



CITY OF NOBLESVILLE  
BOARD OF ZONING APPEALS  
VARIANCE OF USE APPLICATION  
DEVELOPMENT STANDARDS

Application Number: 1034-2016

The undersigned requests a Variance of Use as specified below. Should this variance request be approved, such approval shall only authorize the particular use described in this application and as further limited by reasonable conditions imposed upon such approval by the Board of Zoning Appeals.

Project Name or Occupant Name: MARK LAWSON

Common Address 1427 HANNIBAL ST.

Applicant Name: MARK LAWSON

Applicant Address: 1427 HANNIBAL ST

Applicant City/State/Zip: Noblesville E-mail: MARKS.MAINTENANCE60@GMAIL.COM

Applicant Phone #1: 3177243953 Phone #2: \_\_\_\_\_ Fax: \_\_\_\_\_

Owner Name: Becky (Rebecca Holly Field) Property owner

Owner Address: 1427 HANNIBAL ST.

Owner City/State/Zip: 317-258-5220 (nob) E-mail: \_\_\_\_\_

Owner Phone #1: ↓ Phone #2: \_\_\_\_\_ Fax: \_\_\_\_\_

Property Location:  Not located in a recorded subdivision, see legal description attached.

Subdivision Name: \_\_\_\_\_

Subdivision Section: \_\_\_\_\_ Lot Number: \_\_\_\_\_ Last Deed of Record Number \_\_\_\_\_

Existing Land Use: \_\_\_\_\_

Common Description of Request: \_\_\_\_\_

Zoning District of Property: \_\_\_\_\_ Code Section(s) Appealed: UDO § \_\_\_\_\_

Date: 10-11-16 Applicant's Signature: Mark Lawson

The Noblesville Board of Zoning Appeals (BZA) is authorized to approve or deny Variances of Development Standard from the terms of the Unified Development Ordinance. The BZA may impose reasonable conditions as part of its approval. A Variance of Development Standard may be approved only upon a determination in writing that the following three (3) statements are true (see Indiana Code § 36-7-4-918.5):

1. The approval will not be injurious to the public health, safety, morals, and general welfare of the community. Explain why this statement is true in this case:

*IS NOT OVERSIZED AS TO OBSTRUCT, OR  
OR USED AS A BUSINESS.*

2. The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner by the approval of this variance request. Explain why this statement is true in this case:

*will be used purposely AS A GARAGE  
AND INTENTLY TO MATCH THE  
SURROUNDINGS.*

3. The strict application of the terms of the zoning ordinance will result in practical difficulties in the use of the subject property. Explain why this statement is true in this case:

*IS NOT LARGER THAN THE HOME,  
AND IS NOT LARGE ENOUGH FOR THE  
TOOLS FOR THE PROPERTY & STORAGE.*

**Corporate Office**

P. O. Box 1263  
187 Cardinal Ridge Trail  
Dobson, N.C. 27017



**CAROLINA CARPORTS, INC**  
QUALITY, CUSTOMER SERVICE AND BEST PRICES

Scheduling: (800) 670-4262

Scheduling: (336) 367-6400

Alan's Fax: (800) 385-1204

**Alan's Factory Outlet**

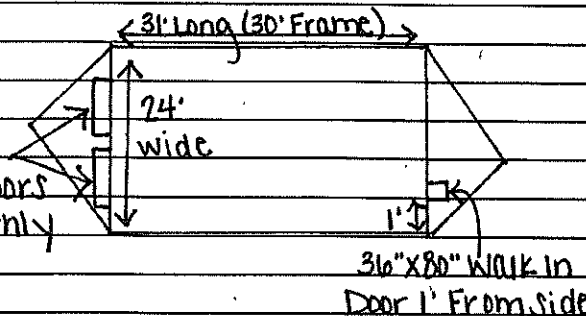
PO Box 646 Luray, VA 22835 Email: alan@alansfactoryoutlet.com Website: www.alansfactoryoutlet.com

<b>Rep.</b>	Alan's Factory Outlet		<b>Alan's Phone:</b>	1-800-488-6903	<b>Date:</b>	10/13/2016
<b>Customer Name:</b>	Mark Lawson		<b>County:</b>	Hamilton	<b>Tax %</b>	7.00%
<b>Address:</b>	1427 Hannibal Street		<b>City</b>	Noblesville	<b>State:</b>	IN
<b>Phone Work:</b>	317-724-3953	<b>Home:</b>	317-258-5220	<b>Other:</b>		

