

2016016735 ORDINANCE \$39.00
04/15/2016 11:30:44A 15 PGS
Jennifer Hayden
HAMILTON County Recorder IN
Recorded as Presented

ORDINANCE NO. 19-03-16

**AN ORDINANCE AMENDING THE UNIFIED DEVELOPMENT ORDINANCE
NO. 62-12-95, SAXONY CORPORATE CAMPUS ORDINANCE NO. 56-15-15,
AND ALL AMENDMENTS THERETO, A PART OF THE COMPREHENSIVE
MASTER PLAN FOR THE CITY OF NOBLESVILLE, HAMILTON COUNTY,
INDIANA**

Document Cross-Reference No: 2015060398

An Ordinance to amend the Unified Development Ordinance and Ordinance No. 56-11-15, and all amendments thereto for the City of Noblesville, Hamilton County, Indiana, enacted by the City of Noblesville under the authority of Chapter 174 of the Acts of the Indiana General Assembly 1947, as amended, and

WHEREAS, the Plan Commission of the City of Noblesville has conducted a public hearing on Application No. 000122-2016 as required by law concerning waivers being granted regarding signage for the Primanti Bros Restaurant, a part of the Saxony Corporate Campus Planned Development, all a part of the Unified Development Ordinance and after due consideration has sent a favorable recommendation for adoption to the Council with a vote of 7 ayes and 3 nays at their March 21, 2016 meeting, and

NOW, THEREFORE, BE IT ORDAINED by the Common Council of the City of Noblesville, Hamilton County, Indiana, meeting in regular session, that the Unified Development Ordinance, and Ordinance No. 59-11-15 Saxony Corporate Campus Planned Development Ordinance, and all amendments thereto are hereby amended as follows:

SECTION 1. That the subject real estate located at 13871 Cabela Parkway, a part of the Saxony Corporate Campus Planned Development and legally described as Lot LL-1 in the Saxony Corporate Campus subdivision, is located within the zoning jurisdiction of the City of Noblesville, Hamilton County, Indiana and is currently zoned CCPD Corporate Campus Planned Development with a subcategory of "Commercial" and subdistrict of "Interchange".

SECTION 2. That this ordinance and attached "Exhibit 1" indicates the proposed signage for the Primanti Bros Restaurant and specifically the location of the signage on each elevation including the size, colors, and type. As per the "Exhibit 1" the following waivers are granted: (1) permitting two signs each on the north, south, and east elevations of the building, (2) permitting a backer on the words "Primanti Bros." with internally lit channel letters, (3) permitting the "sandwich sign" to be a cabinet and/or box sign, and (4) permitting a two-inch wide illuminated channel letter ring around the "sandwich sign".

SECTION 3. Unless a development standard, specification, guideline, and/or requirement contained in the Unified Development Ordinance or the Saxony Corporate Campus Planned Development Ordinance No. 59-11-15 is varied, altered, or modified by this ordinance and/or exhibits, then such development standards, specifications, guidelines, and/or requirements as specified in the Unified Development Ordinance and/or the Saxony Corporate Campus Planned Development Ordinance No. 59-11-15 shall apply.

SECTION 4. This Ordinance shall be in full force and effect from and upon its adoption and publication in accordance with the law. All prior ordinances or parts thereof in conflict therewith are repealed and deemed to conform to the provisions of these amendments.

SECTION 5. Upon motion duly made and seconded; this Ordinance was fully passed by

the members of the Common Council this 12th day of April, 2016.

COMMON COUNCIL

AYE		NAY
<u>[Signature]</u>	Brian Ayer	_____
<u>[Signature]</u>	Mark Boice	_____
<u>[Signature]</u>	Wil Hampton	_____
<u>[Signature]</u>	Christopher Jensen	_____
<u>[Signature]</u>	Roy Johnson	_____
<u>[Signature]</u>	Gregory P. O'Connor	_____
<u>[Signature]</u>	Mary Sue Rowland	_____
<u>[Signature]</u>	Rick L. Taylor	_____
<u>[Signature]</u>	Megan G. Wiles	_____

Approved and signed by the Mayor of the City of Noblesville, Hamilton County,

Indiana, this 12th day of April, 2016.

