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Jennifer J Hayden
HAMILTON County Recorder IN
Recorded as Presented

ORDINANCE NO. 61-11-07

AN ORDINANCE (i) TO AMEND THE ZONING ORDINANCE, A PART OF THE
MASTER PLAN OF THE CITY OF
NOBLESVILLE, HAMILTON COUNTY, INDIANA AND (ii) AMENDING,
REPLACING, AND SUPERSEDING PD ORDINANCE NO. 45-6-03

Document Cross Reference: Instrument Number: 200300072860

This is an Ordinance (the "PD Amendment") (i) amends the Unified Development Ordinance of the City of Noblesville, Hamilton County, Indiana, enacted by the City of Noblesville under authority of Chapter 174 of the Acts of the Indiana General Assembly 1947, as amended (the "Zoning Ordinance") and (ii) amends, replaces and supersedes PD Ordinance No. 45-6-03 (the "Original PD").

WHEREAS, the Plan Commission of the City of Noblesville (the "Commission") has conducted a public hearing as required by law in regard to the application for approval of a preliminary development plan and this PD Ordinance filed by Arbor Homes, LLC for the real estate (i) containing approximately 165.4 acres, legally described on Exhibit "1" hereto, and located in Noblesville Township, Noblesville, Indiana (the "Real Estate") and (ii) located within the Corporate Campus Park District set forth in Article 8 of the Zoning Ordinance (the "Corporate Campus Park District"); and

WHEREAS, the Commission has sent to the Common Council of the City of Noblesville, Indiana (the "Common Council") its recommendation adopted on the 19th day of Noblesville, 2007.

NOW, THEREFORE, BE IT ORDAINED by the Common Council, meeting in regular session, that the Zoning Ordinance and the zone map (the "Zone Map") corresponding to the Zoning Ordinance are hereby amended as follows:

SECTION 1. OVERALL CLASSIFICATION. The Real Estate is classified as Corporate Campus Park District Single Family Residential with an Overlay Subdistrict of Mixed Residential.

SECTION 2. ADDITIONAL EXHIBITS.

- A. Attached hereto and incorporated herein by reference as Exhibit "2", is the approved preliminary development plan (collectively, the "Preliminary Plan").
- B. Attached hereto and incorporated herein by reference as Exhibit "3", are development standards matrix and lot guidelines (collectively, the "Development Standards Matrix and Lot Guidelines").
- C. Attached hereto and incorporated herein by reference as Exhibit "4", are parking provisions and illustrations (collectively, the "Residential Lot Design Guidelines").
- D. Attached hereto and incorporated herein by reference as Exhibit "5", are buffer details (the "Buffer Details").
- E. Attached hereto and incorporated herein by reference as Exhibit "6", are open space provisions and illustrations (collectively, the "Open Space Provisions and Illustrations").

- F. Attached hereto and incorporated herein by reference as Exhibit “7” are density and open space calculations (collectively, the “Density and Open Space Calculations”).
- G. Attached hereto and incorporated herein by reference as Exhibit “8”, are additional streetscape provisions (collectively, the “Additional Streetscape Provisions”).

SECTION 3. ELEVATIONS. Elevations for the single family dwellings shall be as follows:

- A. The Elevations of Street Accessed Homes, approved by the ARB in connection with the enactment of the Original PD, were approved by and incorporated as Exhibit 9 into the Original PD, and are also approved by and incorporated by reference in this PD Amendment.
- B. All residences shall have a 12” overhang on all sides.

SECTION 4. PUD DEVELOPMENT STANDARDS. This PD Amendment and its exhibits permit variations from the development standards, specifications, guidelines, and/or requirements contained in the Corporate Campus Park District, including provisions permitting (i) front yard set backs varying between twenty (20) and thirty (30) feet for Street Accessed Homes (ii) a five (5) foot side yard set back for Street Accessed Homes, (iii) base lot widths shall be a minimum of fifty (50) feet, and sixty (60) feet as shown on the Preliminary Development Plan, (iv) minimum lot areas shall be five thousand five hundred (5,500) square feet for all fifty (50) foot wide lots, and six thousand six hundred (6,600) square feet for all sixty (60) foot wide lots except for the sixty (60) foot wide lots identified on the Preliminary Development Plan as lots 412 through 425 and 428 through 441, which shall have a minimum lot area of six thousand one hundred thirty three (6,133) square feet (v) minimum residential floor area shall be one thousand (1,000) square feet, and (vi) the narrowing of the peripheral buffer yard adjacent to

Promise Road, and the inclusion of a split rail fence within said buffer yard, as illustrated in the Buffer Details (Exhibit 5). The development standards, specifications, guidelines, and/or requirements established by and specified in this PD Amendment and/or its exhibits (i) replace and supersede those in the Original PD, and (ii) replace and supersede the development standards, specifications, guidelines, and/or requirements of the Zoning Ordinance and the Subdivision Control Ordinance of the City of Noblesville, Indiana (the Subdivision Control Ordinance); provided, however, that unless a development standard, specification, guideline, and/or requirement contained in the Zoning Ordinance or Subdivision Control Ordinance is varied, altered, or modified by this PD Amendment and/or its exhibits, then such development standard, specification, guideline, and/or requirement as specified in the Zoning Ordinance or Subdivision Control Ordinance shall apply. Further, (i) all lighting and curbing shall be as required by the Zoning Ordinance, and (ii) all mail boxes will be as required by the U.S. Postmaster.

SECTION 5. PROCEDURES. The following procedures shall apply:

- A. The Department shall determine whether final plans including, without limitation, building elevations, site plans, and landscape plans, are in substantial conformance with what has been approved by the ARB and by the Common Council in this PUD Ordinance.
- B. Any decision of the Department can be appealed to the ARB. Any decision of the ARB can be appealed to the Common Council.

UPON MOTION DULY MADE AND SECONDED, THIS PUD ORDINANCE WAS FULLY PASSED BY THE MEMBERS OF THE COMMON COUNCIL THIS 27th DAY OF November, 2007.

COMMON COUNCIL, CITY OF NOBLESVILLE

BY: AYE

NAY

Brian Ayer Brian Ayer _____
Mary Sue Rowland Mary Sue Rowland _____
Terry Busby Terry Busby _____
Alan Hinds Alan Hinds _____
Dale Snelling Dale Snelling _____
Kathie Stretch Kathie Stretch _____
Laurie Jackson Laurie Jackson _____

APPROVED and signed by the Mayor of the City of Noblesville, Hamilton County,

Indiana, this 27th day of November, 2007.



John Ditslear
John Ditslear, Mayor,
City of Noblesville, Indiana

ATTEST:

Janet S. Jaros
Janet S. Jaros, Clerk-Treasurer
City of Noblesville, Indiana

This Ordinance was prepared by: Charles D. Frankenberger, Nelson and Frankenberger, 3105 E. 98th Street, Suite 170, Indianapolis, IN 46280 (317) 844-0106.

Pursuant to IC 36-2-11-15(b)(2), I affirm under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law – Charles D. Frankenberger.

Additional exhibits are on file and may be viewed in the City of Noblesville Clerk-Treasurer's Office.

EXHIBIT 1

LAND DESCRIPTION

Part of the East Half of the Northwest Quarter, part of the West Half of the Northeast Quarter, part of the Northeast Quarter of the Southwest Quarter and part of the North Half of the Southeast Quarter all being in Section 16, Township 18 North, Range 5 East, Noblesville Township, Hamilton County, Indiana, described as follows:

Commencing at a stone marking the Northwest corner of the East Half of the Northwest Quarter of said Section 16; thence South 00 degrees 09 minutes 28 seconds East along the West Line of the East Half of said Northwest Quarter Section a distance of 1590.73 feet to **the Point of Beginning** (said point also being the Southwest corner of a tract of land described in Deed Book 326, Page 415 as recorded in the Office of the Recorder of Hamilton County, Indiana); thence North 89 degrees 47 minutes 48 seconds East along the south line of said tract of land a distance of 168.00 feet to the southeast corner thereof; thence North 00 degrees 09 minutes 28 seconds West, parallel with the west line of said East Half, also being along the east lines of tracts of land described in Deed Book 326, page 415, Deed Book 91, page 229 and Instrument #200200064379 in said Recorder's Office, a distance of 768.29 feet to the south line of a tract of land conveyed to the State of Indiana as described in Instrument #9709702028 in said Recorder's Office; thence next 3 courses being along the south and east lines of said tract of land: 1) South 70 degrees 42 minutes 59 seconds East a distance of 46.56 feet; 2) South 76 degrees 50 minutes 21 seconds East a distance of 323.37 feet; 3) North 19 degrees 17 minutes 01 seconds East a distance of 19.00 feet to the centerline of State Road 238; thence next 2 courses being along said centerline; 1) South 70 degrees 34 minutes 48 seconds East a distance of 848.76 feet; 2) South 70 degrees 21 minutes 13 seconds East a distance of 448.53 feet to a northeasterly corner of a tract of land described in Instrument #9709740572 (Parcel #2) in said Recorder's Office; thence next 2 courses being along the east and north lines of said tract of land; 1) South 00 degrees 07 minutes 47 seconds East, parallel with the west line of the West Half of said Northeast Quarter, a distance of 466.73 feet to a 5/8 inch rebar with cap found; 2) North 89 degrees 52 minutes 28 seconds East a distance of 319.78 feet to a 5/8 inch rebar with cap found at the northeast corner of said Parcel #2; thence continue North 89 degrees 52 minutes 28 seconds East a distance of 3.37 feet to the West line of a tract of land described in Instrument #9709740573 in said Recorder's Office; thence North 00 degrees 09 minutes 59 seconds West along the West line of said tract of land a distance of 348.67 feet to the centerline of State Road 238; thence South 69 degrees 35 minutes 47 seconds East along the said centerline a distance of 627.83 feet to the East Line of the West Half of the said Northeast Quarter Section; thence South 00 degrees 06 minutes 29 seconds East along the said East Line a distance of 984.82 feet to the South Line of the said Northeast Quarter Section; thence North 89 degrees 38 minutes 50 seconds East along the said South Line a distance of 163.50 feet to the east line of the North Half of 10 acres off of the west side of the East Half of the Southeast Quarter of Section 16, Township 18 North, Range 5 East as described in Instrument #200200064380 in said Recorder's Office; thence South 00 degrees 02 minutes 39 seconds East along said east line a distance of 1332.07 feet to the South Line of the North Half of the Southeast Quarter of said Section 16; thence South 89 degrees 45 minutes 32 seconds West along said South Line a distance of 1494.08 feet to the Southwest corner of said North Half (also being the Southeast corner of the Northeast Quarter of the Southwest Quarter of said Section 16); thence South 89 degrees 46 minutes 48 seconds West along the South Line of the Northeast Quarter of the Southwest Quarter of

said Section 16 a distance of 949.49 feet to the southeast corner of a tract of land as described in instrument #200200081703 as recorded in said Recorder's Office; thence North 00 degrees 02 minutes 29 seconds West along the east line of said tract of land a distance of 516.60 feet to the northeast corner thereof; thence South 89 degrees 46 minutes 48 seconds West along the north line of said tract of land and also along the north line of a tract of land as described in instrument #200200081704 in said Recorder's Office a distance of 381.17 feet to the northwest corner thereof (said point also being on the West Line of the Northeast Quarter of the Southwest Quarter of said Section 16); thence North 00 degrees 16 minutes 14 seconds West along said West Line a distance of 809.48 feet to the Northwest corner of the Northeast Quarter of the Southwest Quarter of said Section 16 (also being the Southwest corner of the Southeast Quarter of the Northwest Quarter of said Section 16); thence North 00 degrees 09 minutes 28 seconds West along the West Line of the Southeast Quarter of the Northwest Quarter of said Section 16 a distance of 1072.75 feet to the **Point of Beginning**, containing 165.408 acres, more or less.

RA4K\4505\001\DOCSNOVERALLDESC
MARCH 4, 2003 EDG
REVISED MARCH 12, 2003 EDG

EXHIBIT 2

PROJECT SUMMARY

TOTAL LOTS = 618
GROSS LOT DENSITY - Lots/Acres = 3.74 Lots per Acre±
NET LOT DENSITY - Lots/Acres = 4.06 Lots per Acre±
TOTAL LAKE AREA = 7.74 Acres±
TOTAL RIGHT OF WAY AREA = 5.58 Acres±
TOTAL COMMON OPEN SPACE AREA = 32.52 Acres±
TOTAL AREAS = 165.40 Acres±

AMENDED PRELIMINARY DEVELOPMENT PLAN

for WATERMAN FARMS

NOBLESVILLE, INDIANA
CCPD ZONING

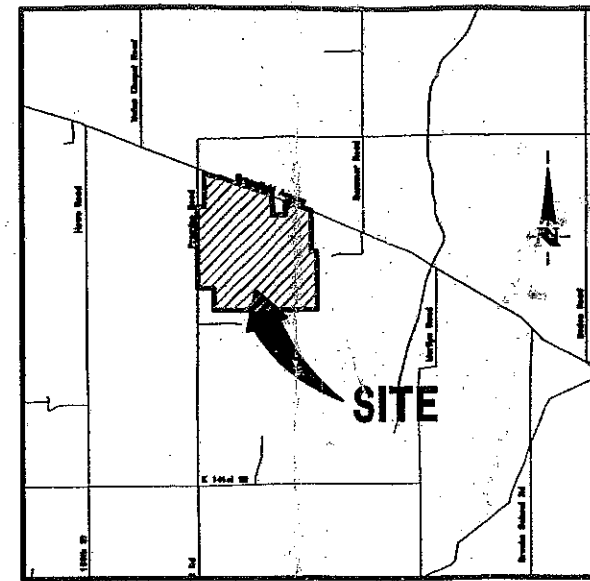
DEVELOPER:

ARBOR INVESTMENTS, LLC
6666 EAST 75th ST.(Suite 400)
INDIANAPOLIS, IN 46250
317-842-1875
FAX: 317-842-8268

OWNER:

ARBOR INVESTMENTS, LLC
6666 EAST 75th ST.(Suite 400)
INDIANAPOLIS, IN 46250
317-842-1875
FAX: 317-842-8268

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BEFORE YOU BEGIN ANY PROJECT



AREA MAP
SCALE: 1" = 200'

UTILITIES - NOBLESVILLE

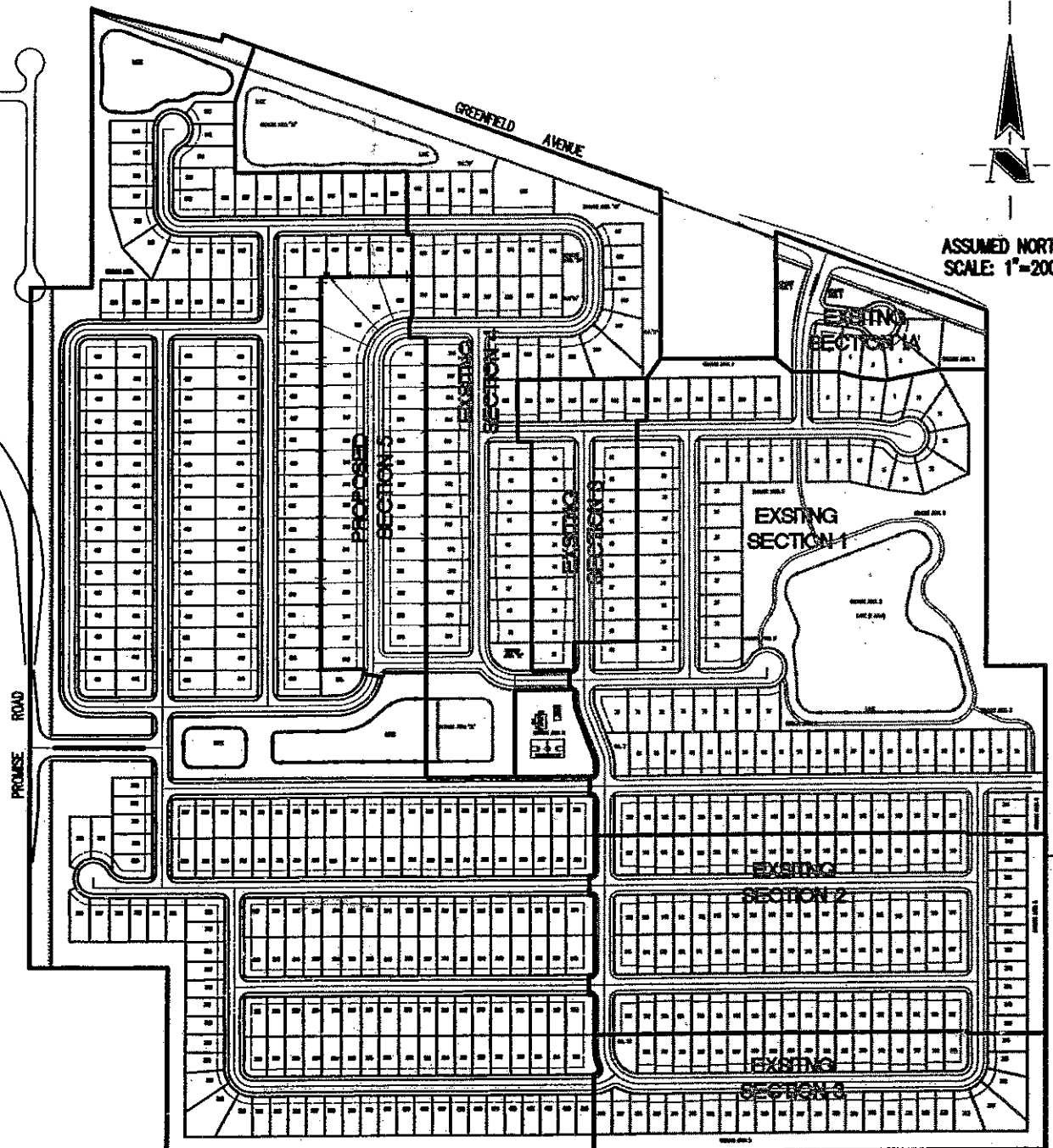
Gas Indiana Gas Company 18402 Alameda Road Noblesville, Indiana 46060 (317)778-2534	Electric Clemco (73) 100 South Mill Creek Road Noblesville, Indiana 46060 (317)778-3318
Water Indiana-American Water Co. 633 Wayne Street Noblesville, Indiana 46060 (317)773-2487	Storm Sewer City of Noblesville Dept. of Engineering 14701 Cumberland Rd. (Suite 300) Noblesville, Indiana 46060 (317)778-4330
Telephone Ameritech 2206 North College Indianapolis, Indiana 46220 1-800-302-0544	City of Noblesville Dept. of Engineering 14701 Cumberland Rd. (Suite 300) Noblesville, Indiana 46060 (317)778-4330
Cable Television Inlight Communications Co. 10225 Shady Creek Way Noblesville, Indiana 46060 (317)778-0950	Fiber Optic Meador USA 8400 G Street SW PO Box 3177 Cedar Rapids, IA 52408 (317) 807-2843 Steve

INDEX	
SHEET No.	DESCRIPTION
101	OVERALL AMENDED DEVELOPMENT PLAN
102-103	DETAILED AMENDED DEVELOPMENT PLAN
104	AMENDED LANDSCAPE PLAN

LAND DESCRIPTION

Part of the East Half of the Northwest Quarter, part of the West Half of the Northwest Quarter, part of the Northwest Quarter of the Southwest Quarter and part of the East Half of the Southwest Quarter all being in Section 16, Township 18 North, Range 2 East, Hamilton County, Indiana, described as follows:

Commencing at a place marking the Northwest corner of the East Half of the Northwest Quarter of said Section 16, thence South 03 degrees 08 minutes 28 seconds East along the West Line of the East Half of said Northwest Quarter Section a distance of 1290.73 feet to the Point of Beginning (said point also being the Southwest corner of a tract of land described in Deed Book 326, Page 415 as recorded in the Office of the Recorder of Hamilton County, Indiana); thence North 88 degrees 47 minutes 46 seconds East along the south line of said tract of land a distance of 183.02 feet to the southeast corner thereof; thence North 03 degrees 08 minutes 28 seconds East, parallel with the west line of said East Half, also being along the east line of a tract of land described in Deed Book 326, page 415, Deed Book 71, page 229 and Instrument #20020004578 in said Recorder's Office, a distance of 795.29 feet to the south line of a tract of land conveyed to the State of Indiana as described in Instrument #173702528 in said Recorder's Office; thence east 3 courses being along the south and east lines of said tract of land (1) South 70 degrees 42 minutes 38 seconds East a distance of 46.28 feet; (2) South 78 degrees 30 minutes 23 seconds East a distance of 323.57 feet; (3) North 18 degrees 17 minutes 04 seconds East a distance of 78.00 feet to the centerline of State Road 236; thence east 2 courses being along said centerline (1) South 78 degrees 34 minutes 46 seconds East a distance of 848.78 feet; (2) South 78 degrees 22 minutes 53 seconds East a distance of 418.53 feet to a northeasterly corner of a tract of land described in Instrument #170744572 (Deed #1) in said Recorder's Office; thence east 2 courses being along the east and north lines of said tract of land; (1) South 93 degrees 07 minutes 47 seconds East, parallel with the west line of the West Half of said Northwest Quarter, a distance of 406.73 feet to a 5/8 inch ruler with cap fixed; (2) North 88 degrees 52 minutes 26 seconds East a distance of 391.76 feet to a 5/8 inch ruler with cap fixed at the northeast corner of said Parcel #2; thence south North 89 degrees 52 minutes 26 seconds East a distance of 3.94 feet to the West line of a tract of land described in Instrument #170744572 in said Recorder's Office; thence North 03 degrees 08 minutes 08 seconds East along the West line of said tract of land a distance of 348.52 feet to the centerline of State Road 236; thence South 88 degrees 52 minutes 47 seconds East along the said centerline a distance of 823.12 feet to the East Line of the West Half of the said Northwest Quarter Section; thence South 03 degrees 08 minutes 28 seconds East along the said East Line a distance of 924.82 feet to the South Line of the said Northwest Quarter Section; thence North 88 degrees 52 minutes 30 seconds East along the said South Line a distance of 143.50 feet to the west line of the North Half of 98 acres off of the west side of the East Half of the Southwest Quarter of Section 16, Township 18 North, Range 2 East as described in Instrument #2002-0004528 in said Recorder's Office; thence South 88 degrees 02 minutes 38 seconds East along said west line a distance of 532.07 feet to the South Line of the North Half of the Southwest Quarter of said Section 16; thence South 88 degrees 43 minutes 32 seconds West along said South Line a distance of 194.69 feet to the Southwest corner of said North Half (also being the Southwest corner of the Northwest Quarter of the Southwest Quarter of said Section 16); thence South 88 degrees 45 minutes 48 seconds West, along the South Line of the Northwest Quarter of the Southwest Quarter of said Section 16 a distance of 948.48 feet to the southwest corner of a tract of land as described in Instrument #20020004705 as recorded in said Recorder's Office; thence North 03 degrees 08 minutes 28 seconds East along the east line of said tract of land a distance of 948.48 feet to the northeast corner thereof; thence South 88 degrees 45 minutes 48 seconds West along said West Line a distance of 948.48 feet to the northeast corner of the Northwest Quarter of the Southwest Quarter of said Section 16 (also being the Southwest corner of the Southwest Quarter of the Northwest Quarter of said Section 16); thence North 88 degrees 02 minutes 38 seconds West along the West Line of the Southwest Quarter of the Northwest Quarter of said Section 16 a distance of 1072.75 feet to the Point of Beginning, containing 165.40 acres, more or less.



ASSUMED NORTH
SCALE: 1" = 200'

DATE: 09/28/2007 PROJECT NO.: 4505.001
DRAWN BY: CHECKED BY:
SHEET NO.: 101

WATERMAN FARMS PRELIMINARY AMENDED DEVELOPMENT PLAN
HAMILTON COUNTY, NOBLESVILLE, INDIANA
ARBOR HOMES, LLC
6666 EAST 75th STREET, (Suite 400), INDIANAPOLIS, INDIANA 46250

Schneider
THE SCHNEIDER CORPORATION
Avon Office
5250 East U.S. 38
Building 1000
Avon, IN 46123
Telephone: 317.745.9925
Fax: 317.745.9973
www.schneidercorp.com

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Land Surveying
Landscape Architecture
Transportation Engineering



ARBOR
H O M E S

WATERMAN FARMS



- Original PD
- Lot Change

DEVELOPMENT SUMMARY

No. OF LOTS - 618
 TOTAL AREA - 165.40 AC±
 GROSS DENSITY - 3.74 LOTS/ACRE±
 NET DENSITY - 4.06 LOTS/ACRE±

GENERAL NOTES:

1. OFF STREET PARKING SPACES SHALL BE PROVIDED FOR EACH RESIDENTIAL UNIT, PER PUD ORDINANCE.
2. EXTERIOR LIGHTING SHALL BE SPECIFIED BY PUD ORDINANCE.
3. NO BELLOVED OR INTERNALLY LIGHTED SIGNS SHALL BE PERMITTED. GROUND SIGNS ONLY ARE TO BE USED.
4. STORAGE WILL BE LOCATED AT THE ENTRANCES TO THE DEVELOPMENT. ALL STORAGE SHALL CONFORM TO THE REGULATIONS SET FORTH IN THE PUD ORDINANCE.
5. LANDSCAPE PLAN FOR PROJECT PER PUD ORDINANCE.
6. EROSION AND SEDIMENTATION CONTROL SHALL BE INSTALLED AS PER THE MEMPHIS COUNTY STORM DRAINAGE, EROSION AND SEDIMENT CONTROL ORDINANCE.
7. ALL CONSTRUCTION ACTIVITY ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH APPLICABLE O. S. H. A. STANDARDS FOR WORKER SAFETY.

