTY DEED
INSTR#9709714253

NEW GARDEN CENTER
ADDITION (17,371 S.F.)
EXISTING SHADE CLOTH

NEW ACCESSIBLE
SYMBOL RE:5/C2

THE BOARD OF COMMISSIONERS
HAMILTON COUNTY, INDIANA
INSTR#9111783
QUIT CLAIM DEED
INSTR#9609610057
(COUNTY FAIRGROUNDS)

SAULT ASSOCIATES LIMITED
PARTNERSHIP
SPECIAL WARRANTY DEED
INSTR#9709714250

1 SITE PLAN
SCALE: 1" = 50'-0"

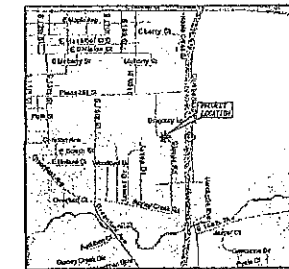
CLOVER ROAD

SITE CRITERIA

DESCRIPTION	EXISTING	PROPOSED
BUILDING AREA	200,084 S.F.	200,084 S.F.
GARDEN CENTER AREA	8233 S.F.	17,450 S.F.
GARDEN CENTER ADDITION		8,228 S.F.
PARKING		
REGULAR PARKING	970	950
ACCESSIBLE PARKING	20	20
TOTAL PARKING	990	970
PARKING RATIO WITHOUT GARDEN CENTER	4.99/1000 S.F.	4.09/1000 S.F.
PARKING RATIO WITH GARDEN CENTER	4.76/1000 S.F.	4.50/1000 S.F.

CAUTION EXISTING UTILITIES !!!

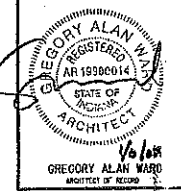
EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION TO TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.



VICINITY MAP
16865 CLOVER ROAD
NOBLESVILLE, IN 46060

NOTES:

- CONTRACTOR SHALL COORDINATE AND STAGE ALL WORK WITH ONE-STOP OPERATIONS AND THE CONSTRUCTION MANAGER.
- CONTRACTOR SHALL BE RESPONSIBLE OBTAINING REQUIRED PERMITS AND FOR CONTACTING THE CITY PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL TRASH AND BUILDING MATERIALS.
- FOR EXISTING PAVEMENT MARKINGS TO BE REMOVED, COORDINATE METHODS WITH CONSTRUCTION MANAGER.
- PAVEMENT MARKINGS: PAINT SHALL BE A CHLORINATED RUBBER ALKYL, FS TT-F-115, TYPE III, FACTORY MIXED, QUICK DRYING, NON-BLEEDING, COLOR TO MATCH EXISTING MARKINGS; SWEEP AND CLEAN SURFACE TO ELIMINATE LOOSE MATERIAL AND DUST. APPLY TWO (2) COATS OF PAINT PER MANUFACTURER'S RECOMMENDED RATE WITH TOTAL MINIMUM OF 100 TO 110 SF/GAL. APPLY WITH MECHANICAL EQUIPMENT TO PRODUCE UNIFORM STRAIGHT EDGES.
- ALL STRIPING TO BE 4" AT 2' O.C. @45° UNLESS OTHERWISE NOTED.
- PAVEMENTS: CONSTRUCTION MANAGER SHALL APPROVE ASPHALT MIX DESIGN PER CITY STANDARD PAVEMENT TO BE PLACED.
- UNLESS ELEVATION AND/OR CONTOURS ARE OTHERWISE SHOWN, NEW ASPHALT/CONCRETE SHALL BE CONSTRUCTED TO ALLOW FOR POSITIVE DRAINAGE TO CATCH BASIN, CURB, GUTTER, AND OTHER RUNOFF COLLECTION DEVICES. NEW PAVEMENT SLOPE SHALL BE MINIMUM 1.0% (MIN. 0.5% FOR CONCRETE) AND MAXIMUM 5%, UNLESS OTHERWISE INDICATED OR DIRECTED BY THE ARCHITECT/ENGINEER.
- EXISTING UTILITIES ARE SHOWN APPROXIMATELY AND FOR GENERAL INFORMATION PURPOSES ONLY. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES.
- TWO WORKING DAYS BEFORE YOU DIG AND PRIOR TO ANY EXCAVATION CALL THE INDIANA UNDERGROUND PLANT PROTECTION SERVICE 1-800-382-5544 FOR UNDERGROUND UTILITY LOCATIONS.
- CONTRACTOR SHALL REPAIR AND RESTORE ANY AREAS DESTROYED DURING CONSTRUCTION AT HIS OWN EXPENSE.
- CONTRACTOR TO MAINTAIN TRUCK TRAFFIC ACCESS TO TRUCK DOCK AND LOADING AREAS AT ALL TIMES.
- PARKING AREAS TO BE MARKED ACCORDING TO CITY ORDINANCE.
- CONTRACTOR TO PROVIDE EROSION CONTROL METHODS AS REQUIRED.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL RADII ARE 2.5 FEET UNLESS OTHERWISE NOTED.

