

**ZONING COMMITMENTS CONCERNING THE DEVELOPMENT
AND USE OF REAL ESTATE**

Cross-Reference: 200600006844 and 200600006845

In accordance with the Indiana Code Section 36-7-4-615 and Indiana Code 36-7-4-1512 et seq., the undersigned, Twin Oaks of Noblesville LLC, ("Developer"), the owner of the following described real estate located in Hamilton County, Indiana, makes the following commitments concerning the use and development of real estate ("Commitments") to the Noblesville Common Council.

Section 1. Description of Real Estate. Real estate is described on Exhibit "A", attached hereto and incorporated herein (the "Real Estate").

Section 2. Cross References. Commitments are made in connection with approvals obtained under Docket Numbers 05J-14-1446 and 05J-15-1447, and Ordinance Numbers 79-10-05 and 80-10-05 (the "Ordinance") recorded as instrument numbers 200500076273 and 200376274 in the Office of the Recorder of Hamilton County, Indiana.

Section 3. Commitments.

1. The minimum buffer yard width along the south property line adjoining the Noble West PUD shall be 50'.
2. Within the western most 1,360 feet of the buffer yard adjoining the Noble West PUD, the Developer shall install forty-five (45) evergreen trees. These trees are in addition to the deciduous and ornamental trees identified on the Overall Landscape Concept Plan.
3. The Temporary Real Estate Sales Office Use noted in Exhibit "E" of the Ordinance shall not utilize a temporary structure. Upon receipt of a Certificate of Occupancy all real estate sales for the subdivision shall be operated from a model home.

Section 4. Binding on Successors.

These Commitments are binding on the owner of the Real Estate, and any subdivider of the Real Estate, unless modified or terminated by the Common Council. These Commitments may be modified or terminated only by a decision of the Plan Commission after a public hearing wherein notice as provided by the rules of the Plan Commission has been made. The applicant may appeal any decisions of the Plan Commission to the Common Council.

Section 5. Effective Date. The Commitments contained herein shall be effective upon the occurrence of all of the following events:

- A. The adoption of an ordinance by the Common Council of the City of Noblesville, Indiana, assigning the requested R1/PD Zone Classification to the Real Estate;

Jennifer J Hayden
HAMILTON County Recorder IN
IN 2006074249 MISC
12/15/2006 11:33:22 3 PGS
Filing Fee: \$19.00

Exhibit "A"
OVERALL LAND DESCRIPTION

The Southwest Quarter of Section 10, Township 18 North, Range 4 East, Noblesville Township, Hamilton County, Indiana.

EXCEPT:

A certain tract of parcel of land in Hamilton County, in the State of Indiana, described as follows:

A part of the Southwest Quarter of Section 10, Township 18 North, Range 4 East, located in Noblesville Township, Hamilton County, Indiana, being bounded as follows:

Beginning at the Southwest corner of the Southwest Quarter of Section 10, Township 18 North, Range 4 East; thence North 00 degrees 49 minutes 19 seconds East (assumed bearing) 953.00 feet on and along the West line of said Southwest Quarter; thence South 89 degrees 27 minutes 07 seconds East a distance of 457.08 feet parallel with the South line of Said Southwest Quarter; thence South 00 degrees 49 minutes 19 seconds West 953.00 feet parallel with the West line of said Southwest Quarter to a point on the South line of said Southwest Quarter; thence North 89 degrees 27 minutes 07 seconds West a distance of 457.08 feet to the Point of Beginning.

The entire parcel contains 150.08 acres more or less.

- B. The acquisition of the Real Estate by the Developer or its successors and assigns; and
- C. The commencement of the development of the Real Estate in accordance with the assignment of the requested R1/PD zone Classification.

IN WITNESS WHEREOF, TWIN OAKS OF NOBLESVILLE LLC, , has caused these Commitments to be executed this 15 day of ~~November~~, 2006.