BENCH MARK

BM - "19519" HSE DISK IN CONCRETE ON THE NORTH SIDE OF PLANTANA ENTRANCE FROM CUMBERLAND ROAD. 36.5 FEET NORTH OF A CUT "X" IN THE SIDEWALK ALONG PLANTANA BOULEVARD, 46.5 FEET EAST OF A CUT "X" IN AN ASPHALT PATH ALONG CUMBERLAND ROAD AND 8 FEET SOUTHWEST OF ENTRANCE WALL.
 ELEVATION = 822.36 (NAVD 1988)

BM - "19516" HSE DISK IN CONCRETE AT THE SOUTH END OF THE ENTRANCE MEDIAN TO SWEET BRARR FROM 131ST STREET. 1.2 FEET NORTH OF THE BACK OF CURB.
 ELEVATION = 825.65 (NAVD 1988)

TBM 1 - BOAT SPIKE SET ON THE SOUTH SIDE OF POWER POLE #101 861687 AT THE NORTHEAST CORNER OF THE SUBJECT TRACT.
 ELEVATION = 819.39 (NAVD 1988)

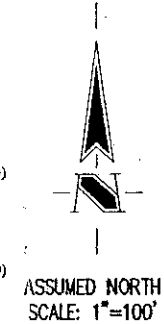
TBM 2 - BOAT SPIKE SET ON THE SOUTH SIDE OF POWER POLE #070 569 AT THE NORTHEAST CORNER OF THE INTERSECTION OF STATE ROAD 238 AND PROMISE ROAD ON THE NORTHWEST CORNER OF THE SUBJECT TRACT.
 ELEVATION = 825.60 (NAVD 1988)

TBM 3 - RAILROAD SPIKE SET ON THE WEST SIDE OF POWER POLE #070 511 ON THE EAST SIDE OF PROMISE ROAD AT THE ADDRESS OF 14998 PROMISE ROAD AT THE SOUTHWEST CORNER OF THE SUBJECT TRACT.
 ELEVATION = 836.05 (NAVD 1988)

PRELIMINARY DEVELOPMENT PLAN for WATERMAN FARMS

UTILITIES - NOBLESVILLE

- | | |
|---|---|
| Gas
Indiana Gas Company
15900 Allisonville Road
Noblesville, Indiana 46060
(317)776-5534 | Electric (P&I)
100 South Mill Creek Road
Noblesville, Indiana 46060
(317)776-5316 |
| Water
Indiana-American Water Co.
835 Wayne Street
Noblesville, Indiana 46060
(317)773-2497 | Storm Sewer
City of Noblesville
Dept. of Engineering
14701 Cumberland Rd. (Suite 300)
Noblesville, Indiana 46060
(317)776-6330 |
| Telephone
Ameritech
5858 North College
Indianapolis, Indiana 46220
1-800-392-5544 | Streets
City of Noblesville
Dept. of Engineering
14701 Cumberland Rd. (Suite 300)
Noblesville, Indiana 46060
(317)776-6330 |
| Cable Television
Insight Communications Co.
15229 Stoney Creek Way
Noblesville, Indiana 46060
(317)776-0660 | Fiber Optic
McLeod USA
6400 C Street SW
PO Box 31777
Cedar Rapids, IA 52405
(317) 697-2853 Steve |

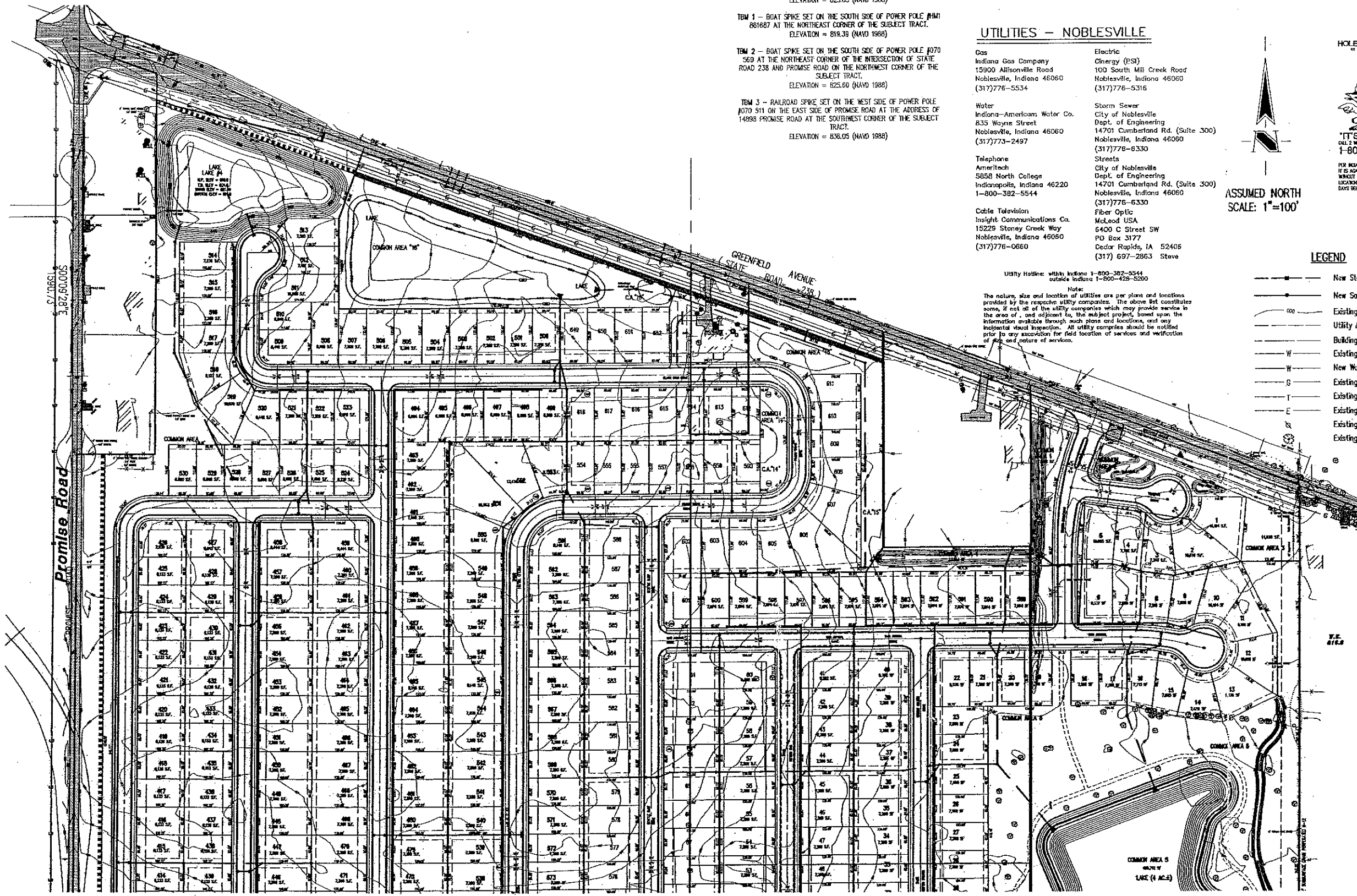


HOLEY MOLEY SAYS "DON'T DIG BLIND!"

 "IT'S THE LAW"
 CALL FOR FREE
 FOR INDIANA STATE LAW 88-48-1981
 IT IS AGAINST THE LAW TO EXCAVATE
 WITHOUT NOTIFYING THE UNDERGROUND
 LOCATION SERVICE TWO (2) WORKING
 DAYS BEFORE COMMENCING WORK.
 CALL FOR FREE
 FOR INDIANA STATE LAW 88-48-1981
 IT IS AGAINST THE LAW TO EXCAVATE
 WITHOUT NOTIFYING THE UNDERGROUND
 LOCATION SERVICE TWO (2) WORKING
 DAYS BEFORE COMMENCING WORK.
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LEGEND

- New Storm Sewer
- New Sanitary Sewer
- Existing Contour
- Utility & Drainage Esm't.
- Building Setback Line
- Existing Water Line
- New Water Line
- Existing Gas Line
- Existing Telephone Line
- Existing Electric Line
- Existing Utility Pole
- Existing Trees



Utility Hotline: within Indiana 1-800-382-5544
 outside Indiana 1-800-428-5200
 Note:
 The nature, size and location of utilities are per plans and locations provided by the respective utility companies. The above list constitutes some, if not all of the utility companies which may provide service in the area of, and adjacent to, the subject project, based upon the information available through such plans and locations, and any incidental visual inspection. All utility companies should be notified prior to any excavation for field location of services and verification of size and nature of services.

FOR CONTINUATION SEE SHEET 103

REVISIONS:

DATE: _____

THE SCHNEIDER CORPORATION
 Historic Fort Harrison
 8901 Otis Avenue
 Indianapolis, IN 46216-1037
 Telephone: 317.825.7100
 Fax: 317.825.3300
 www.schneidercorp.com

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 Interior Design
 Land Surveying
 Landscape Architecture
 Transportation Engineering

WATERMAN FARMS
 PRELIMINARY DEV. PLAN
 HAMILTON COUNTY, NOBLESVILLE, INDIANA

ARBOR HOMES, LLC
 6866 EAST 75th STREET, (Suite 400), INDIANAPOLIS, INDIANA 46250

DATE: 09/25/2007 PROJECT NO: 4505.001
 DRAWN BY: _____ CHECKED BY: _____

BEST TITLE: PRELIMINARY DEVELOPMENT PLAN
 DRAWING NO: THE P. 103/102/101/100/99/98/97/96/95/94/93/92/91/90/89/88/87/86/85/84/83/82/81/80/79/78/77/76/75/74/73/72/71/70/69/68/67/66/65/64/63/62/61/60/59/58/57/56/55/54/53/52/51/50/49/48/47/46/45/44/43/42/41/40/39/38/37/36/35/34/33/32/31/30/29/28/27/26/25/24/23/22/21/20/19/18/17/16/15/14/13/12/11/10/9/8/7/6/5/4/3/2/1

SHEET NO: 102

EXHIBIT 3

Residential Development Standards Matrix

Waterman Farms

Development Standards

Development Standards Matrix, Waterman Farms Planned Development								
	Maximum Number of Units	Minimum Lot Width	Minimum Lot Area	Minimum Setbacks			Minimum Home Size	Maximum Building Height
				Front	Side	Rear		
Street Accessed Homes on 50' wide lots	333	50'	5,500 sqft	20 ft- 25 ft*	5' per side, 10' between buildings	20 ft	1,000 sq ft	35 ft
Street Accessed Homes on 60' wide lots	285	60'	6,600 sqft except lots 412-425 & 428-441 will have 6,133 sqft	20 ft – 30 ft*	5' per side, 10' between buildings	20 ft	1,000 sq ft	35 ft

*Staggered setbacks will be achieved by ranging the minimum setbacks for specific lots (see Additional Streetscape Standards).

EXHIBIT 4

WATERMAN FARMS

Rev. 9/26/07

Single Family			
Total Area	165.40 Ac.		
Total Area Less R/W	159.82 Ac.		
Total Units	618		
		Open Space	
		Gross	Net
Common Area	32.52 Ac.	19.66%	20.35%
Total Useable C.A.	28.04 Ac.		
Ponds	7.74 Ac.		
Unusable Common Area	4.48 Ac.		
Density			
Right of Way	5.58 Ac.		
Total Pond Area	7.74 Ac.		
Gross Density		3.74	
Net Density		4.06	

Additional Residential Streetscape Commitments

Waterman Farms

Development Standards

1. Standards for Uniform Streetlights, Mailboxes, Fencing and Sidewalks
 - a. Decorative "Acorn" style streetlights shall be used throughout the development.
 - b. Mailboxes shall be provided in the lanes where lanes are provided. Uniform mailboxes on one side of street. Street numbers shall be provided on the front of all homes.
 - c. Fencing: No fencing shall be installed on any Lot without the prior approval of the Architectural Control Committee of the Home Owner's Association.
 - d. Sidewalks shall be provided on both sides of all streets in accordance with the Noblesville Unified Development Code.
2. Street Trees and Landscape Package:
 - a. Street trees: Street trees shall be provided between the curb and sidewalk in accordance with the City of Noblesville Street Tree Ordinance. Street trees shall be provided at a rate of one per lot or a maximum of every 50 to 60 feet. Pursuant to the Street Tree Ordinance, street trees shall be a minimum of 2-1/2" caliper.
 - b. Street Accessed Homes on 50' Lots: One (1) shade tree shall be located in the front yard, which shall be a minimum of 2 1/2" caliper pursuant to Article 12. Ten (10) shrubs shall be located along the front home and along 6-feet of the side of the home opposite the garage; shrubs shall be a minimum of 24" in height pursuant to Article 12. In addition one (1) shade tree shall be located in the rear yard, which shall be a minimum of 2 1/2" caliper pursuant to Article 12.
 - c. Street Accessed Homes on 60' Lots: Two (2) shade trees shall be located in the front yard, which shall be a minimum of 2 1/2" caliper pursuant to Article 12. Ten (10) shrubs shall be located along the front home and along 6-feet of the side of the home opposite the garage; shrubs shall be a minimum of 24" in height pursuant to Article 12. In addition one (1) shade tree shall be located in the rear yard, which shall be a minimum of 2 1/2" caliper pursuant to Article 12.
3. Street Standards:
 - a. Right-of-way shall be dedicated for Promise and Greenfield Avenue. The amount and location of right-of-way and the design of the streets shall be subject to the Master Plan and Ordinances of the City of Noblesville and the interpretation of the City Engineer.
 - b. Curves in the interior streets of Waterman Farms shall be constructed with a minimum centerline radius of 50-feet.

Updated 9/20/07

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Additional Residential Streetscape Commitments (cont'd)

Waterman Farms

Development Standards

4. Additional Standards:

- a. No exterior walls that face a public street shall be blank (without a window or door). Any rear or side exterior wall facing a public street shall receive the special standards for corner lots as explained in the following section.
- b. Only one (1) model of each product type used by the builder for marketing purposes may be constructed in an all vinyl exterior. The others shall have a range of brick, per the elevations approved by the ARB.
- c. The foundation exposure for each residence shall not exceed six (6) inches.