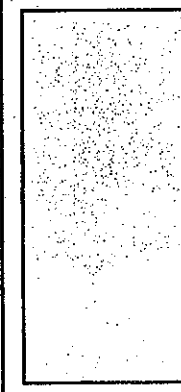


WALMART
SPECIAL PROJECTS
NOBLESVILLE, IN
STORE NO. 923
JOB NUMBER

ISSUE BLOCK

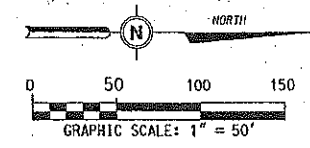
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01/06/03	REVISION

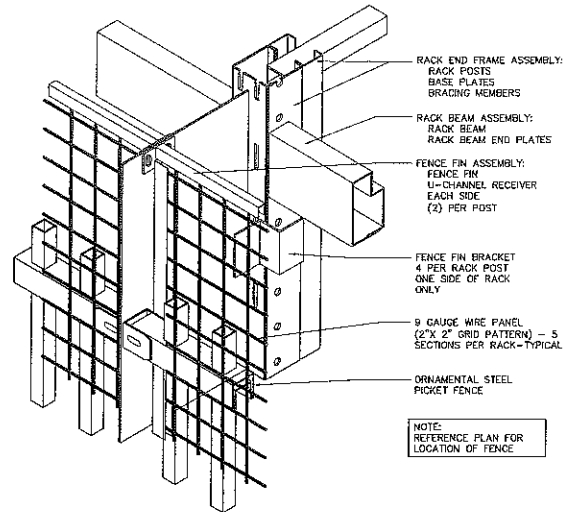
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DOCUMENT DATE: 01/06/03