[Signature]
John Ditslear, Mayor
City of Noblesville, Indiana

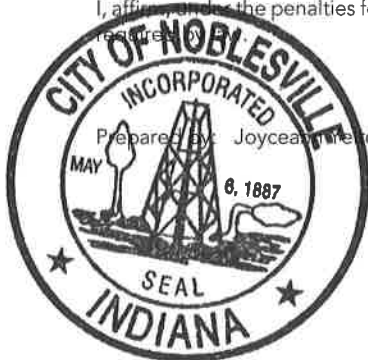
ATTEST:

[Signature]
Evelyn L. Lees, Clerk

I, affiant, under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless otherwise noted.

Joyceann Yelton
Printed Name of Declarant

Prepared by: Joyceann Yelton, Senior Planner, City of Noblesville, 16 South 10th Street, Noblesville, IN 46060 (317) 776-6325



PRIMANTI BROS.

MAIN ID AND LOGO

LANDMARK

Architectural Signs

17576 HEMLOCK AVENUE
LAKEVILLE, MN 55044
952.292.2141

mikep@landmarkarchitecturalsigns.com
landmarkarchitecturalsigns.com

APPROVAL OF THIS DRAWING

HEREBY GIVES PERMISSION TO LANDMARK ARCHITECTURAL SIGNS TO BEGIN PRODUCTION OF THE SIGN(S) WITHIN THIS DOCUMENT. THE RECIPIENT AGREES THAT ALL THE COLORS, SPECIFICATIONS AND ELEVATIONS LISTED IN THIS DRAWING ARE CORRECT AND APPROVED. CHANGES MADE TO THIS DRAWING AFTER PRODUCTION HAS BEGUN WILL RESULT IN ADDITIONAL CHARGES.

PRIMANTI BROS.

SAXONY CORPORATE CAMPUS
NOBLESVILLE, INDIANA

PROJECT TYPE:

EXTERIOR
ID WALL SIGN
AND LOGO

CUSTOMER APPROVAL:

NAME: _____

DATE: _____

PROJECT CONTACT: MIKE PANKEY

REVISION 1:

REVISION 2:

REVISION 3:

REVISION 4:

SALES: MP

DESIGN: BJ

DATE: 01.29.16

DWG: PB NOBLE.012916

CITY AND LANDORD APPROVAL
REQUIRED PRIOR TO INITIATING PRODUCTION

SIGN CONTRACTOR TO PROVIDE AND COORDINATE
INSTALLATION OF REQUIRED CONDUIT WITH
GENERAL CONTRACTOR & ARCHITECT



ALLOWABLE TOTAL SQ.FT = 2.25 SQ.FT PER LINEAR FOOT OF BLDG. FRONTAGE = 150.92 SQ.FT
THIS DISPLAY = TOTAL 151.24 SQ.FT
ALLOWABLE LOGO SQ.FT = 30% MAX. OF TOTAL DISPLAY = 45.276 SQ.FT

1 EAST ELEVATION: MAIN ID AND LOGO
1 SCALE: 1/8" = 1' - 0"



B
35.18 SQ.FT

A
115.74 SQ.FT

1
3 DETAIL: LOGO - ATYPICAL TREATMENT
SCALE: 1/4" = 1' - 0"

1
2 DETAIL: MAIN ID - ATYPICAL TREATMENT - CHANNEL LETTERS ON A SHAPED RACEWAY
SCALE: 1/4" = 1' - 0"

PRIMANTI BROS.

MAIN ID AND LOGO

LANDMARK

Architectural Signs

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PRIMANTI BROS.