~~NOVEMBER~~
DECEMBER
TWIN OAKS OF NOBLESVILLE LLC

By: West Noblesville Township, LLC, Manager

By: *Jose Kreutz*
Jose Kreutz, Co-Manager

STATE OF INDIANA)
) SS:
COUNTY OF MARION)

Before me the undersigned, a Notary Public in and for said County and State, personally appeared Jose Kreutz, as Co-Manager of West Noblesville Township, LLC, the Manager of Twin Oaks of Noblesville LLC, and having been duly sworn, acknowledged execution of the foregoing Commitments.

Witness my hand and Notarial Seal this 15th day of ~~November~~, 2006.

My Commission Expires:
2/1/13

Scott L Saucedo
Notary Public

Residing in HAMILTON County

SCOTT L SAUCEDO
Printed Name

Instrument prepared by Jon C. Dobosiewicz, Indiana Land Group, LLC, 23 South 8th Street, Noblesville, Indiana 46060

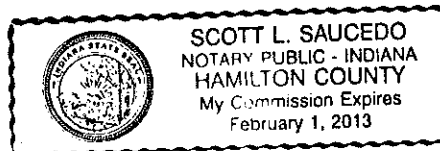


EXHIBIT D-1:
ARCHITECTURAL BUILDING REQUIREMENTS
TWIN OAKS: TWO STORY HOMES

Section 1. Definitions.

- A. Ridge line. The intersection of two horizontal roof planes, or the angle formed by them, which form the peak of a pitched area. A hip roof shall be the equivalent of only one ridge line.
- B. Front Facing Garage Doors. A garage door that is parallel to the front elevation of the home.
- C. Overhang. The portion of the roof structure that extends beyond the exterior walls of a home offering it protection from the elements.
- D. Masonry. Brick, limestone, natural stone, cultural stone, stucco and EIFS or other similar building material or a combination of the same, bonded together with mortar to form a wall, buttress or similar mass.
- E. Natural Materials. Brick, wood, limestone, concrete fiber board (Hardiplank or similar materials), or natural stone.
- F. Corner Lot. A Lot having frontage on two (2) public streets.

Section 2. Architectural Standards.

- A. **STRUCTURAL, LANDSCAPING, ARCHITECTURAL**
 - 1. **RIDGE LINES:**
 - a. A two story home shall have a minimum of four (4) ridge lines.
 - 2. **CORNER BREAKS:**
 - a. A two story home shall have a minimum of three (3) corner breaks on the four facades of the structure. In any instance where this requirement is not met on a rear or side façade a ridge line and minimum of eight (8) windows will be provided on the rear façade.
 - 3. **WINDOWS:**
 - a. A two story home shall have a minimum of four (4) windows on the front facade of the structure.
(**Corner Lots**): the side (non front door) facades abutting the public roadway shall have a minimum of three (3) windows.

- b. A two story home shall have a minimum of three (3) windows on each of the two side facades.
 - c. A two story home shall have a minimum of six (6) windows on the rear facade of the structure.
 - d. A two story home shall have a minimum aggregate of eighteen (18) windows.
4. **FOUNDATION:**
- a. Exposed concrete or block foundations are limited to four (4) inches or the minimum required by the applicable building code, whichever is greater.
5. **GARAGE DOOR PERCENTAGE (OF FAÇADE):**
- a. Two story homes with front facing garage doors shall have a maximum garage door façade covering of 20%. For the purposes of this calculation, doors and windows shall count toward the overall façade square footage. The percentage may be exceeded only on a home with a 3-stall garage option as long as the 2-stall garage door façade conforms to the maximum.
6. **FRONT LOAD GARAGE:**
- a. Garages with front facing doors must be on a separate plane from the main body of the residence. The garage must be recessed or projected from the main house plane a minimum of four (4) feet and a maximum of twelve feet. In an instance where this requirement is not met an additional ridge line will be provided on the front facing façade.
7. **FRONT PORCHES:**
- a. One front covered landing, stoop or porch is required on all homes. The minimum size shall be 30 square feet and no less than four (4) feet in width or depth.
8. **ROOF PITCH:**
- a. The minimum roof pitch of the main roof of the residence shall be 6/12. Secondary elements such as porches, bays, walkways, etc., may be covered with a lower roof pitch.
9. **EQUIPMENT VENTS:**
- a. Vents shall be located to the rear half of the home. All vents will be positioned to be minimally visible from the street and shall be painted to match the roofing material, black, or for those made of metal, left natural.
10. **OVERHANGS:**
- a. The roof overhangs shall be a minimum of 12". Secondary elements such as porches, bays, walkways, etc., may be covered with fewer inches of overhang.
11. **FRONT LANDSCAPING:**
- a. Street trees shall be provided 40' to 60' on center along all interior street frontages.