Updated 9/20/07

(2).doc

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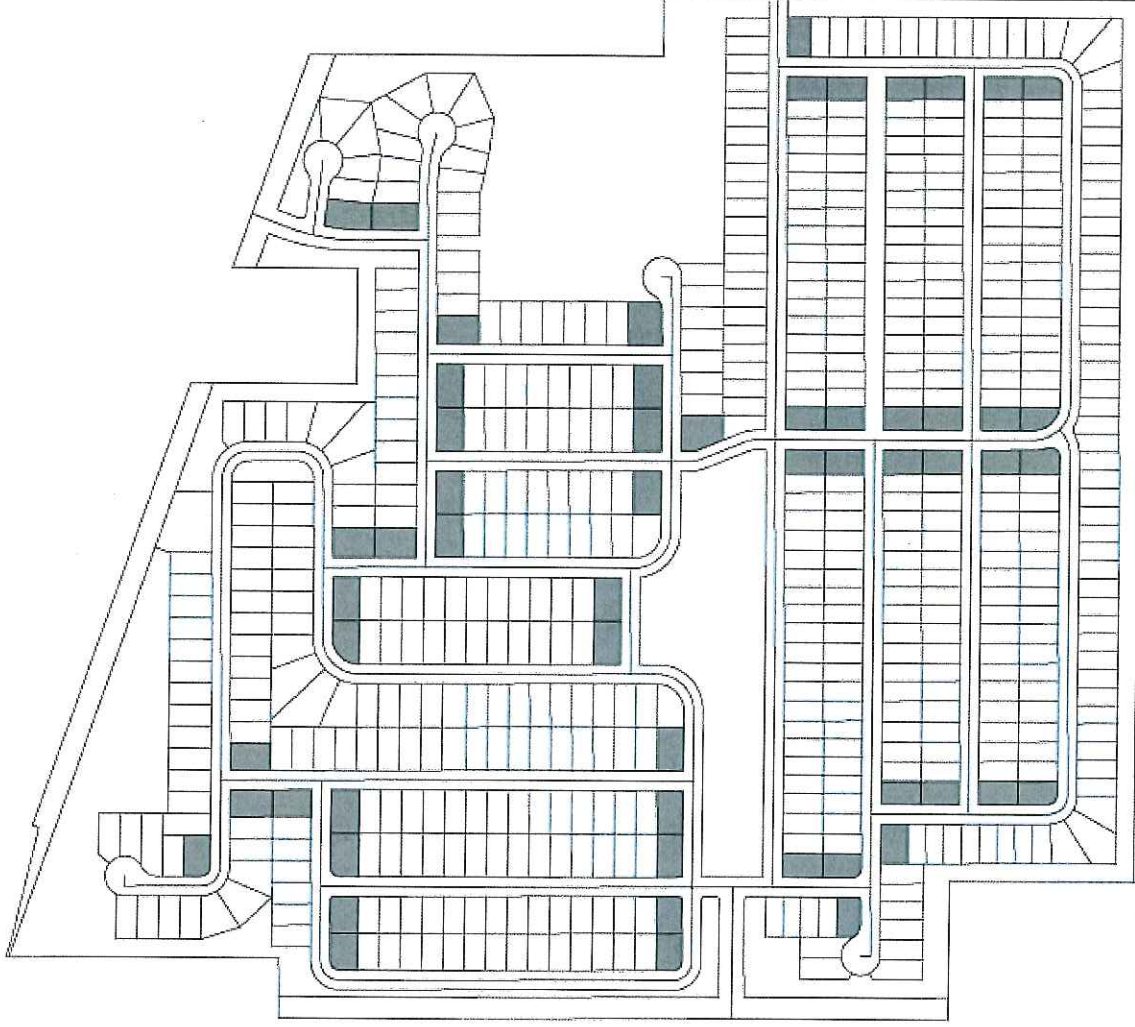
Additional Residential Streetscape Commitments (cont'd)

Waterman Farms

Development Standards

Special Standards for Corner Lots

- All corner lots will include a second landscape package in the side yard for one (1) large (8') evergreen tree and 4 additional shrubs, in addition to the street trees.
- Both the front yard and the side yard which is exposed to the street will be sodded.
- A total of four (4) street trees will be planted in the right-of-way on each lot.
- The driveway will be handed in the opposite side from the corner.



Updated 9/20/07

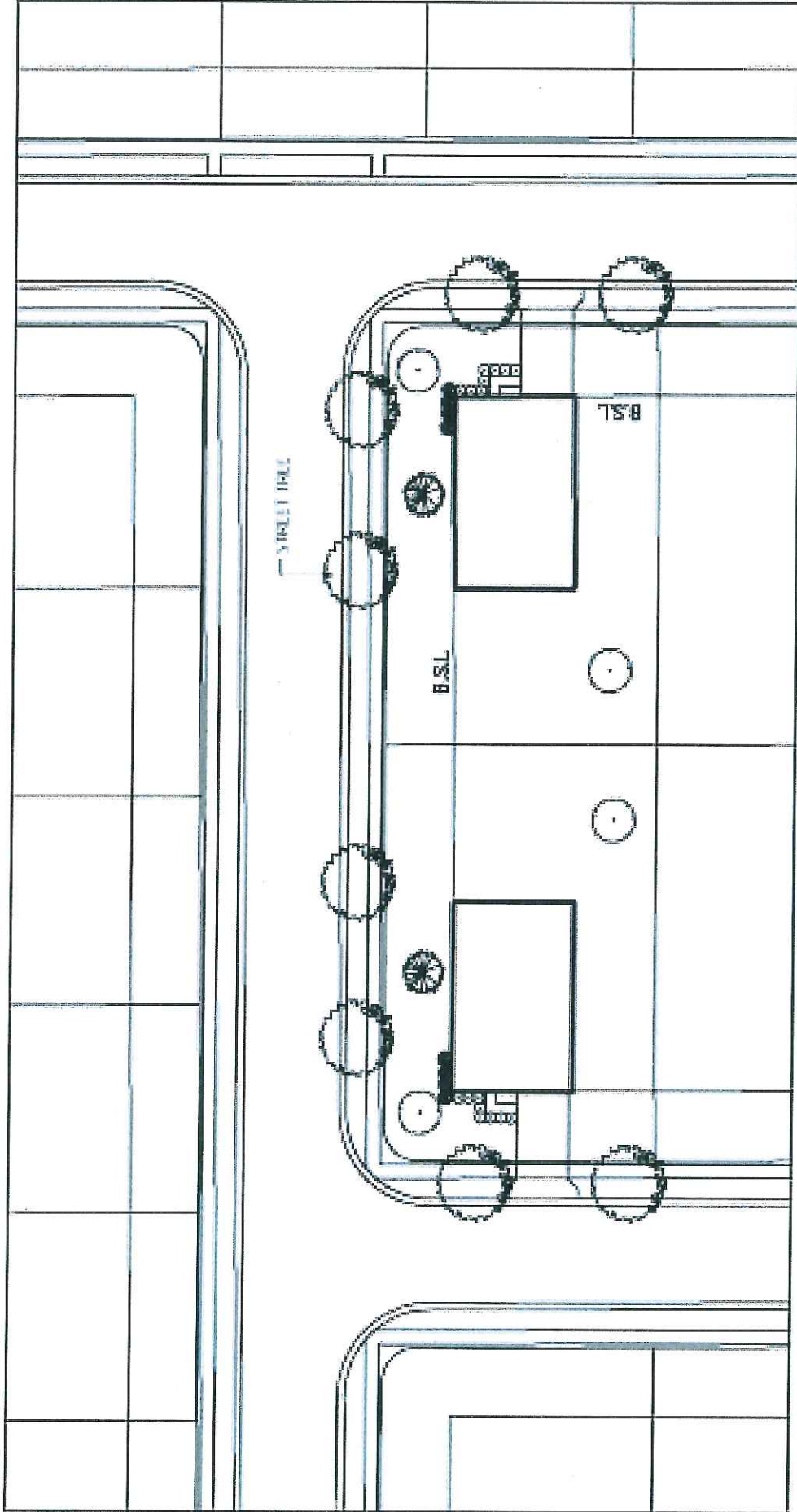
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Additional Residential Streetscape Commitments (cont'd)

Waterman Farms

Development Standards



Updated 9/20/07

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BENCH MARK

BM - "HSE19" HSE DISK IN CONCRETE ON THE NORTH SIDE OF PLANTANA ENTRANCE FROM CUMBERLAND ROAD, 36.5 FEET NORTH OF A "OUT X" IN THE SIDEWALK ALONG PLANTANA BOULEVARD, 45.5 FEET EAST OF A "OUT X" IN AN ASPHALT PATH ALONG CUMBERLAND ROAD AND 8 FEET SOUTHWEST OF ENTRANCE WALL.
ELEVATION = 822.36 (NAVD 1988)

BM - "HSE10" HSE DISK IN CONCRETE AT THE SOUTH END OF THE ENTRANCE MEDIAN TO SWEET BRAR FROM 131ST STREET, 1.2 FEET NORTH OF THE BACK OF CURB.
ELEVATION = 825.65 (NAVD 1988)

TBM 1 - BOAT SPIKE SET ON THE SOUTH SIDE OF POWER POLE #M1 861887 AT THE NORTHEAST CORNER OF THE SUBJECT TRACT.
ELEVATION = 819.39 (NAVD 1988)

TBM 2 - BOAT SPIKE SET ON THE SOUTH SIDE OF POWER POLE #070 569 AT THE NORTHEAST CORNER OF THE INTERSECTION OF STATE ROAD 238 AND PROMISE ROAD ON THE NORTHWEST CORNER OF THE SUBJECT TRACT.
ELEVATION = 825.60 (NAVD 1988)

TBM 3 - RAILROAD SPIKE SET ON THE WEST SIDE OF POWER POLE #070 511 ON THE EAST SIDE OF PROMISE ROAD AT THE ADDRESS OF 14898 PROMISE ROAD AT THE SOUTHWEST CORNER OF THE SUBJECT TRACT.
ELEVATION = 836.05 (NAVD 1988)

UTILITIES - NOBLESVILLE

Gas
Indiana Gas Company
15900 Allisonville Road
Noblesville, Indiana 46060
(317)776-5534

Water
Indiana-American Water Co.
835 Wayne Street
Noblesville, Indiana 46060
(317)773-2497

Telephone
Ameritech
5858 North College
Indianapolis, Indiana 46220
1-800-362-5544

Cable Television
Insight Communications Co.
15229 Stoney Creek Way
Noblesville, Indiana 46060
(317)776-0660

Electric
Cnergy (P&S)
100 South Mill Creek Road
Noblesville, Indiana 46060
(317)776-5316

Storm Sewer
City of Noblesville
Dept. of Engineering
14701 Cumberland Rd. (Suite 300)
Noblesville, Indiana 46060
(317)776-6330

Streets
City of Noblesville
Dept. of Engineering
14701 Cumberland Rd. (Suite 300)
Noblesville, Indiana 46060
(317)776-6330

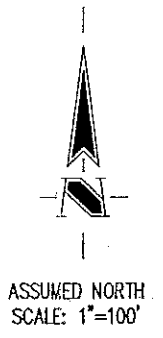
Fiber Optic
McLeod USA
6400 C Street SW
PO Box 3177
Cedar Rapids, IA 52408
(317) 697-2663 Steve

DEVELOPMENT SUMMARY

No. OF LOTS - 618
TOTAL AREA - 165.40 Ac.±
GROSS DENSITY - 3.74 LOTS/ACRE±
NET DENSITY - 4.06 LOTS/ACRE±

Utility Hotline within Indiana 1-800-362-5544
outside Indiana 1-800-428-5200

Note:
The nature, size and location of utilities are per plans and locations provided by the respective utility companies. The above list constitutes a summary. It is not all of the utility companies which may provide service in the area of, and adjacent to, the subject project, based upon the information available through such plans and locations, and any incidental visual inspection. All utility companies should be notified prior to any excavation for field location of services and verification of size and nature of services.



- LEGEND**
- New Storm Sewer
 - New Sanitary Sewer
 - Existing Contour
 - Utility & Drainage Eas't.
 - Building Setback Line
 - Existing Water Line
 - New Water Line
 - Existing Gas Line
 - Existing Telephone Line
 - Existing Electric Line
 - Existing Utility Pole
 - Existing Trees

PRELIMINARY DEVELOPMENT PLAN for WATERMAN FARMS

GENERAL NOTES:

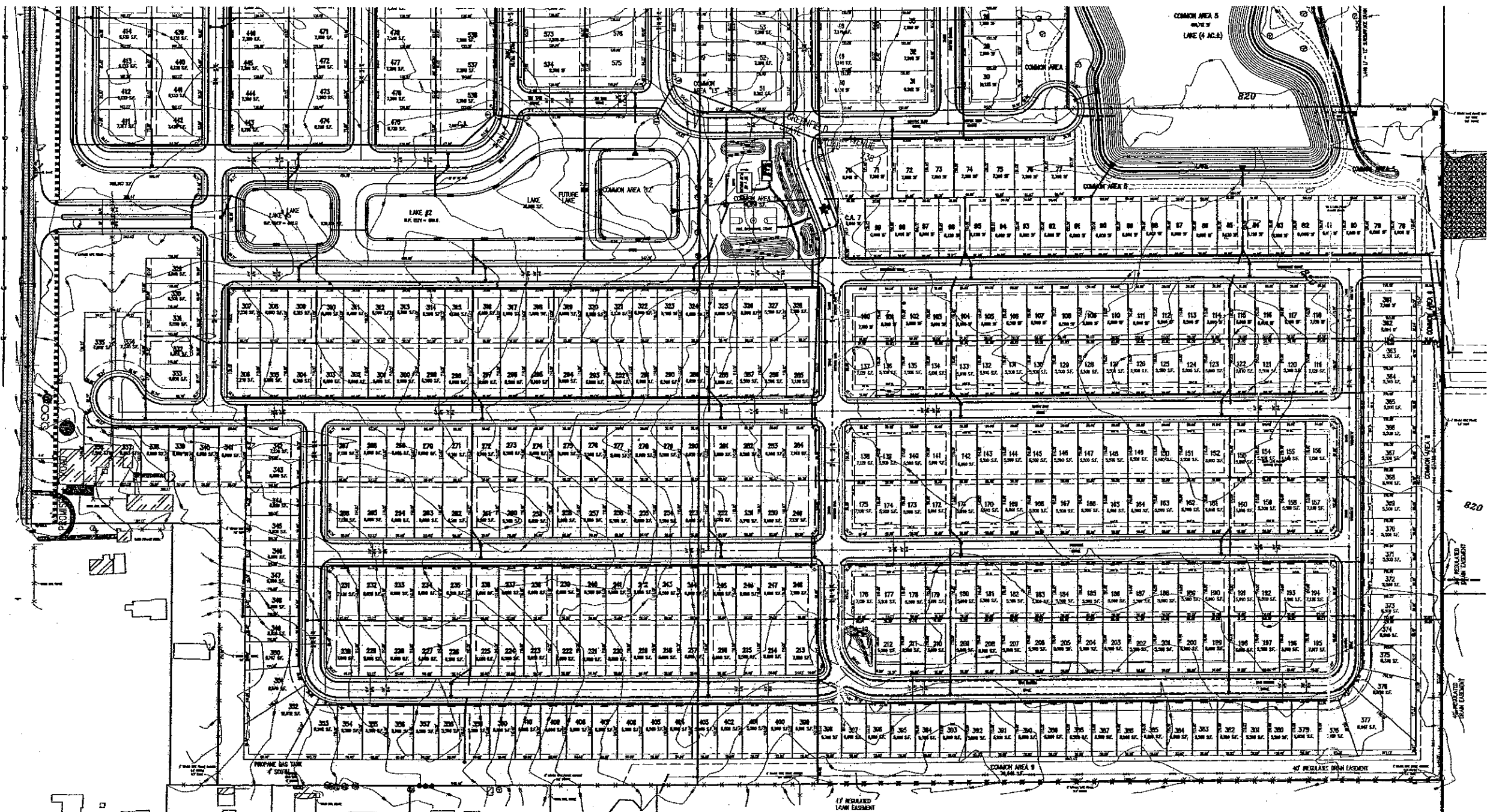
1. OFF STREET PARKING SPACES SHALL BE PROVIDED FOR EACH RESIDENCE, UNIT, PER PUD ORDINANCE.
2. OUTDOOR LIGHTING SHALL BE SPECIFIED BY PUD ORDINANCE.
3. NO DELIBERATE OR INTERNALLY LIGHTED SIGNS SHALL BE PERMITTED. GRASS SIGNS ONLY ARE TO BE USED.
4. SIGNAGE WILL BE LOCATED AT THE ENTRANCES TO THE DEVELOPMENT. ALL SIGNAGE SHALL CONFORM TO THE REGULATIONS SET FORTH IN THE PUD ORDINANCE.
5. LANDSCAPE PLAN FOR PROJECT PER PUD ORDINANCE.
6. EROSION AND SEDIMENTATION CONTROL SHALL BE INSTALLED AS PER THE HENRIKUS COUNTY STORM DRAINAGE, EROSION AND SEDIMENT CONTROL ORDINANCE.
7. ALL CONSTRUCTION ACTIVITY ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH APPLICABLE O. S. I. A. STANDARDS FOR WORKER SAFETY.