SAXONY CORPORATE CAMPUS
NOBLESVILLE, INDIANA

PROJECT TYPE:

EXTERIOR
ID WALL SIGN
AND LOGO

CUSTOMER APPROVAL:

NAME: _____

DATE: _____

PROJECT CONTACT: MIKE PANKEY

REVISION 1:

REVISION 2:

REVISION 3:

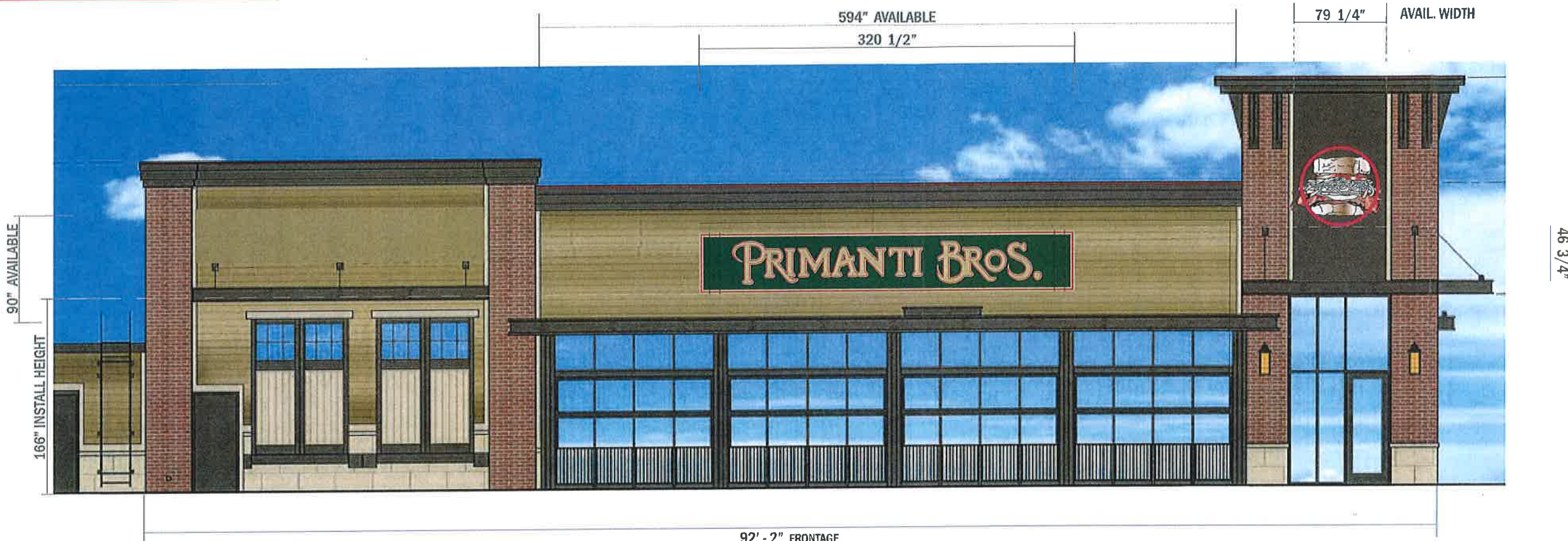
REVISION 4:

SALES: MP

DESIGN: BJ

DATE: 01.29.16

DWG: PB NOBLE.012916



2 SOUTH ELEVATION: MAIN ID AND LOGO
1 SCALE: 1/8" = 1'-0"

ALLOWABLE TOTAL SQ.FT = 2.25 SQ.FT PER LINEAR FOOT OF BLDG. FRONTAGE = 207.18 SQ.FT
THIS DISPLAY = TOTAL 151.24 SQ.FT
ALLOWABLE LOGO SQ.FT = 30% MAX. OF TOTAL DISPLAY = 45.276 SQ.FT



B
35.18 SQ.FT

A
115.74 SQ.FT

2
3
DETAIL: LOGO - ATYPICAL TREATMENT
SCALE: 1/4" = 1'-0"

2
2
DETAIL: MAIN ID - ATYPICAL TREATMENT - CHANNEL LETTERS ON A SHAPED RACEWAY
SCALE: 1/4" = 1'-0"

PANTONE 3435C

PANTONE 466C

PANTONE 200C

PRIMANTI BROS.