- b. Two (2) shade trees, and twelve (12) shrubs shall be placed in the front of the home.
- c. A planting bed (minimum 2' width) will be provided along 100% of the front facade unless adjacent to garage doors.
- d. (**Corner Lots**): the side (non front door) facades abutting the public roadway shall be subject to the requirements of subparagraph b. and c. of this section unless the façade contains the garage door in which case this requirement is superseded by requirement A.12. Side Landscaping below.

12. SIDE LANDSCAPING:

- a. A minimum of one (1) ornamental tree and ten (10) shrubs shall be planted in each side yard.
- b. A planting bed (minimum 2' width) will be provided along 100% of each side facade unless adjacent to a garage door.

13. REAR LANDSCAPING:

- a. Each home shall have a minimum rear landscape package containing one (1) tree.

14. NATURAL MATERIALS:

- a. Each home shall have a minimum of 50% of the front façade containing masonry materials (not including doors and windows). The following plan numbers shall be required less masonry as approved by the ARB: 40-2220 C, 40-2220 D, 40-2705 A, 40-2705 C, 40-3072 A, 40-3072 C, 40-3072 D. (**Corner Lots**): this requirement applies to both facades abutting the public roadway.
- b. Each home shall have a minimum of 100% of the remaining façade area containing natural materials (not including doors and windows). Architectural Classics II Shake vinyl siding shall be a permitted material on the front façade.

15. SHUTTERS AND/OR ARCHITECTURAL REQUIREMENTS:

- a. All windows shall have either shutters and/or architectural treatment. For windows in brick façade, the treatment shall be of natural or masonry materials and be applied to the sill and header at a minimum. For windows in a non-brick façade, the treatment shall be of natural materials and be applied to the sill, header and jams. The width of the architectural treatment shall be a minimum of 1/2 the vertical reveal dimension of the base siding material.

B. SITE DEVELOPMENT

- 1. Ponds within the subdivision have been designed as a neighborhood amenity. While less formal in character both provide visual interest within their respective settings. Both have been landscaped to enhance the quality of the space by defining the edge between common areas and private lots. The pond located adjacent to the amenity center is also intended to serve as a backdrop to the pool house.

2. Entrance Treatments will establish the character of the neighborhood which will be carried throughout the large park, Swim Club, perimeter roadway buffers, and interior streetscapes.
3. Corner lots have received additional treatments on the side of the home and yard adjacent to the street as specifically noted in the requirements of Section A. above.

C. GENERALLY RELATED ITEMS

1. All windows shall have either shutters and/or architectural treatment.
2. In counting windows, a double window will count as two windows and a sliding glass patio door will count as a window and the permanent glass adjacent to a door will count as a window. Except as noted in this section one window for the purposes of calculating the required number of windows shall have a minimum area of eight (8) square feet. Windows of less than eight (8) square feet shall count towards the requirements only when their aggregate is greater than eight (8) square feet in area. (example: Three six (6) square foot windows, 18 square feet total, would equal two windows for the purposes of calculating the required number of windows.
3. The minimum caliper of street trees shall be 2-1/2", measured at 12" above grade.
4. Shade trees shall have a minimum caliper of 2-1/2" measured at 12" above grade.
5. The minimum caliper of ornamental trees shall be 1-1/2" measured at 12" above grade or for multi-trunk trees, 10' tall planted.
6. Shrubs shall be a minimum of 24" tall at planting.
7. 25% of required shrubs may be substituted with perennial plants at the rate of 4 perennials per 1 shrub.