Email: marksmaintenance60@gmail.com

<b>Unit Size</b>	24'x31'	<b>HT.</b>	9'	<b>GA.</b>	14	<b>All Orders C.O.D.</b>	
<b>Color</b>	<b>Top</b>	Slate Blue	<b>Trim</b>	White		\$7,095.00	
<b>Sides/Garage Doors: White</b>							
<b>Options</b>	24'x31' Vertical Roof				\$3,095.00	Price	
	9' Leg Height				\$300.00	\$496.65	
	Sides Closed				\$660.00		
	Front End Closed				\$1,070.00	Tax	
	Back End Closed				\$1,070.00	\$7,591.65	
	(2) 9'x8' Garage Doors				\$700.00		
	36"x80" Walk In Door				\$200.00	Subtotal	
						\$1,135.20	
						Visa 16%	
						Deposit Non-refundable after 3 days	
						\$6,456.45	
						Total	
						\$0.00	
						Additional Labor Charge	
						\$7,095.00	
						\$6,456.45	
						Balance Due at Installation	
NOTE: FRAME 1 FT SHORTER THAN ROOF LENGTH							
<b>Roof Style</b>	Regular		<b>Box Eave</b>		<b>Vertical</b>	X	
<b>Installation Type</b>	Cement	X	<b>Ground</b>		<b>Asphalt</b>		<b>Other</b>
<b>Power Available</b>	Yes	X	No		<b>Uncertified</b>		<b>Certified</b>
						X	

(2) 9'x8'  
Garage Doors  
spaced evenly

**BINDING PURCHASE CONTRACT**

This purchase agreement (the "Agreement") is made by and between Carolina Carport Inc. ("CCI"), a North Carolina corporation, and Mark Lawson (the "Buyer").

Buyer agrees, after being fully educated about CCI's various products including the fourteen (14) gauge, twelve 12 gauge, and certified units, to buy, and CCI agrees to sell, pursuant to the terms listed in this Agreement described above.

Buyer has read and understands the terms of this agreement, including the terms and conditions contained on the reverse side of this document, which terms are expressly incorporated herein by reference, as well as any and all relevant warranty information and agrees to be bound by same. Delivery time frames are estimated only and are not guaranteed.

Cancellation of your order after 3 days will result in forfeit of deposit. Deposit is non-refundable after 3 days.