MAIN ID AND LOGO

LANDMARK

Architectural Signs

SIGN CONTRACTOR TO PROVIDE AND COORDINATE
INSTALLATION OF REQUIRED CONDUIT WITH
GENERAL CONTRACTOR & ARCHITECT

CITY AND LANDORD APPROVAL
REQUIRED PRIOR TO INITIATING PRODUCTION

N.B.:
SITE SURVEY REQ'D
PRIOR TO PRODUCTION

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PROJECT
PRIMANTI BROS.
NOBLESVILLE,
SAXONY CORPORATI CAMPUS
NOBLESVILLE, INDIANA

PROJECT TYPE:
EXTERIOR
ID WALL SIGN
AND LOGO

CUSTOMER APPROVAL:

NAME: _____

DATE: _____

PROJECT CONTACT: MIKE PANKEY

REVISION 1:
REVISION 2:
REVISION 3:
REVISION 4:

SALES: MP
DESIGN: BJ
DATE: 01.29.16
DWG: PB NOBLE.012916



ALLOWABLE TOTAL SQ.FT = 2.25 SQ.FT PER LINEAR FOOT OF BLDG. FRONTAGE = 207.18 SQ.FT
THIS DISPLAY = TOTAL 125.74 SQ.FT
ALLOWABLE LOGO SQ.FT = 30% MAX. OF TOTAL DISPLAY = 37.72 SQ.FT

3 NORTH ELEVATION: MAIN ID AND LOGO
1 SCALE: 1/8" = 1' - 0"



B
35.18 SQ.FT

A
90.56 SQ.FT

3 DETAIL: LOGO - ATYPICAL TREATMENT
3 SCALE: 1/4" = 1' - 0"

3 DETAIL: MAIN ID - ATYPICAL TREATMENT - CHANNEL LETTERS ON A SHAPED RACEWAY
2 SCALE: 1/4" = 1' - 0"

CITY AND LANDORD APPROVAL
REQUIRED PRIOR TO INITIATING PRODUCTION

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PRIMANTI BROS.
SAXONY CORPORATE CAMPUS
NOBLESVILLE, INDIANA

PROJECT TYPE:
EXTERIOR
ID WALL SIGN

CUSTOMER APPROVAL:
NAME: _____

DATE: _____

PROJECT CONTACT: MIKE PANKEY

REVISION 1:
REVISION 2:
REVISION 3:
REVISION 4:

SALES: MP
DESIGN: BJ
DATE: 01.29.16
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TOP VIEW: SHAPED RACEWAY AND LETTERS



A FACE VIEW: RACEWAY PAINTED TWO COLORS WITH RED VINYL INLINE

4
1 DETAIL: ATYPICAL TREAT OF MAIN ID - CHANNEL LETTERS ON SHAPED RACEWAY
SCALE: 3/8" = 1' - 0"



4
2 NIGHT VIEW - ATYPICAL TREATMENT
SCALE: 3/8" = 1' - 0"

ALTERNATE TREATMENT WHERE NEON IS NOT ACCEPTED

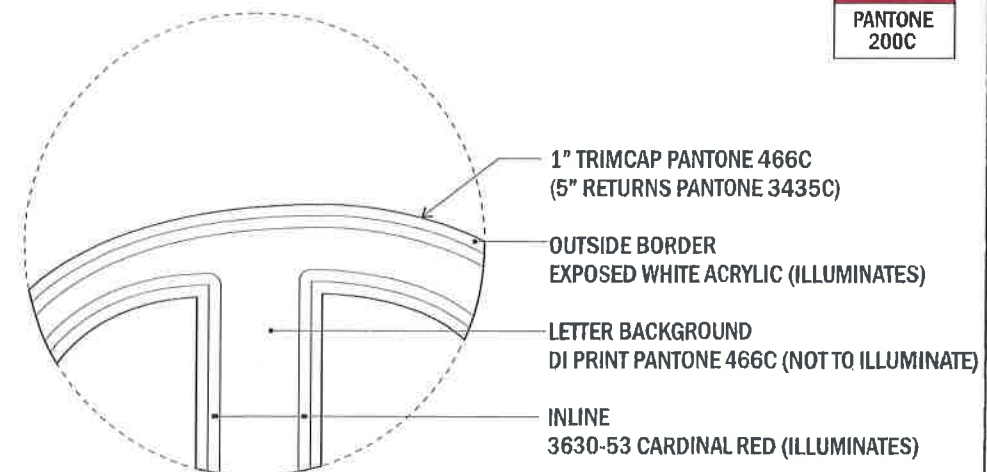
SIGN CONTRACTOR TO PROVIDE AND COORDINATE
INSTALLATION OF REQUIRED CONDUIT WITH LANDLORD'S
GENERAL CONTRACTOR & ARCHITECT