HOLEY MOLLY SAYS
"DON'T DIG BLIND"

"IT'S THE LAW"
ONLY 2 WORKING DAYS BEFORE YOU DIG
1-800-382-5544

CALL TOLL FREE
PER INDIANA STATE LAW 35-45-1005
IT IS AGAINST THE LAW TO EXCAVATE
WITHOUT NOTIFYING THE UNDERGROUND
UTILITY SERVICE TWO (2) WORKING
DAYS BEFORE COMMENCING WORK.

FOR CONTINUATION SEE SHEET 102



DATE:
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Schneider

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Indianapolis, IN 46216-1037
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Fax: 317.826.7300
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Environmental Engineering
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Home Builder Services
Interior Design
Land Surveying
Landscape Architecture
Transportation Engineering

**WATERMAN FARMS
PRELIMINARY DEV. PLAN**

HAMILTON COUNTY, NOBLESVILLE, INDIANA

ARBOR HOMES, LLC
8908 EAST 76th STREET, (Suite 400), INDIANAPOLIS, INDIANA 46250

DATE: 09/25/2007	PROJECT NO. 4505.001
DRAWN BY: R/W	CHECKED BY: R/W
SHEET TITLE: PRELIMINARY DEVELOPMENT PLAN	
DRAWING FILE: R:\W\4505\001\W02 REVISED	

BENCH MARK

BM - "HSE19" HSE DISK IN CONCRETE ON THE NORTH SIDE OF PLANTANA ENTRANCE FROM CUMBERLAND ROAD. 36.5 FEET NORTH OF A CUT "X" IN THE SIDEWALK ALONG PLANTANA BOULEVARD, 46.5 FEET EAST OF A CUT "X" IN AN ASPHALT PATH ALONG CUMBERLAND ROAD AND 8 FEET SOUTHWEST OF ENTRANCE WALL.
ELEVATION = 822.36 (NAVD 1988)

BM - "HSE16" HSE DISK IN CONCRETE AT THE SOUTH END OF THE ENTRANCE MEDIAN TO SWEET BRIAR FROM 131ST STREET. 1.2 FEET NORTH OF THE BACK OF CURB.
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15900 Alliance Road
Noblesville, Indiana 46060
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(317)776-5316

Storm Sewer
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Dept. of Engineering
14701 Cumberland Rd. (Suite 300)
Noblesville, Indiana 46060
(317)776-6330

Telephone
America's
5858 North College
Indianapolis, Indiana 46220
1-800-382-5544

Cable Television
Inlight Communications Co.
15239 Stony Creek Way
Noblesville, Indiana 46060
(317)776-0560

Streets
City of Noblesville
Dept. of Engineering
14701 Cumberland Rd. (Suite 300)
Noblesville, Indiana 46060
(317)776-6330

Fiber Optic
Midland USA
6400 C Street SW
PO Box 3177
Dexter, Florida, IA 52406
(317) 697-2863 Stew

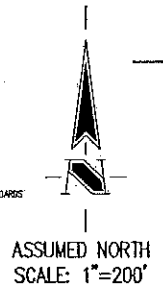
Utility Notice: while Indiana T-800-382-5544 includes Indiana 1-800-382-5544.
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DEVELOPMENT SUMMARY

No. OF LOTS - 618
TOTAL AREA - 165.40 Ac.±
GROSS DENSITY - 3.74 LOTS/ACRE±
NET DENSITY - 4.06 LOTS/ACRE±

GENERAL NOTES:

1. OFF STREET PARKING SPACES SHALL BE PROVIDED FOR EACH RESIDENTIAL UNIT PER PUD DRAINAGE.
2. OUTDOOR LIGHTING SHALL BE SPECIFIED BY PUD DRAINAGE.
3. NO BILLBOARD OR INTERNALLY LIGHTED SIGNS SHALL BE PERMITTED. GROUND SIGNS ONLY ARE TO BE USED.
4. SIGNS SHALL BE LOCATED AT THE ENTRANCES TO THE DEVELOPMENT. ALL SIGNS SHALL CONFORM TO THE REGULATIONS SET FORTH IN THE PUD DRAINAGE.
5. LANDSCAPE PLAN FOR PROJECT PER PUD DRAINAGE.
6. EROSION AND SEDIMENTATION CONTROL SHALL BE INSTALLED AS PER THE HENRIKSON COUNTY STORM DRAINAGE, EROSION AND SEDIMENT CONTROL ORDINANCE.
7. ALL CONSTRUCTION ACTIVITY ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH APPLICABLE U.S. N. A. STANDARDS FOR WORKER SAFETY.

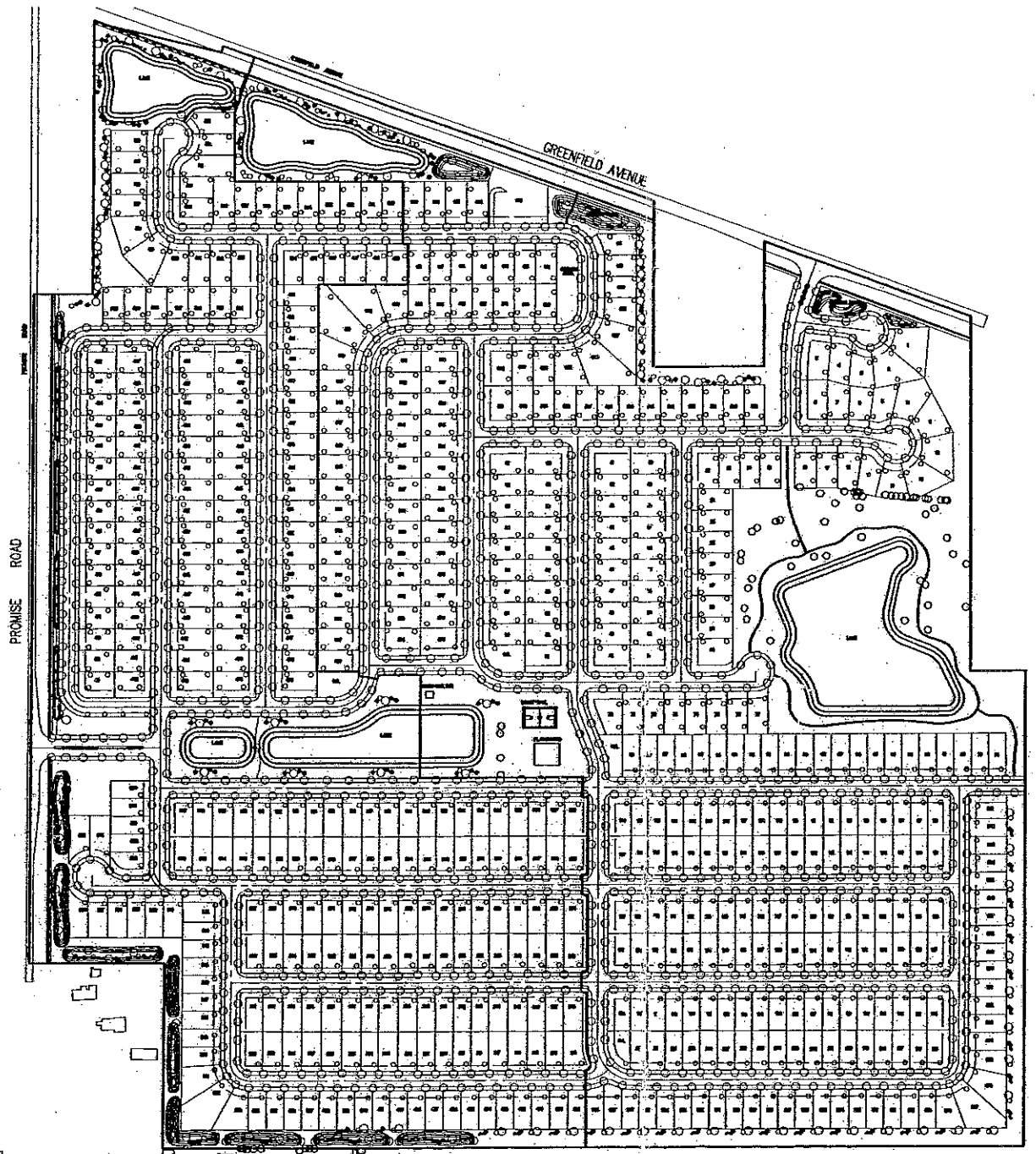


LANDSCAPE PLAN for WATERMAN FARMS



LEGEND

	New Storm Sewer		Existing Gas Line
	New Sanitary Sewer		Existing Telephone Line
	Existing Contour		Existing Electric Line
	Utility & Drainage Esm't		Existing Utility Pole
	Building Setback Line		Existing Trees
	Existing Water Line		
	New Water Line		



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Environmental Engineering
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Land Surveying
Landscape Architecture
Transportation Engineering

WATERMAN FARMS
PRELIMINARY DEV. PLAN
HAMILTON COUNTY, NOBLESVILLE, INDIANA

ARBOR HOMES, LLC
6868 EAST 75th STREET, (Suite 400), INDIANAPOLIS, INDIANA 46250

DATE: 09/25/2007	PROJECT NO: 4505.001
DRAWN BY: [Signature]	CHECKED BY: [Signature]
SHEET TITLE: LANDSCAPE PLAN	
DRAWING FILE: R:\4505\01\LANDSCAPE PLAN	
SHEET NO: 104	

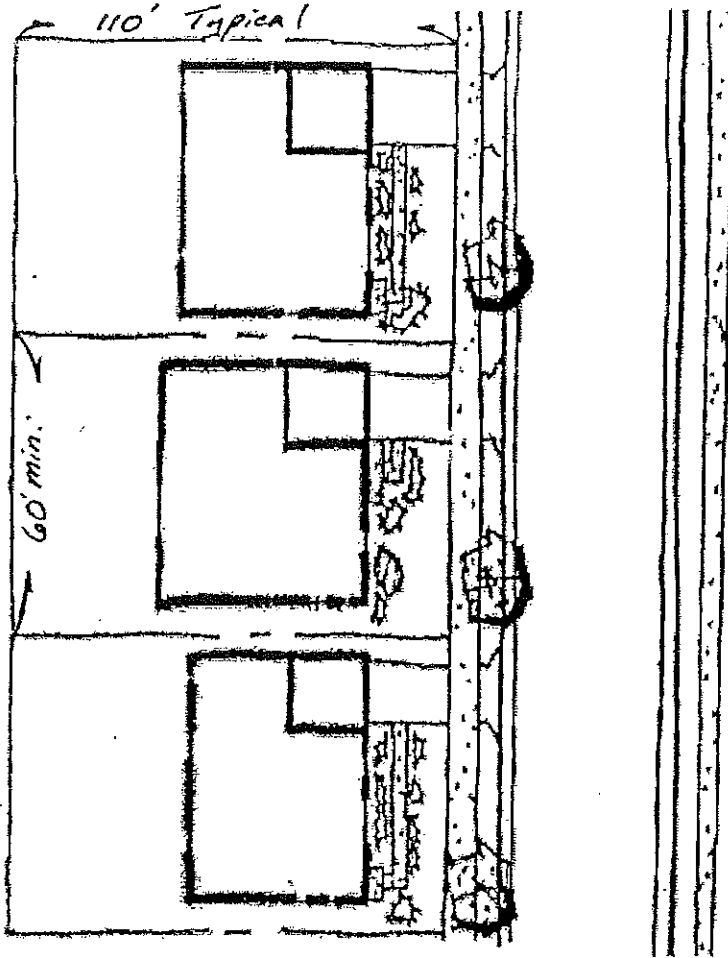
Residential Lot Design Guidelines – Street Accessed Homes - 60' Lots

Waterman Farms

Arbor 60.

Lot Standards - Street Accessed Homes

1. Minimum Lot Width – 60 feet
2. Minimum Setbacks
 - a. Front – 20 feet – 30 feet varied
 - b. Side – 5 feet per side, 10 feet separation between buildings
 - c. Rear – 20 feet
3. Maximum Building Height – 35-feet
4. Minimum Home Size – 1000 sq ft.
5. Garage Standards – Garage doors shall not exceed 33% of the façade of the home.