D. SPECIFICALLY RELATED ITEMS

1. Covered, but non-enclosed, porches shall count toward the ridgeline requirement if the roof extends to the main roofline of the residence or if the gable end of the porch covering has architectural treatment.
2. Corner breaks shall only be counted if they form "exterior" corners along the façade. The "exterior" corners of a covered porch, the outermost corners of the residence, and a projection with a height of no less than six feet shall count toward this requirement.
3. Any façade area within a dormer projecting from a roof area shall not be counted in the calculation for the percent of masonry required on a front elevation.
4. No two homes of the same plan number and elevation may be constructed next door to or directly across the street from one another.

Section 3. Administration.

- A. The City of Noblesville Planning Staff has the authority to determine if a specific house plan meets these architectural building requirements and may allow deviations from the above standards so long as the deviations are in conformance with the intent of the established architectural requirements.

EXHIBIT D-2:
ARCHITECTURAL BUILDING REQUIREMENTS
TWIN OAKS: RANCH HOMES

Section 1. Definitions.

- A. Ridge line. The intersection of two horizontal roof planes, or the angle formed by them, which form the peak of a pitched area. A hip roof shall be the equivalent of only one ridge line.
- B. Front Facing Garage Doors. A garage door that is parallel to the front elevation of the home.
- C. Overhang. The portion of the roof structure that extends beyond the exterior walls of a home offering it protection from the elements.
- D. Masonry. Brick, limestone, natural stone, cultural stone, stucco and EIFS or other similar building material or a combination of the same, bonded together with mortar to form a wall, buttress or similar mass.
- E. Natural Materials. Brick, wood, limestone, concrete fiber board (Hardiplank or similar materials), or natural stone.
- F. Corner Lot. A Lot having frontage on two (2) public streets.

Section 2. Architectural Standards.

A. STRUCTURAL, LANDSCAPING, ARCHITECTURAL

1. RIDGE LINES:

- a. A one story home shall have a minimum of 3 ridge lines.

2. CORNER BREAKS:

- a. A one story home shall have a minimum of three (3) corner breaks on the four facades of the structure. In any instance where this requirement is not met on a rear or side façade a ridge line and minimum of five (5) windows will be provided on the rear façade.

3. WINDOWS:

- a. A one story home shall have a minimum of one (1) window on the front facade of the structure. Each home lacking a minimum of three (3) windows on the front façade shall have one additional tree planted in the front yard. Plan #: 40-04 (1690) Elevation "C" shall require 2 (two) windows on the front elevation.

(Corner Lots): the side (non front door) facades abutting the public roadway shall meet the requirements of this section, unless the façade contains the garage door in which case this requirement is superseded by requirement A.3.b. below.

- b. A one story home shall have a minimum of two (2) windows on the each of the two side facades with a minimum aggregate of five (5) windows on the two side facades.
- c. A one story home shall have a minimum of five (5) windows on the rear facade of the structure.
- d. A one story home shall have a minimum aggregate of ten (10) windows.

4. FOUNDATION:

- a. Exposed concrete or block foundations are limited to four (4) inches or the minimum required by the applicable building code, whichever is greater.

5. GARAGE DOOR PERCENTAGE (OF FAÇADE):

- a. One story homes with front facing garage doors shall have a maximum garage door façade covering of 33%. For the purposes of this calculation, doors and windows shall count toward the overall façade square footage. The percentage may be exceeded only on a home with a 3-stall garage option as long as the 2-stall garage door façade conforms to the maximum.

6. FRONT LOAD GARAGE:

- a. Garages with front facing doors must be on a separate plane from the main body of the residence. The garage must be recessed or projected from the main house plane a minimum of three (3) feet and a maximum of twelve feet. In any instance where this requirement is not met a ridge line will be provided above the garage offset.