ILLUMINATED CHANNEL LETTERS ON SHAPED RACEWAY
ATYPICAL TREATMENT

- SHAPED ALUMINUM RACEWAY
PAINTED PANTONE 3435C GACE AND PANTONE 466C TOP AND BOTTOM
- ILLUMINATED WITH WHITE LED MODULES

- CHANNEL LETTERS
5" ALUMINUM RETURNS AND 1" TRIMCAP
1/8" WHITE ACRYLIC FACES WITH VINYL OVERLAYS FIRST SURFACE
(SEE DETAIL BELOW)

- MOUNTING METHOD AND HARDWARE
APPROPRIATE TO INDIVIDUAL LOCATIONS



4
3 DETAIL: VINYL OVERLAY ON LETTER FACES
SCALE: NTS

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PRIMANTI BROS.
SAXONY CORPORATE CAMPUS
NOBLESVILLE, INDIANA

PROJECT TYPE:
EXTERIOR
LOGO

CUSTOMER APPROVAL:
NAME: _____
DATE: _____
PROJECT CONTACT: MIKE PANKEY

REVISION 1:
REVISION 2:
REVISION 3:
REVISION 4:

SALES: MP
DESIGN: BJ
DATE: 01.29.16
DWG: PB NOBLE.012916

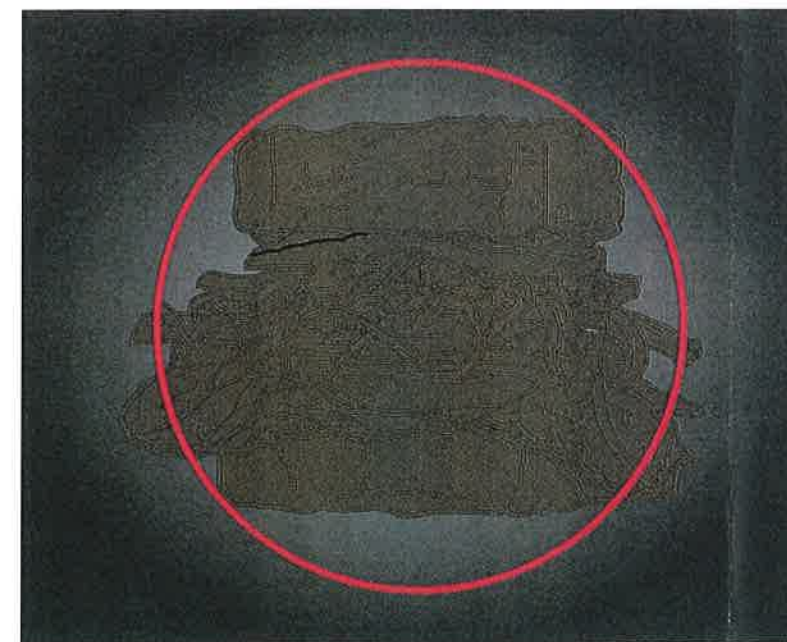