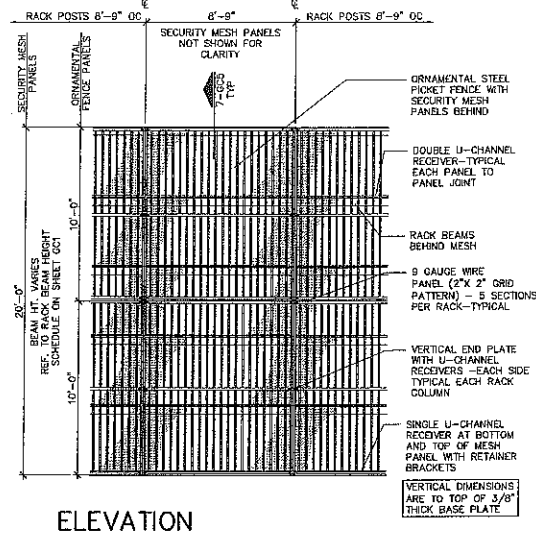
SITE PLAN
APPROVED

SHEET:
AS1

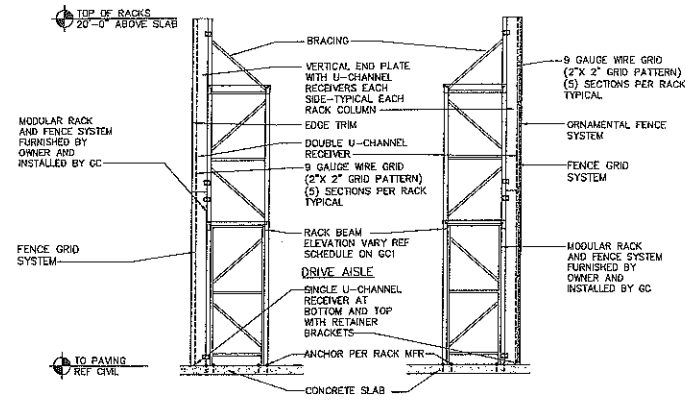




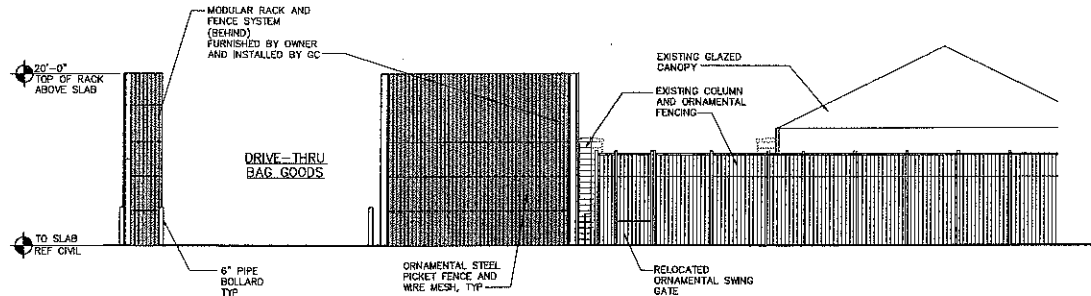
7 TYPICAL RACK POST ASSEMBLIES
NTS 051009



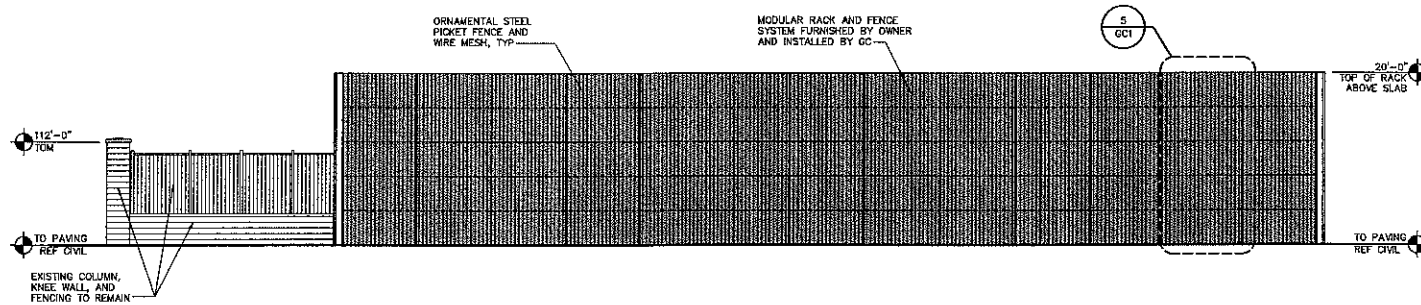
6 ELEVATION TYPICAL RACK/FENCE PANEL
1/4"=1'-0" 103108 C/GC050-002



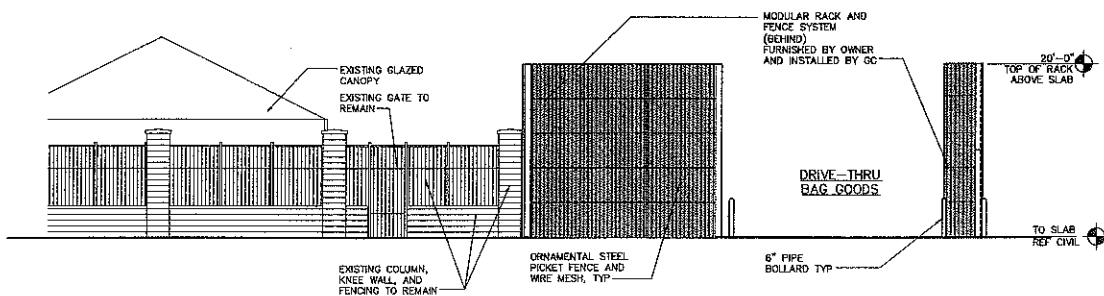
5 SECTION-TYPICAL RACK/FENCE PANEL
1/4"=1'-0" 103108 C/GC050-003