House Plans & Square footage		
Maple	1017	Hickory 1637
Sycamore	1202	Magnolia 1677
Cypress	1256	Poplar 1704
Elm	1274	Rosewood II 1795
Rosewood	1327	Hawthorn 2027
Ashton	1356	Aspen 2128
Oakwood	1386	Acacia 2510
Cedar	1590	Sequoia 2604

The Acacia and Sequoia plans will not be used as models and will be restricted to no more than 10% of the homes constructed on the 50' and 60' lots. This would provide a maximum combined total of 45.

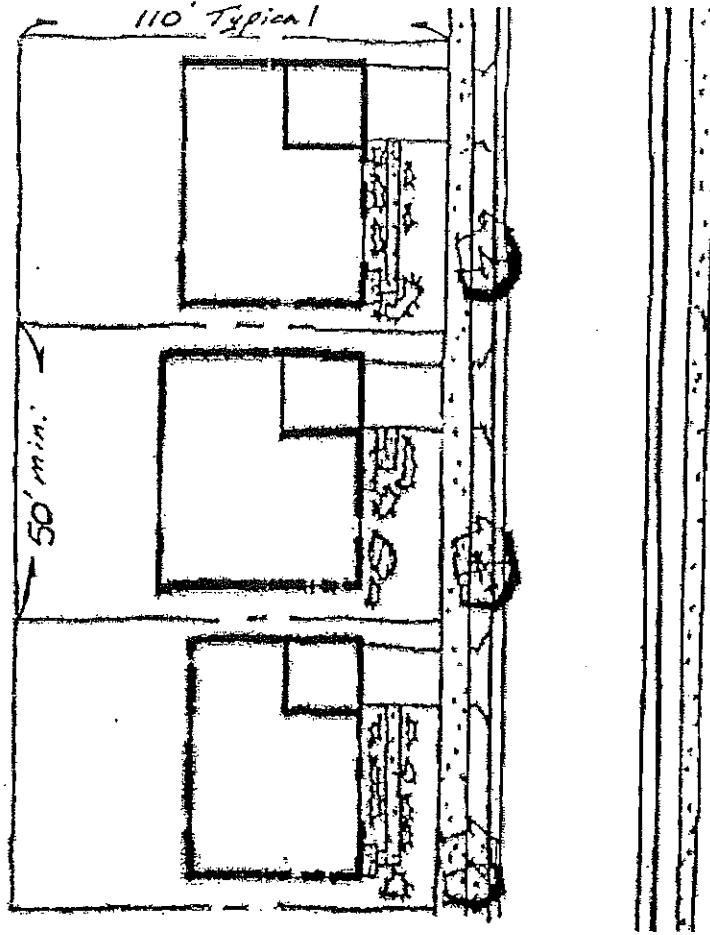
Residential Lot Design Guidelines – Street Accessed Homes - 50' Lots

Waterman Farms
Development Standards

Arbor 50.

Lot Standards - Street Accessed Homes

1. Minimum Lot Width – 50 feet
2. Minimum Setbacks
 - a. Front – 20 feet – 30 feet varied
 - b. Side – 5 feet per side, 10 feet separation between buildings
 - c. Rear – 20 feet
3. Maximum Building Height – 35 feet
4. Minimum Home Size – 1000 sq ft
5. Garage Standards – Garage doors shall not exceed 33% of the façade of the home. One-car garages shall be permitted in this development



House Plans & Square Footage

Maple	1017	Hickory	1637
Sycamore	1202	Magnolia	1677
Cypress	1256	Poplar	1704
Elm	1274	Rosewood II	1795
Rosewood	1327	Hawthorn	2027
Ashton	1356	Aspen	2128
Oakwood	1386	Sequoia	2604

The Acacia and Sequoia plans will not be used as models and will be restricted to no more than 10% of the homes constructed on the 50' and 60' lots. This would provide a maximum combined total of 45.

Updated 9/20/07

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Residential Parking

Waterman Farms

Development Standards

Parking

Street Accessed Homes

- a. The product has two-car garages, with driveways a minimum of 17' in width. On-street Parking shall be provided on one side of all internal streets within these sections of the development (for a rate of approximately 2 spaces/lot).

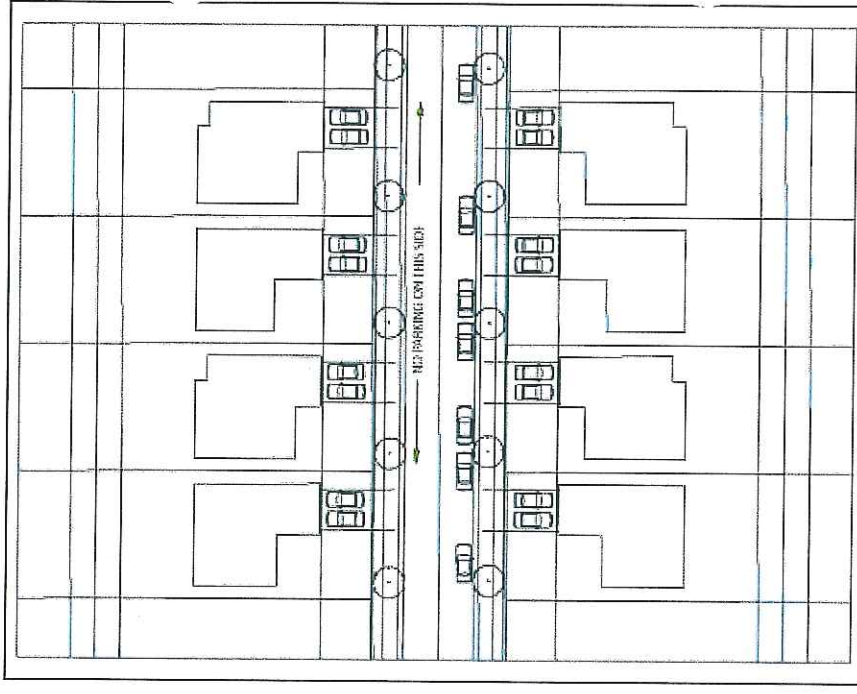


Illustration of the parking provided for homes in Waterman Farms

EXHIBIT 5

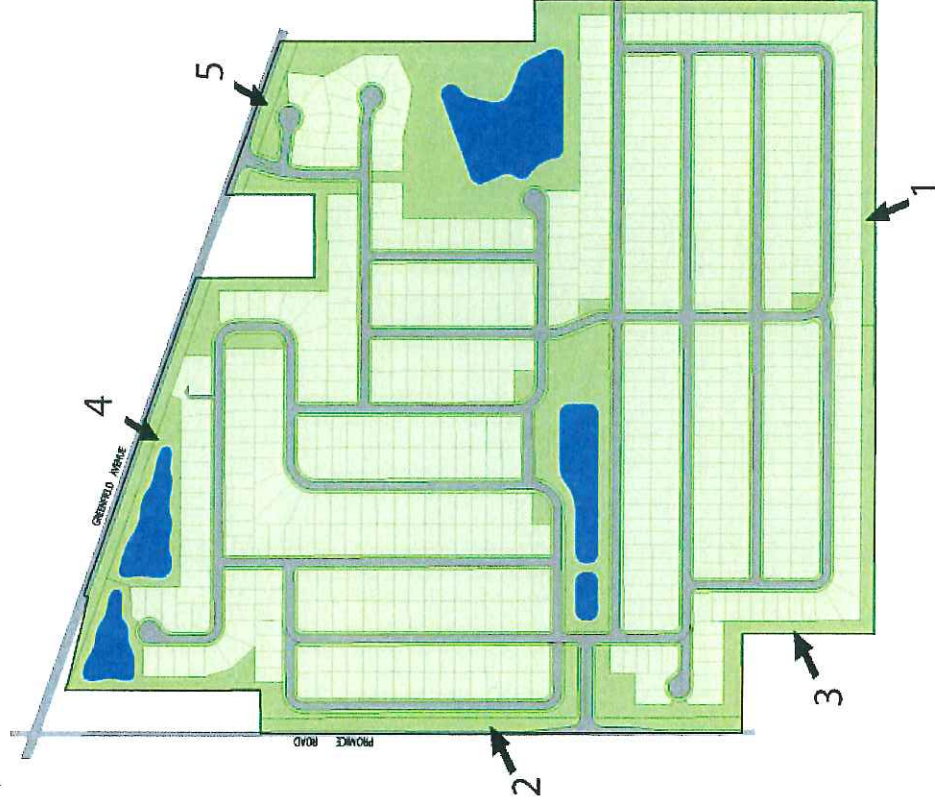
Perimeter Buffers and Entrances

- Perimeter buffering for the residential portion of the site will be provided by a 50' minimum common area/open space. Spruce trees, shade trees, ornamentals and shrubs to be varied throughout the buffer will be installed by the developer within the perimeter buffer at interval as shown on the landscape/buffer details. Where applicable, existing tree lines will be preserved and used as additional perimeter buffering.

Perimeter Road Buffers:

The buffer along Greenfield Avenue will have a varying width with rolling earthen berms water features and landscaping as depicted on details 4 and 5.

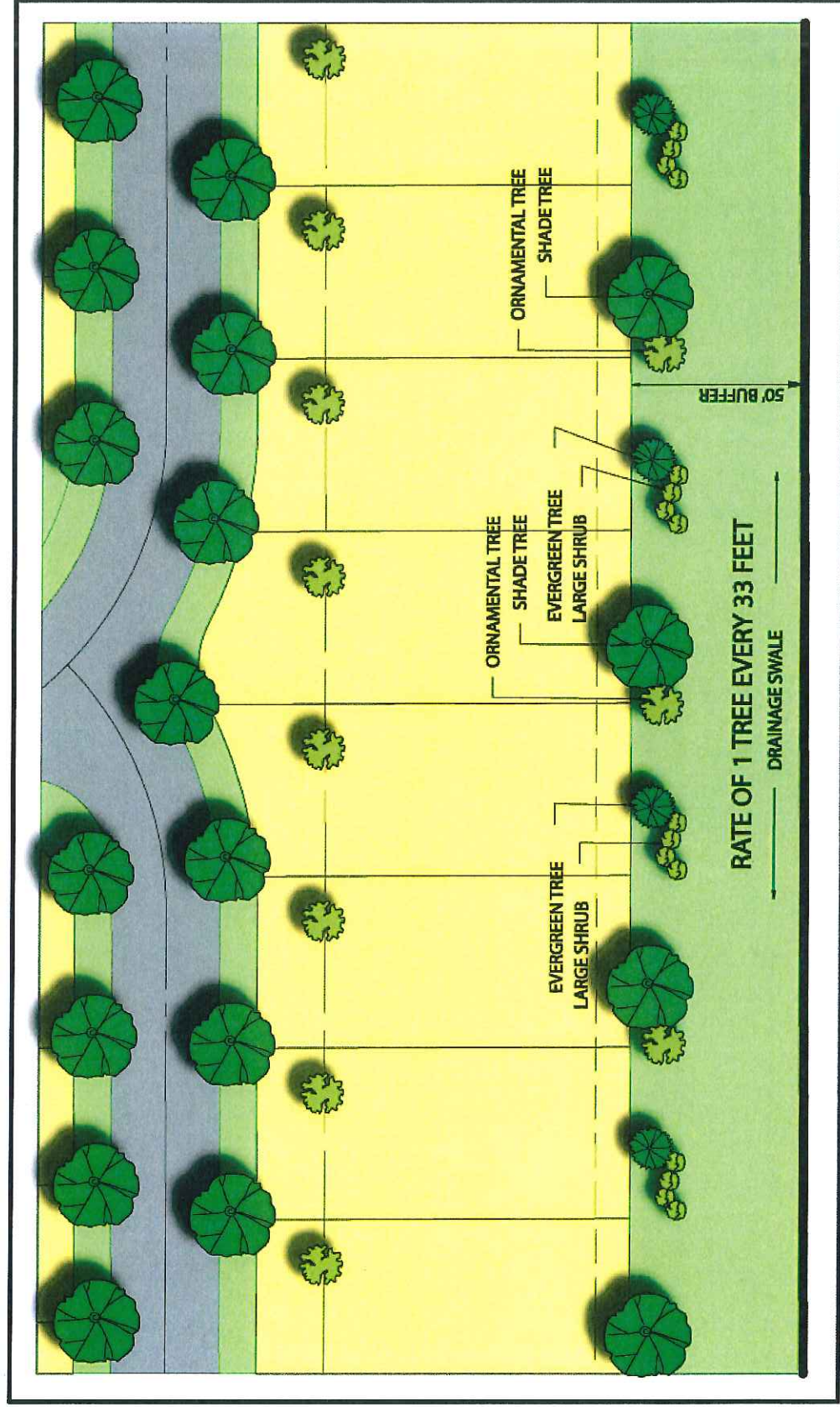
The buffer along Promise Road will have a minimum 20' common area strip heavily landscaped with a 3' maximum earthen berm supplemented with split rail fencing. A frontage road has been proposed with the amended PUD providing the front of the homes to the existing roadway and an additional 54' of right of way buffer with street trees. Promise Road is also planned to be relocated to align with Union Chapel Road which will significantly expand this buffer area (See detail 2).



Landscape Buffer Detail 1: Office/Residential Buffer (typical 200' Section) Waterman Farms

Development Standards

NOTE: All plant sizes are pursuant to Article 12, Landscaping and Screening, of City of Noblesville Unified Development Ordinance.