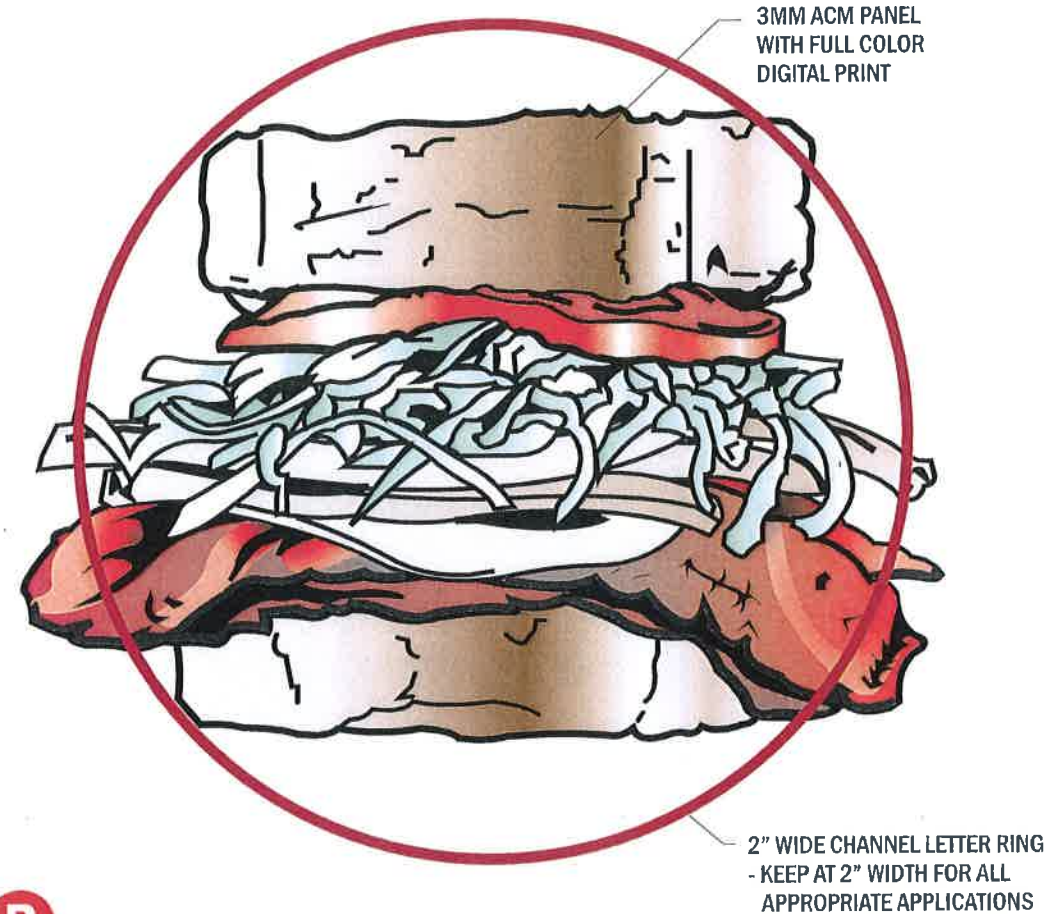
CITY AND LANDLORD APPROVAL
REQUIRED PRIOR TO INITIATING PRODUCTION

ALTERNATE TREATMENT WHERE NEON IS NOT ACCEPTED

SIGN CONTRACTOR TO PROVIDE AND COORDINATE
INSTALLATION OF REQUIRED CONDUIT WITH LANDLORD'S
SHELL CONTRACTOR & ARCHITECT

CHANNEL RING WITH SANDWICH DI PRINT
ATYPICAL DETAIL

- 3MM ACM PANEL WITH FULL COLOR DIGITAL PRINT
- 2" WIDE CHANNEL LETTER RING
- 5" RETURNS AND RETAINER PANTONE 200C RED
- WHITE ACRYLIC FACE WITH 3630-53 CARDINAL RED VINYL FIRST SURFACE
- ILLUMINATED WITH RED LED MODULES
- MOUNTING METHOD AND HARDWARE APPROPRIATE TO INDIVIDUAL LOCATIONS



5 NIGHT VIEW - ATYPICAL TREATMENT
2 SCALE: 3/8" = 1' - 0"

B

5
1
DETAIL: SECONDARY ID

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PRIMANTI BROS.

