

CITY OF NOBLESVILLE  
BOARD OF ZONING APPEALS  
VARIANCE OF DEVELOPMENT STANDARD APPLICATION

Application Number: 1004-2016

The undersigned requests a Variance of Development Standards as specified below. Should this variance request be approved, such approval shall only authorize the particular use described in this application and as further limited by reasonable conditions imposed upon such approval by the Board of Zoning Appeals.

Project Name or Occupant Name: Jonathan & Teal Morris  
Common Address 18779 Tillamook Run East

Applicant Name: Jonathan Morris  
Applicant Address: 18779 Tillamook Run East  
Applicant City/State/Zip: Noblesville, IN 46062 E-mail: morris8495@gmail.com  
Applicant Phone #1: 317-701-7900 Phone #2: 317-946-9548 Fax: \_\_\_\_\_

Owner Name: Jonathan & Teal Morris  
Owner Address: 18779 Tillamook Run East  
Owner City/State/Zip: Noblesville, IN 46062 E-mail: morris8495@gmail.com  
Owner Phone #1: 317-701-7900 Phone #2: 317-946-9548 Fax: \_\_\_\_\_

Property Location:  Not located in a recorded subdivision, see legal description attached.

Subdivision Name: The Ridge  
Subdivision Section: 2A Lot Number: 90 Last Deed of Record Number \_\_\_\_\_

Existing Land Use: Residential  
Common Description of Request: Widen Driveway At Street by 12'-0"  
Zoning District of Property: \_\_\_\_\_ Code Section(s) Appealed: UDO § 10.0.4.C.2.d

Date: 9/8/16 Applicant's Signature: [Signature]

The Noblesville Board of Zoning Appeals (BZA) is authorized to approve or deny Variances of Development Standard from the terms of the Unified Development Ordinance. The BZA may impose reasonable conditions as part of its approval. A Variance of Development Standard may be approved only upon a determination in writing that the following three (3) statements are true (see Indiana Code § 36-7-4-918.5):

1. The approval will not be injurious to the public health, safety, morals, and general welfare of the community. Explain why this statement is true in this case:

This will not be injurious to public safety, because  
it will allow for better use of our driveway and  
eliminate potential damage to the sidewalk when  
the driveway is missed.

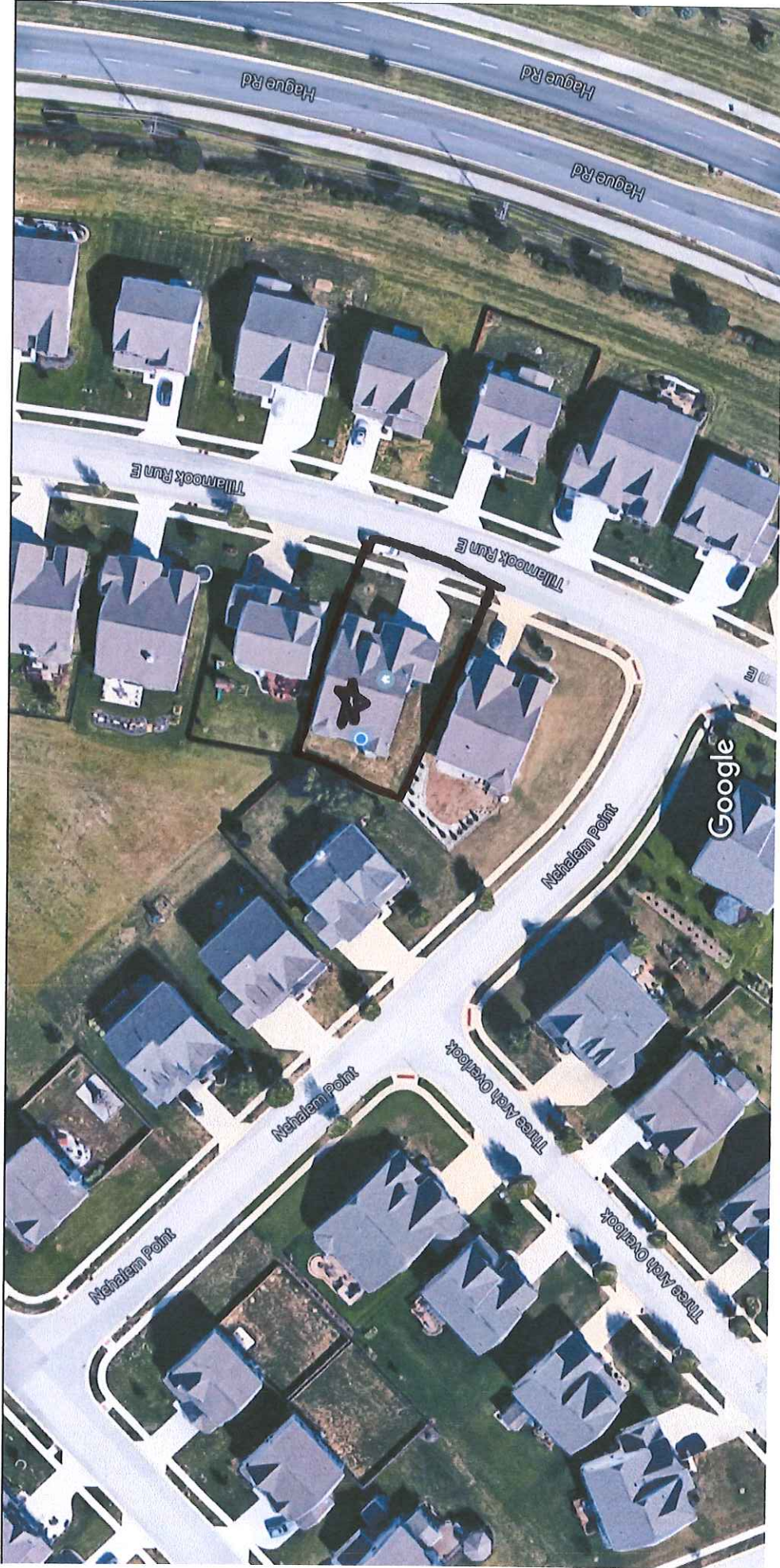
2. The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner by the approval of this variance request. Explain why this statement is true in this case:

Since making the turn out of the garage is  
almost impossible, the vehicle will sometimes  
run over the lawn. The grass will not get run  
over and therefore the lawn will look better and  
not degrade any neighboring homes.

3. The strict application of the terms of the zoning ordinance will result in practical difficulties in the use of the subject property. Explain why this statement is true in this case:

My wife, Teal, has a physical disability and has  
difficulty backing out of the driveway without  
running over the grass. This will allow her to have  
less difficulty backing out of the third car  
garage.

# Aerial Photo - 18779 Tillamook Run E



Imagery ©2016 Google, Map data ©2016 Google 50 ft

Street Photos – 18779 Tillamook Run East



# SITE PLAN AND PRECONSTRUCTION ELEVATION CERTIFICATE

CONSULTING ENGINEERS

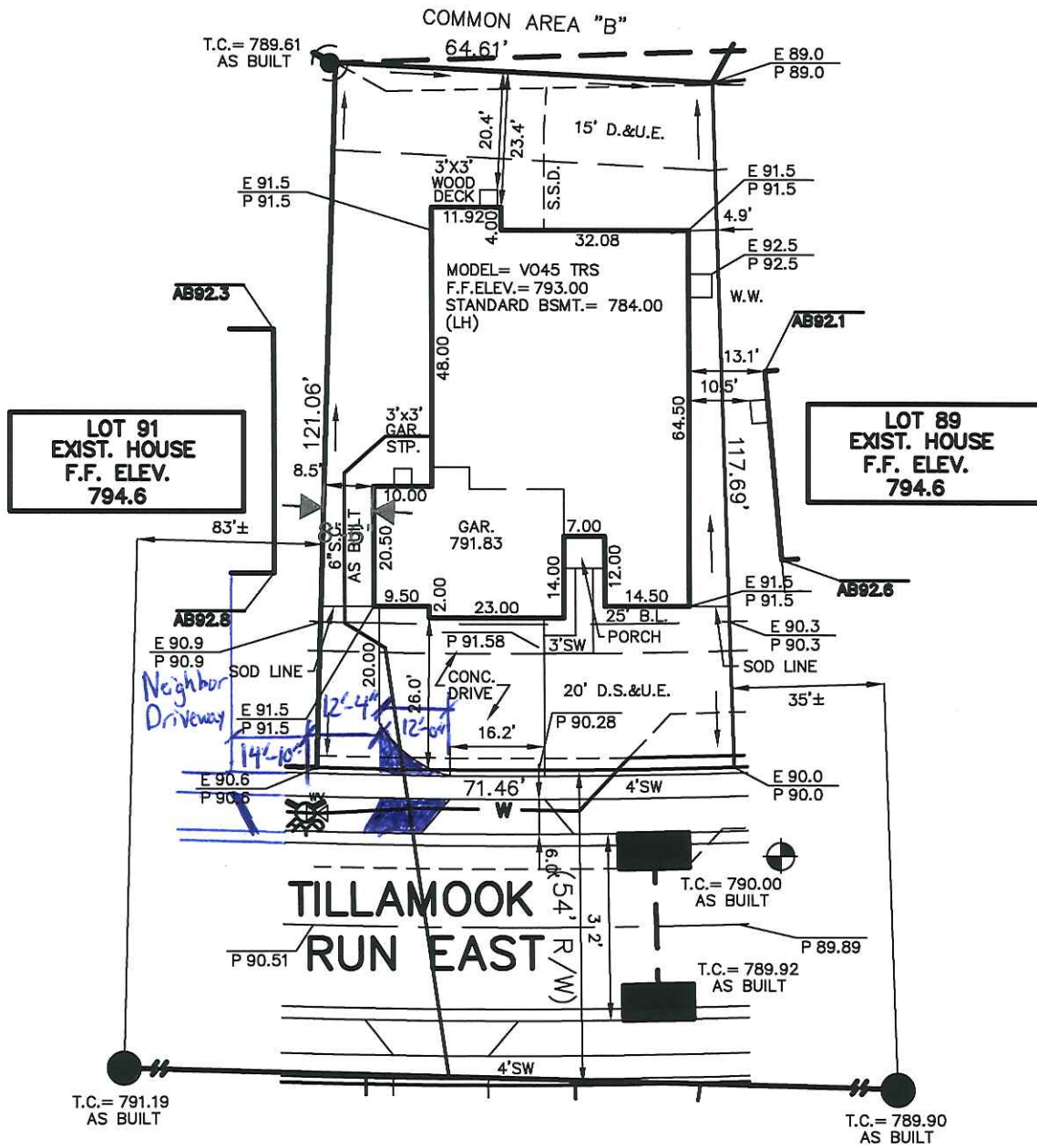
LAND SURVEYORS

7965 East 106th Street • Fishers, IN 46038-2505  
(317) 849-5935 • FAX: (317) 849-5942

JOB ID RPC2A.90

CONTROL # 66143 BEA

18779 TILLAMOOK RUN EAST  
NOBLESVILLE, IN 46060



1" = 30'  
LOT AREA: 8,136 Sq. Ft.

- LEGEND:  
E 99.99 EXISTING GRADE  
P 99.99 PROPOSED GRADE
- S.S.D. --- SUB-SURFACE DRAIN
  - SANITARY SEWER
  - STORM SEWER
  - W --- WATER MAIN
  - W --- 3/4" WATER CONNECTION
  - SWALE

- SANITARY MANHOLE
- STORM MANHOLE
- CURB INLET
- ⊕ FIRE HYDRANT
- ⊗ WATER GATE VALVE