7. FRONT PORCHES:

- a. One front covered landing, stoop or porch is required on all homes. The minimum size shall be 30 square feet and no less than four (4) feet in width or depth.

8. ROOF PITCH:

- a. The minimum roof pitch of the main roof of the residence shall be 6/12. Secondary elements such as porches, bays, walkways, etc., may be covered with a lower roof pitch.

9. EQUIPMENT VENTS:

- a. Vents shall be located to the rear half of the home. All vents will be positioned to be minimally visible from the street and shall be painted to match the roofing material, black, or for those made of metal, left natural.

10. **OVERHANGS:**
 - a. The roof overhangs shall be a minimum of 12". Secondary elements such as porches, bays, walkways, etc., may be covered with fewer inches of overhang.

11. **FRONT LANDSCAPING:**
 - a. Street trees shall be provided 40' to 60' on center along all interior street frontages.
 - b. Two (2) shade trees, and twelve (12) shrubs shall be placed in the front of the home.
 - c. A planting bed (minimum 2' width) will be provided along 100% of the front facade unless adjacent to garage doors.
 - d. **(Corner Lots):** the side (non front door) facades abutting the public roadway shall be subject to the requirements of subparagraph b. and c. of this section unless the facade contains the garage door in which case this requirement is superseded by requirement A.12. Side Landscaping below.

12. **SIDE LANDSCAPING:**
 - a. A minimum of one (1) ornamental tree and ten (10) shrubs shall be planted in each side yard.
 - b. A planting bed (minimum 2' width) will be provided along 100% of each side facade unless adjacent to a garage door.

13. **REAR LANDSCAPING:**
 - a. Each home shall have a minimum of one (1) tree in the rear yard.

14. **NATURAL MATERIALS:**
 - a. Each home shall have a minimum of 50% of the front facade containing masonry materials (not including doors and windows).
(Corner Lots): this requirement applies to both facades abutting the public roadway.
 - b. Each home shall have a minimum of 100% of the remaining facade area containing natural materials (not including doors and windows). Architectural Classics II Shake vinyl siding shall be a permitted material on the front facade.

15. **SHUTTERS AND/OR ARCHITECTURAL REQUIREMENTS:**
 - a. All windows shall have either shutters and/or architectural treatment. For windows in brick facade, the treatment shall be of natural or masonry materials and be applied to the sill and header at a minimum. For windows in a non-brick facade, the treatment shall be of natural materials and be applied to the sill, header and jams. The width of the architectural treatment shall be a minimum of 1/2 the vertical reveal dimension of the base siding material.

B. SITE DEVELOPMENT

1. Ponds within the subdivision have been designed as a neighborhood amenity. While less formal in character both provide visual interest within their respective settings. Both have been landscaped to enhance the quality of the space by defining the edge between common areas and private lots. The pond located adjacent to the amenity center is also intended to serve as a backdrop to the pool house.
2. Entrance Treatments will establish the character of the neighborhood which will be carried throughout the large park, Swim Club, perimeter roadway buffers, and interior streetscapes.
3. Corner lots have received additional treatments on the side of the home and yard adjacent to the street as specifically noted in the requirements of Section A. above.

C. GENERALLY RELATED ITEMS

1. All windows shall have either shutters and/or architectural treatment.
2. Except for bathroom windows, utility room windows, and windows located above a kitchen sink all windows shall be a minimum of eight (8) square feet in order to count towards the requirements. In a bathroom, utility room, or above a kitchen sink a window shall have a minimum of six (6) square feet in order to count towards the requirements.
3. In counting windows, a double window will count as two windows and a sliding glass patio door will count as a window and the permanent glass adjacent to a door will count as a window. A door on a side elevation may be counted as the equivalent of one window for the purposes of calculating the number of required windows.
4. The minimum caliper of street trees shall be 2-1/2", measured at 12" above grade.
5. Shade trees shall have a minimum caliper of 2-1/2" measured at 12" above grade.
6. The minimum caliper of ornamental trees shall be 1-1/2" measured at 12" above grade or for multi-trunk trees, 10' tall planted.
7. Shrubs shall be a minimum of 24" tall at planting.
8. 25% of required shrubs may be substituted with perennial plants at the rate of 4 perennials per 1 shrub.