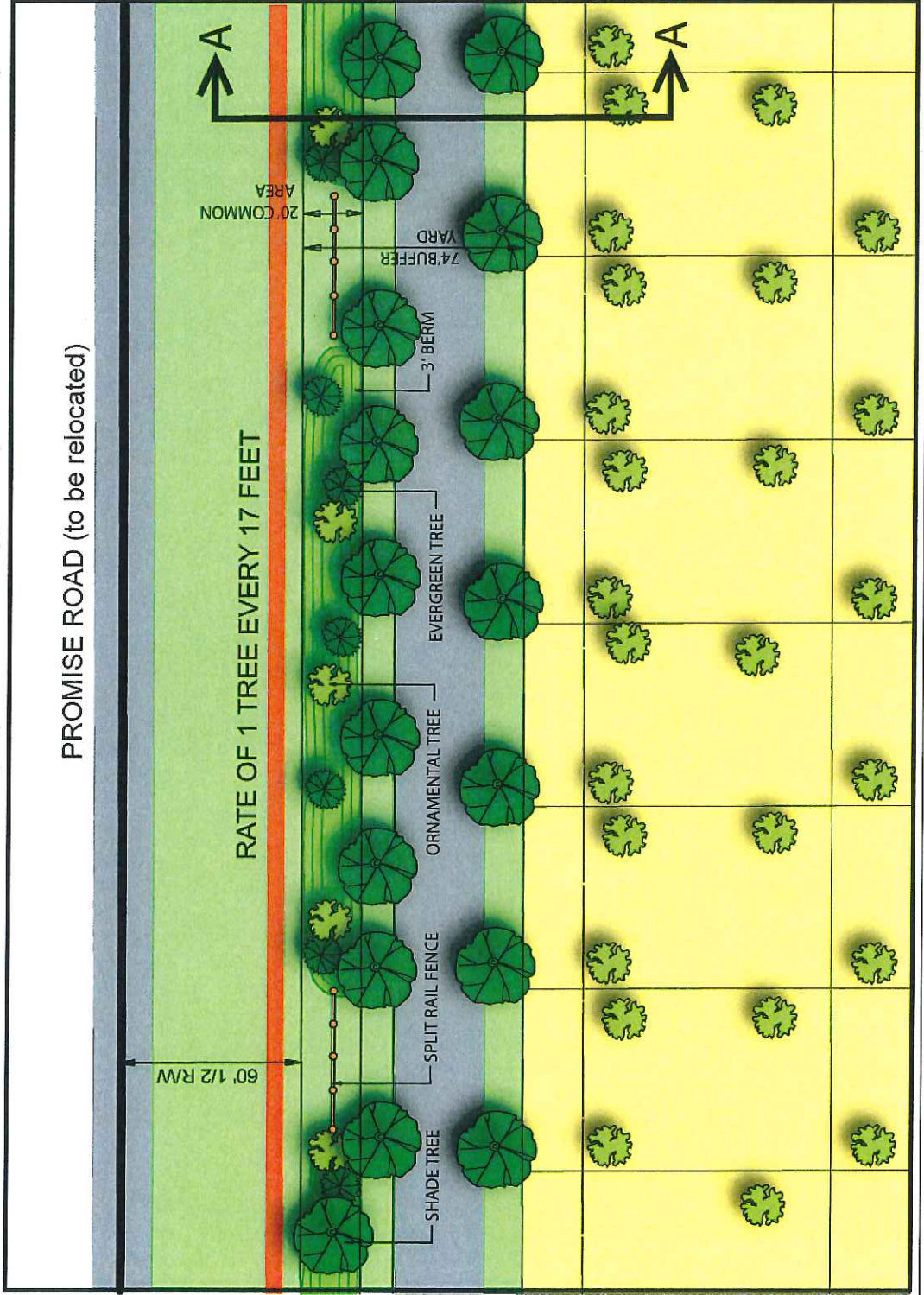
Updated 9/20/07

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Landscaping Buffer/Mound Detail 2: Promise Road (typical 200' Section)

Waterman Farms Development Standards

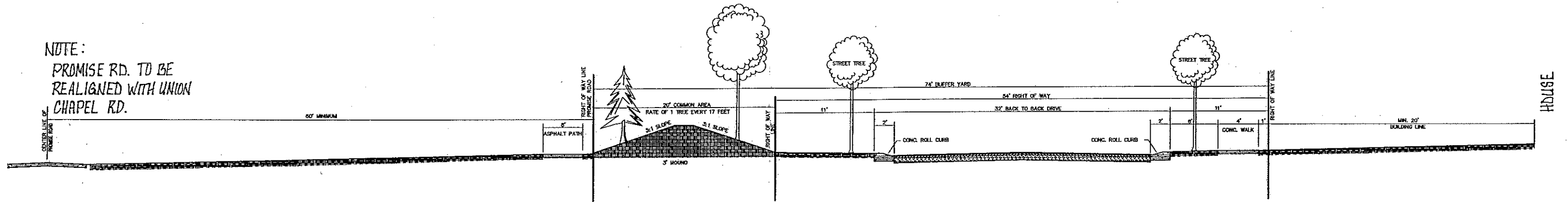
NOTE: All plant sizes are pursuant to Article 12, Landscaping and Screening, of City of Noblesville Unified Development Ordinance.



Updated 9/20/07

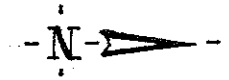
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NOTE:
PROMISE RD. TO BE
REALIGNED WITH UNION
CHAPEL RD.



CROSS SECTION ALONG PROMISE ROAD (A-A)

HOUSE



SCALE 1" = 20'

Promise Road (to be relocated)

200'

Asphalt Path

60' R/W

Split Rail Fence

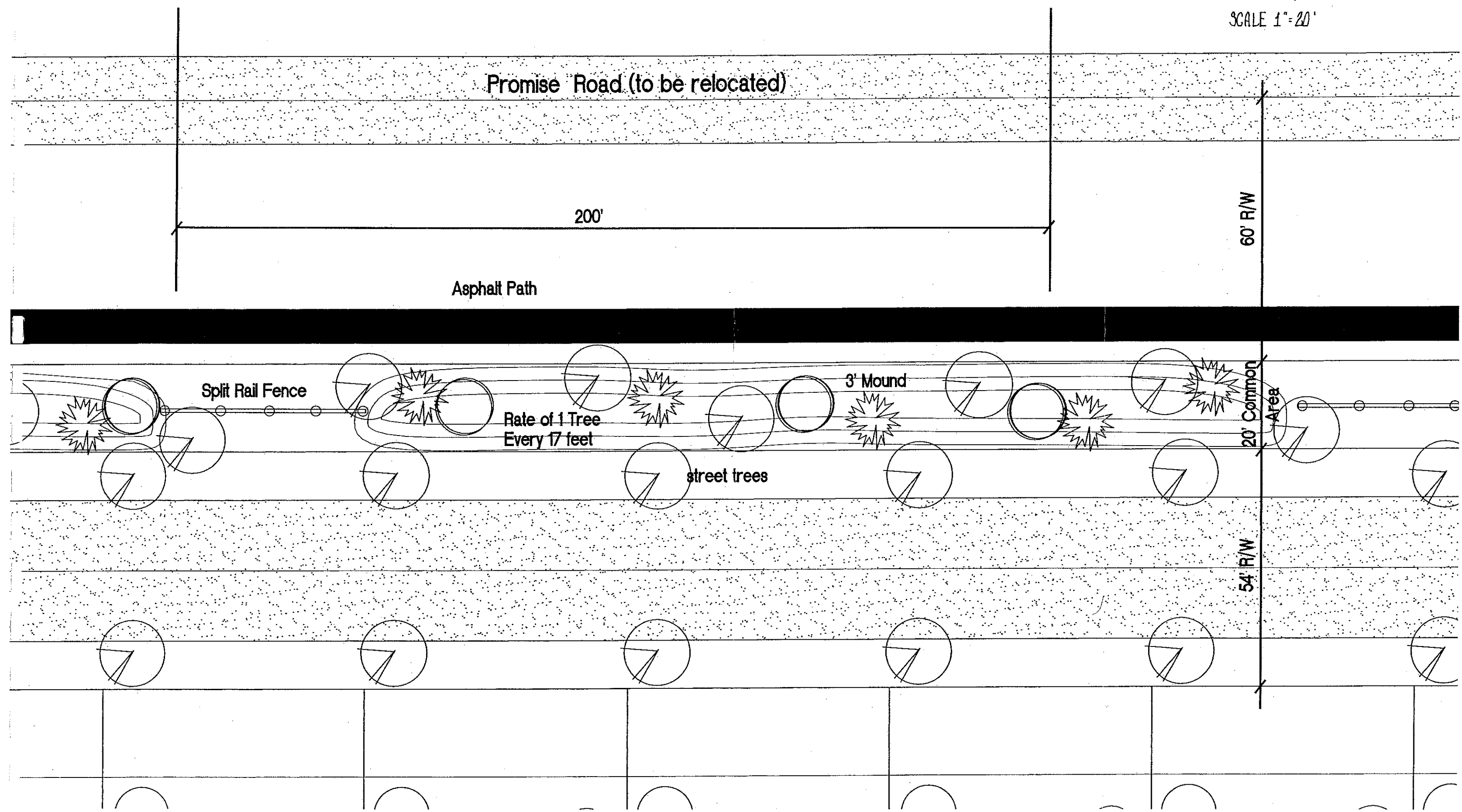
Rate of 1 Tree
Every 17 feet

3' Mound

street trees

20' Common
Area

54' R/W



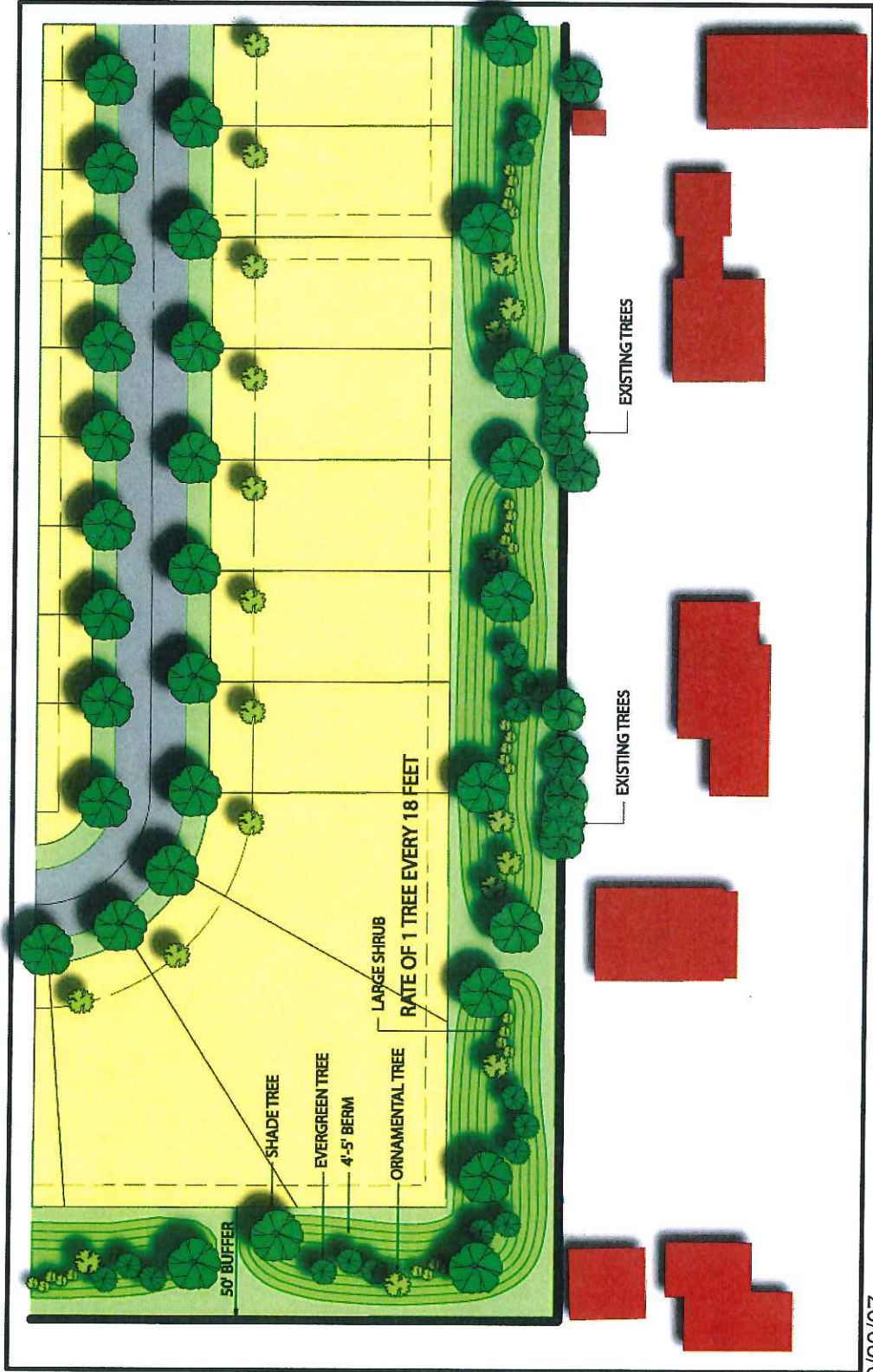
Landscape Buffer/Mound South Detail 3: Property Line with Adjacent Residence

Waterman Farms

Development Standards

(typical 200' Section)

NOTE: All plant sizes are pursuant to Article 12, Landscaping and Screening, of City of Noblesville Unified Development Ordinance.