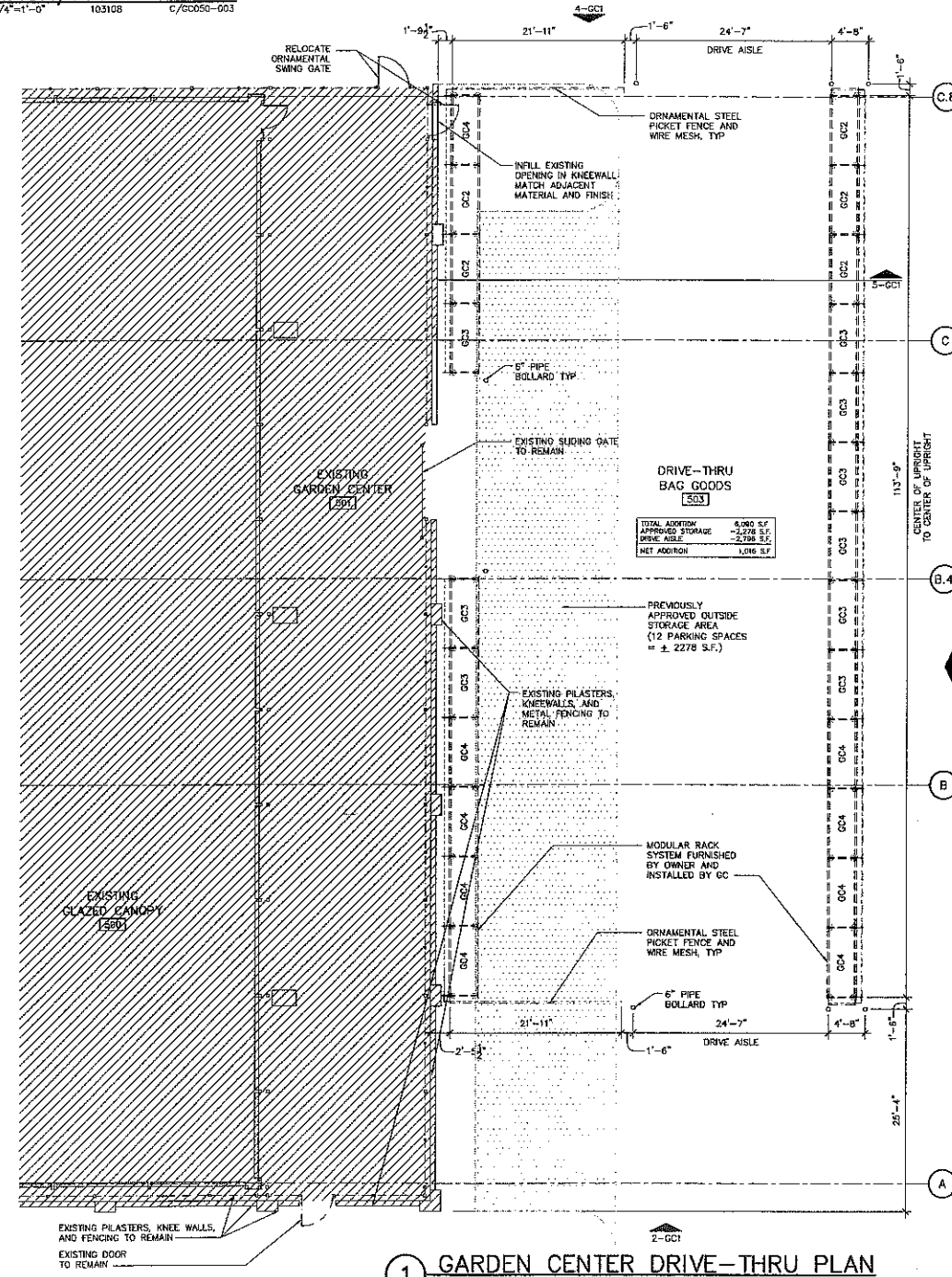
4 RACK / FENCE ELEVATION (REAR)
1/8"=1'-0" 121809



3 RACK / FENCE ELEVATION (SIDE)
1/8"=1'-0" 121809



2 RACK / FENCE ELEVATION (FRONT)
1/8"=1'-0" 121809



1 GARDEN CENTER DRIVE-THRU PLAN
1/8"=1'-0" 121809

Jan 12, 2010 - 10:44am - USER: czebo.bct@tdc.com
M:_Replicated\04\GC & FA\323 Noblesville IN\Entitlement Draw\323-gc01.dwg

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10/11/10

CONSULTANTS:

Walmart IN
NOBLESVILLE, IN
STORE NO. 923
JOB NUMBER: 09830015 PROJECT: LBB

ISSUE BLOCK

CHECKED BY: CAB
DRAWN BY: CAB
FILE NAME: 923-gc010
PROJECT: 186
DOCUMENT DATE: 01/25/10

GARDEN CENTER ELEVATIONS AND DETAILS

SHEET: GC1