D. SPECIFICALLY RELATED ITEMS

1. Covered, but non-enclosed, porches shall count toward the ridgeline requirement if the roof extends to the main roofline of the residence or if the gable end of the porch covering has architectural treatment.
2. Corner breaks shall only be counted if they form "exterior" corners along the façade. The "exterior" corners of a covered porch, the outermost corners of the residence, and a projection with a height of no less than six feet shall count toward this requirement.
3. Any façade area within a dormer projecting from a roof area shall not be counted in the calculation for the percent of masonry required on a front elevation.
4. No two homes of the same plan number and elevation may be constructed next door to or directly across the street from one another.

Section 3. Administration.

- A. The City of Noblesville Planning Staff has the authority to determine if a specific house plan meets these architectural building requirements and may allow deviations from the above standards so long as the deviations are in conformance with the intent of the established architectural requirements.

EXHIBIT D-3:
ARCHITECTURAL BUILDING REQUIREMENTS
TWIN OAKS: POOL HOUSE AND AMENITIES

Section 1. Definitions.

- A. **Ridge line.** The intersection of two horizontal roof planes, or the angle formed by them, which form the peak of a pitched area. A hip roof shall be the equivalent of only one ridge line.
- B. **Natural Materials.** Brick, wood, limestone, concrete fiber board (Hardiplank or similar materials), or natural stone.
- C. **Overhang.** The portion of the roof structure that extends beyond the exterior walls of a home offering it protection from the elements.
- D. **Masonry.** Brick, limestone, natural stone, cultural stone, stucco and EIFS or other similar building material or a combination of the same, bonded together with mortar to form a wall, buttress or similar mass.

Section 2. Architectural Standards.

A. STRUCTURAL, LANDSCAPING, ARCHITECTURAL

- 1. RIDGE LINES:**
 - a. The pool house shall have a minimum of three (3) ridge lines.
- 2. CORNER BREAKS:**
 - a. The pool house shall have a minimum of three (3) corner breaks on the four facades of the structure.
- 3. WINDOWS:**
 - a. The pool house shall have a minimum aggregate of four (4) windows.
- 4. FOUNDATION:**
 - a. Exposed concrete foundations are not permitted.
- 5. GARAGE DOOR PERCENTAGE (OF FAÇADE):**
Not applicable.
- 6. FRONT LOAD GARAGE:**
Not applicable.
- 7. FRONT PORCHES:**

- a. One front covered landing, stoop or porch a minimum of 30 square feet shall be provided.
8. **ROOF PITCH:**
 - a. The minimum roof pitch of the main roof shall be 6/12. Secondary elements such as porches, bays, walkways, etc., may be covered with a lower roof pitch.
9. **EQUIPMENT VENTS:**
 - a. Vents shall be located to the rear half of the structure. All vents will be positioned to be minimally visible from the street and shall be painted to match the roofing material, black, or for those made of metal, left natural.
10. **OVERHANGS:**
 - a. The roof overhangs shall be a minimum of 12" for all facades. Secondary elements such as porches, bays, walkways, etc., may be covered with fewer inches of overhang.
11. **FRONT LANDSCAPING:**
 - a. Street trees shall be provided 40' to 60' on center along all interior street frontages.
 - b. Two (2) shade trees, and ten (10) shrubs shall be placed in the front of the pool house.
 - c. A planting bed (minimum 2' width) will be provided along 100% of the front facade unless adjacent to doors.
12. **SIDE LANDSCAPING:**
 - a. A minimum of two (2) ornamental trees and eighteen (18) shrubs shall be planted in each side yard.
 - b. A planting bed (minimum 2' width) will be provided along 100% of each side facade unless adjacent to a door.
 - c. A planting bed (minimum 2' width) will be provided along 100% of each side of the pool fence unless adjacent to a gate.
13. **REAR LANDSCAPING:**
 - a. The pool area shall have a minimum rear landscape package containing ten (10) trees and twenty (20) shrubs.
 - b. A planting bed (minimum 2' width) will be provided along 100% of the rear of the pool fence unless adjacent to a gate.
14. **NATURAL MATERIALS:**
 - a. The pool house shall have a minimum of 40% of the front and 30% of the side façades containing masonry materials (not including doors and windows).
 - b. The remainder of the pool house façades shall contain natural materials (not including doors and windows).
15. **SHUTTERS AND/OR ARCHITECTURAL REQUIREMENTS:**
 - a. All windows shall have either shutters and/or architectural treatment. The treatment shall be of natural or masonry materials and be applied to the sill,