Updated 9/20/07

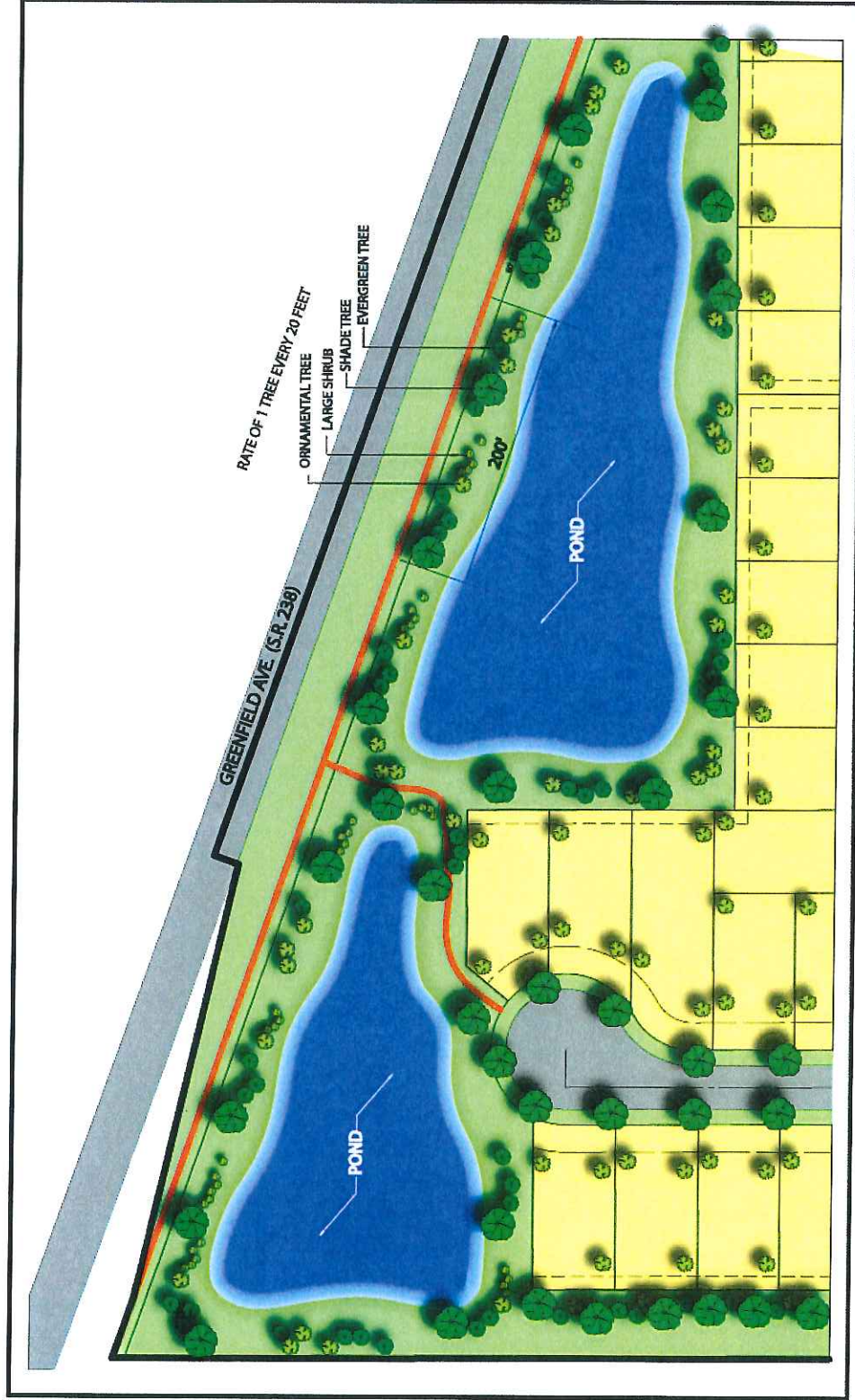
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Landscape Buffer/Detail 4: at Ponds (typical 200' Section)

Waterman Farms Development Standards

NOTE: All plant sizes are pursuant to Article 12, Landscaping and Screening, of City of Noblesville Unified Development Ordinance



Updated 9/20/07

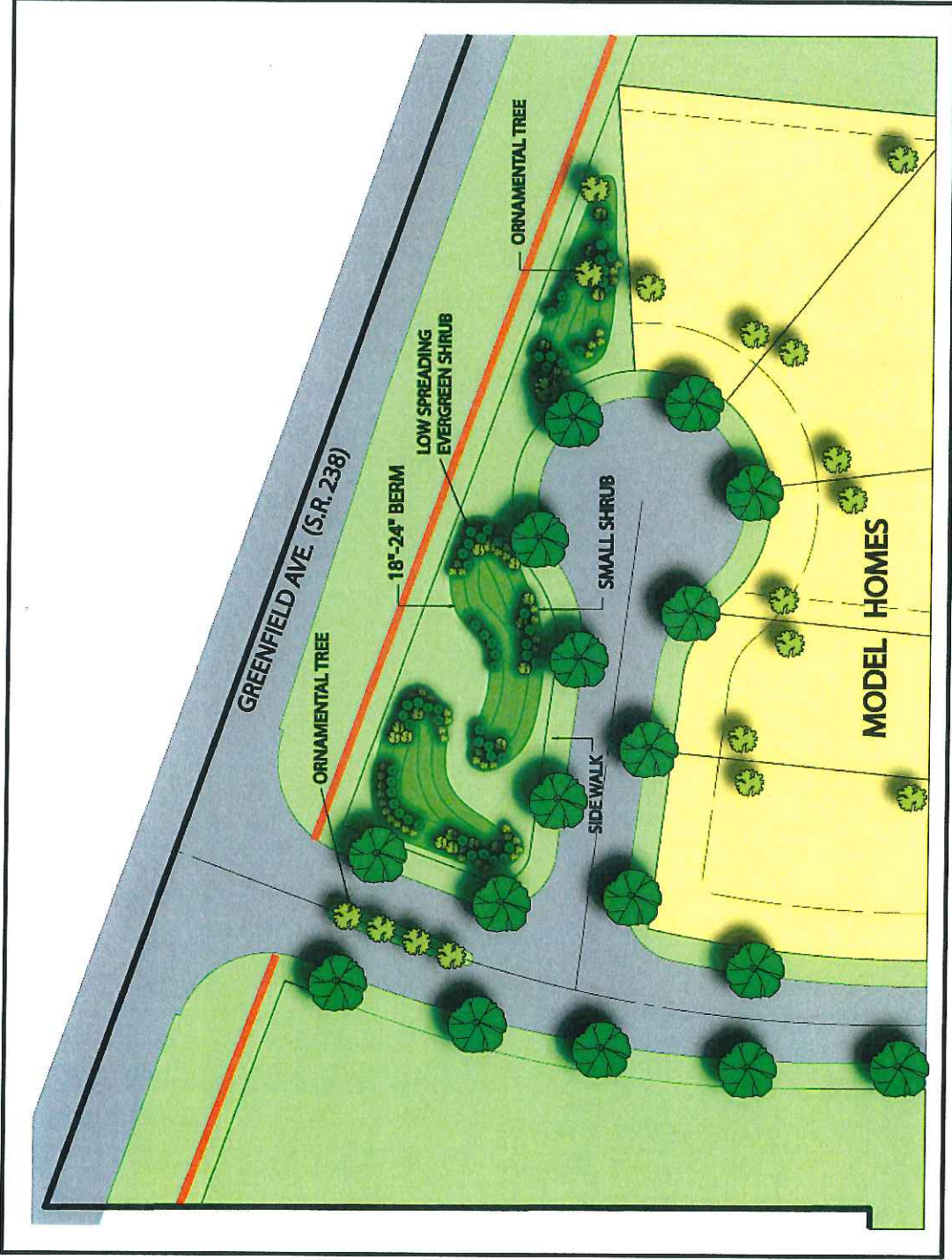
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Landscape Buffer/Mound Detail 5: at Entrance

Waterman Farms Development Standards

NOTE: All plant sizes are pursuant to Article 12, Landscaping and Screening, of City of Noblesville Unified Development Ordinance



Updated 9/20/07

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EXHIBIT 6

Residential Common Area/Open Space

Waterman Farms

Development Standards

Common Area/Open Space

- With the addition of the fountains, benches, and overlook structure that are incorporated with the lakes of Waterman Farms, the acreage of the lakes and the area of land that surrounds them are part of the usable open space for this Planned Development.

1. Tree Preservation. Area
2. Gazebo and Path Connection
3. Sidewalk Adjacent to Park
4. Fountain
5. Playground/Open Space
6. Fitness Walking Trail



Residential Common Area/Open Space (cont'd) Playground/Amenity Area

Waterman Farms

Development Standards



Community Amenities

Community amenities will include: picnic shelter with tables and outdoor grills, hard surface basketball court, multi-use commercial playground, integrated community bike and jogging trail and at the option of the developer, either (i) a gated pool house with changing rooms, swimming pool with fenced deck area and children's wading pool, or (ii) one or more selected alternative active amenities such as soccer field, play field, tennis court, etc.

Updated 9/20/07

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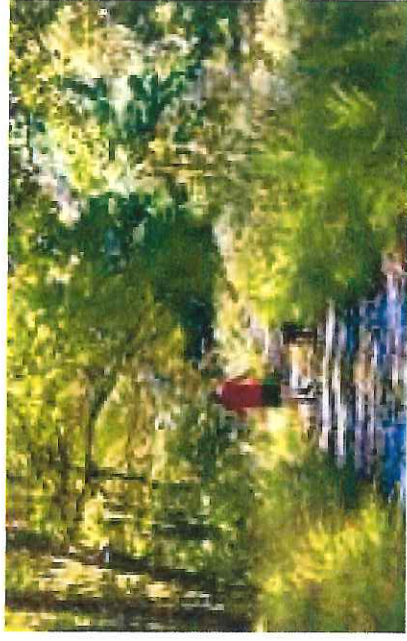
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Residential Common Area/Open Space (cont'd)

Waterman Farms

Development Standards

The Corporate Campus Land Use and Subdistricts Map illustrate a potential hike/bike trail extending through the location of this Planned Development. The colored lines demonstrate where this trail will be accommodated within this site. The red lines represent trail improvements of an 8' wide asphalt surface.

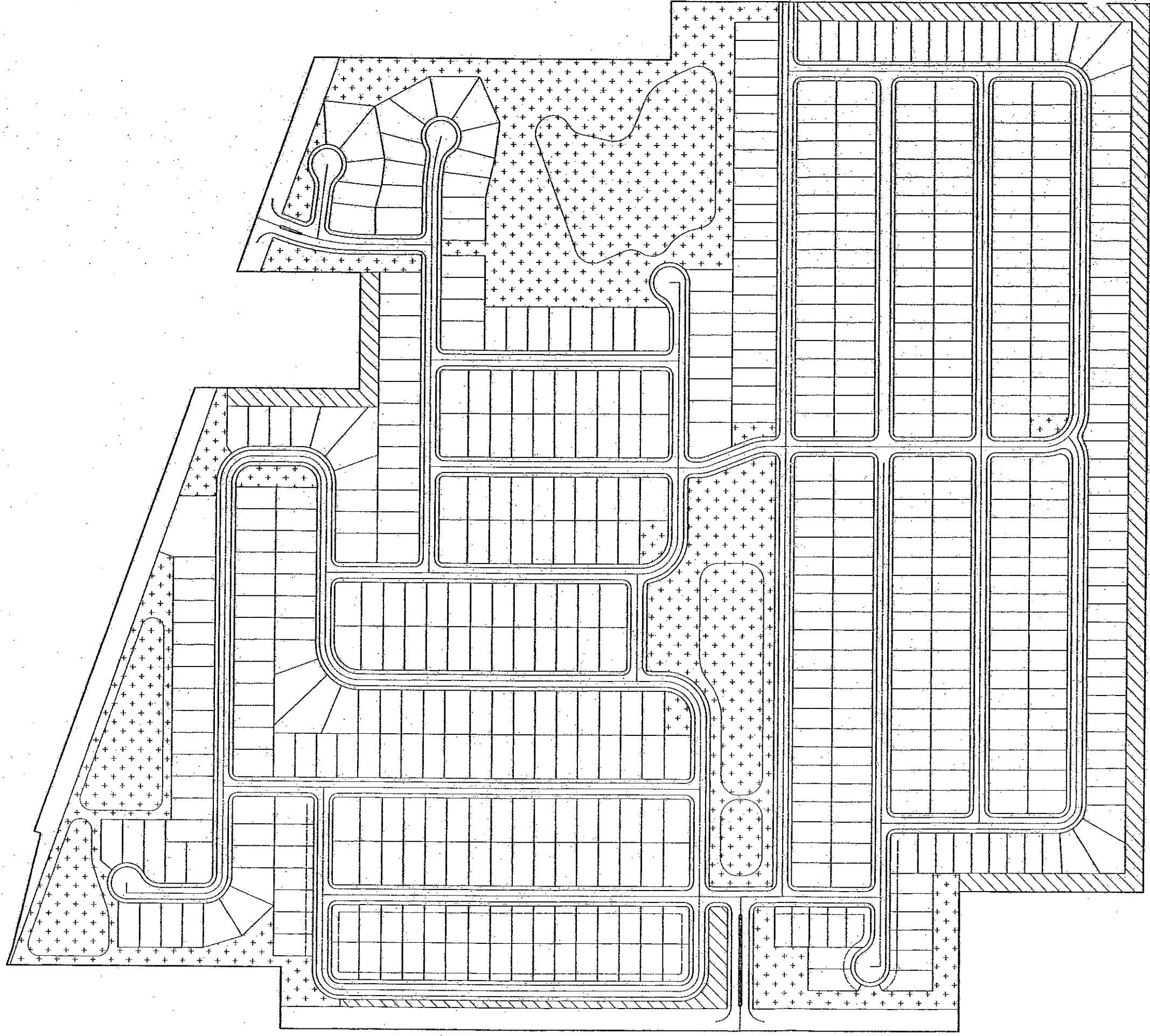


This Planned Development proposes to preserve several acres of wooded open space. The images above demonstrate how such an amenity may be successfully integrated into a development, creating a beautiful destination for community residences.

Updated 9/20/07

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EXHIBIT 7



GROSS AREA = 165.40 Ac +/-

NET AREA = 159.82 Ac +/-



USABLE COMMON AREA = 28.04 Ac. +/-

PERCENTAGE OF COMMON AREA PER GROSS ACRES = 19.66%

PERCENTAGE OF COMMON AREA PER NET ACRES = 20.48%



NON-USABLE COMMON AREA = 4.48 Ac. +/-