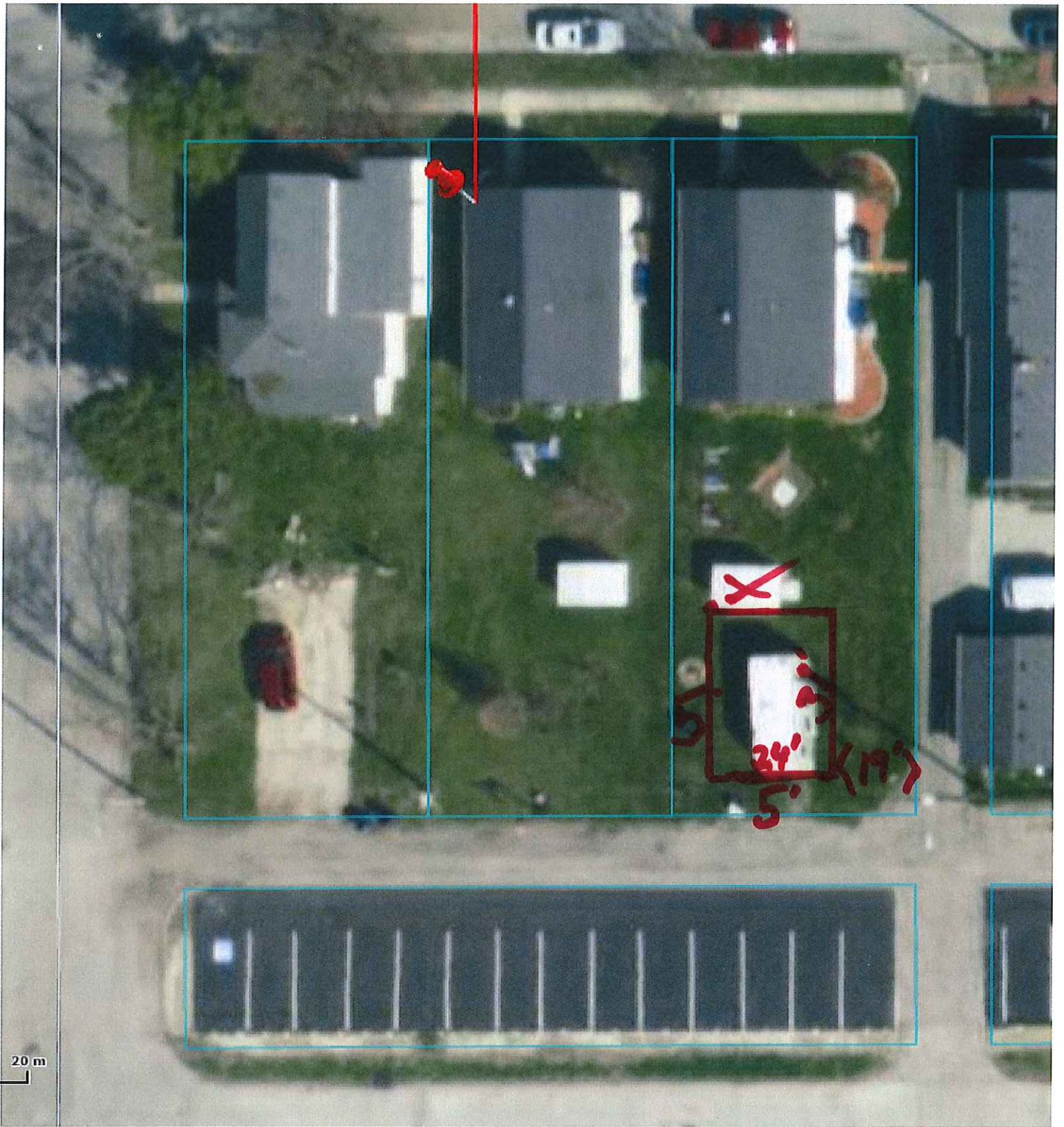
Customer: 

CCI:

By:

AJB

Authorized Representative

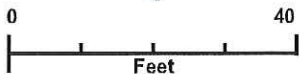


1427  
HANNIBAL ST

# City of Noblesville

## This is My Map

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1427 HANNIBAL ST  
Request From Property Owner

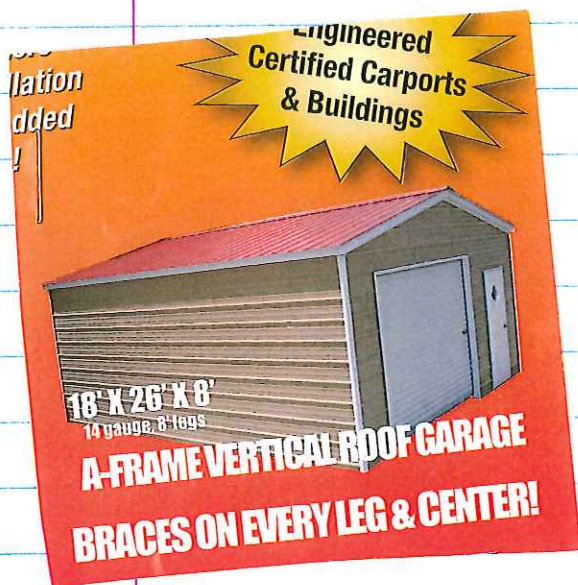
The property owner DOES  
CONSENT TO THE SIZE VARIANCE  
OF LARGER THAN SIZE OF  
515 SQ. FT.

24' x 31' - 744 SQ. FT.

APPLICANT Mark Lawson  
(Owner) Rebecca Hollyfield  
(DATE signed) 10-24-16

ADDRESS 1427 HANNIBAL ST.  
PARCEL # 11-11-06-01-02-15.000

Rebecca Grace Hollyfield (Jones)  
REBECCA GRACE HOLLYFIELD (JONES)  
10-24-16



Sacha Lingerfeldt  
Sacha Lingerfeldt  
Public Notary