header and jams. The width of the architectural treatment shall be a minimum of 1/2 the vertical reveal dimension of the base siding material.

B. SITE DEVELOPMENT

1. Ponds within the subdivision have been designed as a neighborhood amenity. While less formal in character both provide visual interest within their respective settings. Both have been landscaped to enhance the quality of the space by defining the edge between common areas and private lots.

C. GENERALLY RELATED ITEMS

1. Shade trees shall have a minimum caliper of 2-1/2" measured at 12" above grade.
2. The minimum caliper of street trees shall be 2-1/2", measured at 12" above grade.
3. The minimum caliper of ornamental trees shall be 1-1/2" measured at 12" above grade or for multi-trunk trees, 10' tall planted.
4. Shrubs shall be a minimum of 24" tall at planting.
5. 25% of required shrubs may be substituted with perennial plants at the rate of 4 perennials per 1 shrub.

D. SPECIFICALLY RELATED ITEMS

1. Corner breaks shall be counted if they form corners along the façade.

Section 3. Administration.

- A.** The City of Noblesville Planning Staff has the authority to determine the pool house plan meets these architectural building requirements and may allow deviations from the above standards so long as the deviations are in conformance with the intent of the established architectural requirements.

Exhibit "E"
TEMPORARY REAL ESTATE SALES OFFICE USE

The Temporary real estate sales office use will consist of an office operated from temporary structure, and a maximum of seven (7) accessory model homes. Such use shall require a permit by the Director and such permit shall be valid for the duration of home sales within the subdivision.

This use shall also be subject to the following conditions:

- A. The use shall be located near the entrance of the development, on a combination of lots 1,2,3 and lots 327 thru 334, so as to avoid undue traffic through the developing site.
- B. Two (2) off-street parking spaces shall be provided and maintained for each structure proposed for a sales use.
- C. The use shall be required to install a sign indicating the location of off-street parking. Said sign shall be a maximum of four square feet in size.
- D. An American flag and the corporate flag of the builder shall be permitted.
- E. Each model home and the temporary sales office in Twin Oaks shall be permitted, a sign indicating model name and other incidental information.

The temporary structure shall be required to meet the following standards:

- A. Meet all building setback requirements of the respective district.
- B. Landscaping at a minimum rate of 12 shrubs and 2 trees per. All landscaping shall be installed in compliance with the type standards required by Article 12 of the Unified Development Ordinance.
- C. Skirting shall be installed around 360 degrees of the structure.
- D. Must have indoor plumbing.
- E. The structure shall be removed upon completion of home sales within the subdivision.

OPEN SPACE & DENSITY EXHIBIT
TWIN OAKS OF NOBLESVILLE

Total Acres of Open Space: 42.41 acres

50' buffer area = 16.51 acres
Park Amenity area = 14.81 acres
Swim Club area = 6.28 acres
Remaining common areas 4.81 acres

Open Space Percentage: 29.37%

Number of Homes: 334 homes

Net Acreage (NA = DA - r/w - PA): 138.93 acres

Deeded Acreage (DA): 150.08 acres
Perimeter street right of way (r/w): 5.68 acres
Total pond area (PA): 5.47 acres

Net Density: Number of Homes / Net Acreage = **2.40 homes per acre**

Miles of Publicly Dedicated Streets: 3.99 miles