- D.&U.E. DRAINAGE & UTILITY EASEMENT
- B.L. BUILDING LINE
- D.S.&U.E. DRAINAGE SEWER & UTILITY EASEMENT
- W.W. WINDOW WELL

ALL UNDERGROUND SEWERS AND UTILITIES SHOWN ARE PLOTTED BY SCALE FROM "RECORD DRAWINGS" FURNISHED BY ENGINEER.

⊕ BENCHMARK  
TOP OF CASTING = 790.00

- SOD: 1,470 ± Sq. Ft.
- SEEDING: 3,109 ± Sq. Ft.
- CONC. DRIVEWAY: 939 ± Sq. Ft.
- PRIVATE WALK: 60 ± Sq. Ft.
- PUBLIC WALK: 222 ± Sq. Ft.

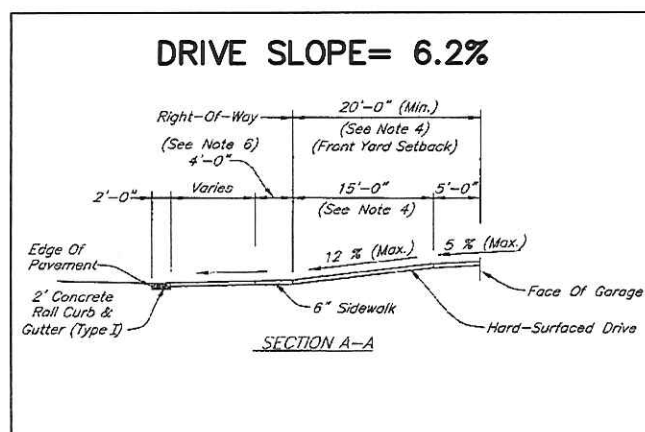
LOT 90  
THE RIDGE  
SECTION 2A  
INST. #2008057067  
0' MINIMUM SIDE YARD  
10' BETWEEN STRUCTURES  
20' MINIMUM REAR YARD



*Curtis C. Huff*

NOTE: THIS DRAWING IS NOT INTENDED TO BE REPRESENTED AS A RETRACEMENT OR ORIGINAL BOUNDARY SURVEY, A ROUTE SURVEY OR A SURVEYOR LOCATION REPORT.

IT IS MY OPINION THAT IF THE PROPOSED FINISH GRADES ARE CONSTRUCTED AS SHOWN, THE SURFACE DRAINAGE ON THE SUBJECT LOT WILL BE SATISFACTORY FOR RESIDENTIAL CONSTRUCTION. THIS PLAN WAS COMPILED BASED ON CONSTRUCTION PLANS PREPARED BY CIVIL DESIGNS AND STOEPPELWERTH & ASSOCIATES, INC. ASSUMES NO LIABILITY FOR THE ACCURACY, COMPLETENESS, OR ACCEPTANCE OF THOSE DOCUMENTS. THIS DRAWING IS NOT INTENDED TO BE REPRESENTED AS A RETRACEMENT OR ORIGINAL BOUNDARY SURVEY, A ROUTE SURVEY, OR A SURVEYOR LOCATION REPORT.



1ST REV CHG ADDRESS  
12/03/12 LAF  
11/20/12 JDA  
"HOLEY MOLEY SEZ"  
"DON'T DIG BLIND"  
CALL TWO WORKING DAYS BEFORE YOU DIG.  
IT'S THE LAW  
1-800-382-5544