SAXONY CORPORATE CAMPUS
NOBLESVILLE, INDIANA

PROJECT TYPE:

SITE PLAN

CUSTOMER APPROVAL:

NAME: _____

DATE: _____

PROJECT CONTACT: MIKE PANKEY

REVISION 1:

REVISION 2:

REVISION 3:

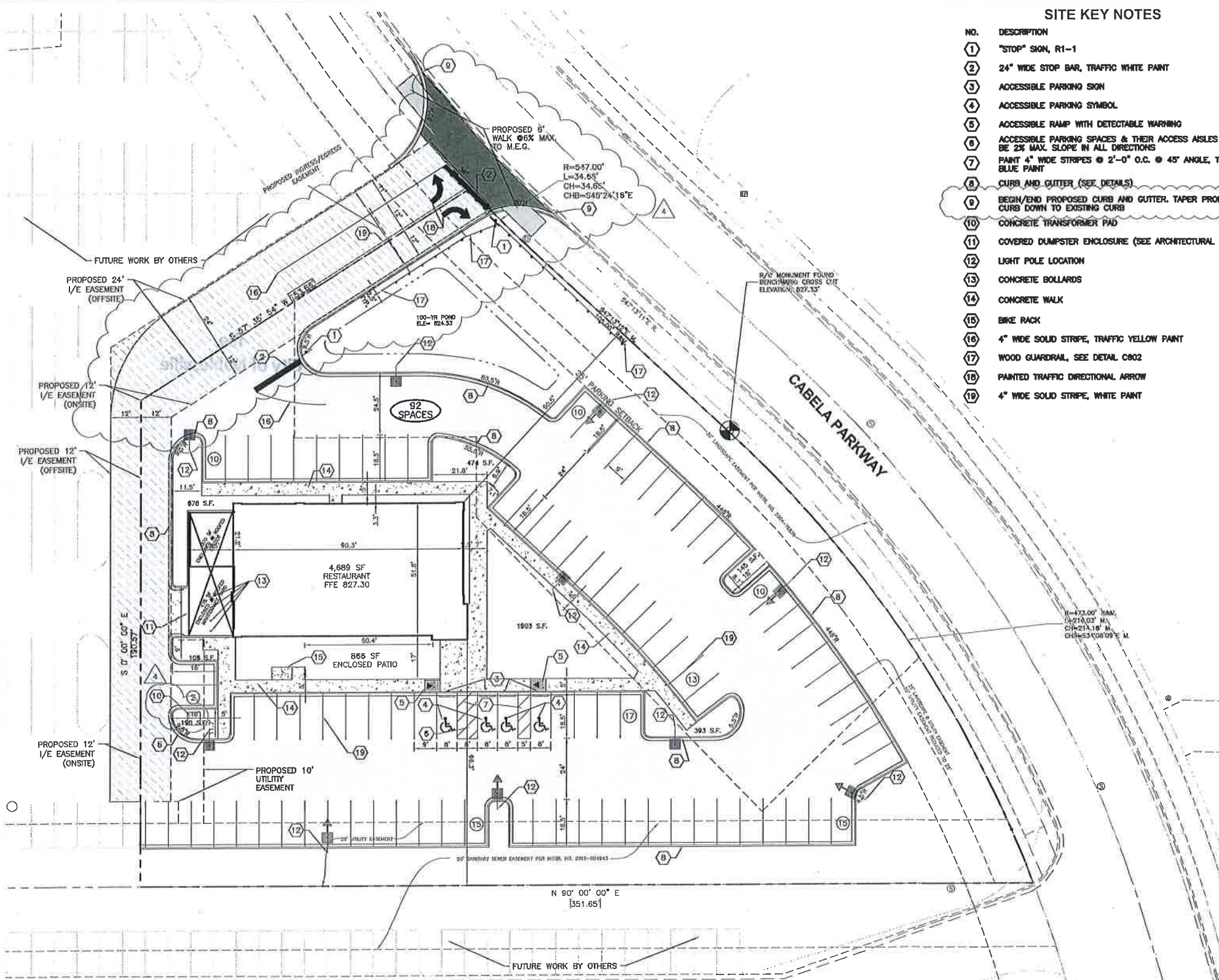
REVISION 4:

SALES: MP

DESIGN: BJ

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- SITE KEY NOTES**
- NO. DESCRIPTION
 - 1 "STOP" SIGN, R1-1
 - 2 24" WIDE STOP BAR, TRAFFIC WHITE PAINT
 - 3 ACCESSIBLE PARKING SIGN
 - 4 ACCESSIBLE PARKING SYMBOL
 - 5 ACCESSIBLE RAMP WITH DETECTABLE WARNING
 - 6 ACCESSIBLE PARKING SPACES & THEIR ACCESS AISLES SHALL BE 2% MAX. SLOPE IN ALL DIRECTIONS
 - 7 PAINT 4" WIDE STRIPES @ 2'-0" O.C. @ 45° ANGLE, TRAFFIC BLUE PAINT
 - 8 CURB AND GUTTER (SEE DETAILS)
 - 9 BEGIN/END PROPOSED CURB AND GUTTER. TAPER PROPOSED CURB DOWN TO EXISTING CURB
 - 10 CONCRETE TRANSFORMER PAD
 - 11 COVERED DUMPSTER ENCLOSURE (SEE ARCHITECTURAL PLANS)
 - 12 LIGHT POLE LOCATION
 - 13 CONCRETE BOLLARDS
 - 14 CONCRETE WALK
 - 15 BIKE RACK
 - 16 4" WIDE SOLID STRIPE, TRAFFIC YELLOW PAINT
 - 17 WOOD GUARDRAIL, SEE DETAIL C802
 - 18 PAINTED TRAFFIC DIRECTIONAL ARROW
 - 19 4" WIDE SOLID STRIPE, WHITE PAINT

- SITE LEGEND**
- [Symbol] INDICATES STANDARD DUTY PAVEMENT
 - [Symbol] INDICATES HEAVY DUTY PAVEMENT
 - [Symbol] INDICATES NEW CONCRETE PAVEMENT
 - [Symbol] LIGHT POLES
 - [Symbol] EXISTING CURB AND GUTTER
 - [Symbol] POSITIVE SLOPED CURB
 - [Symbol] NEGATIVE SLOPED CURB
 - [Symbol] ACCESSIBLE SIDEWALK RAMP WITH DETECTABLE WARNING. SEE DETAIL 5/C701
 - [Symbol] INDICATES PARKING COUNT PER ROW
 - [Symbol] 100 SPACES INDICATES PARKING TOTAL FOR SURROUNDING AREA
 - [Symbol] JOINT INGRESS/EGRESS TO BE DEDICATED PRIOR TO PROJECT APPROVAL
 - [Symbol] ASPHALT SIDEWALK PER NOBLESVILLE STANDARDS
 - [Symbol] ASPHALT COMMERCIAL DRIVEWAY APRON PER NOBLESVILLE STANDARDS

SITE DATA

SITE AREA	1.5 ACRES (APPROX.)
ZONING	CCPD
PARCEL ID NUMBER	13-11-23-00-00-011.017
BUILDING AREA	4,889 SQ. FT.
PARKING SPACES REQUIRED	(4889 SF BUILDING + 866 SF PATIO) / 1000 SF*15-84
PARKING SPACES PROVIDED	92
ACCESSIBLE SPACES REQUIRED	4
ACCESSIBLE SPACES PROVIDED	4
PROPOSED IMPERVIOUS AREA	43,185 SF

- SITE NOTES**
- ALL DIMENSIONS, RADI AND COORDINATES ARE TO BACK OF CURB WHERE APPLICABLE. ALL RADI SHALL BE 2.5' UNLESS INDICATED OTHERWISE.
 - ALL PAVEMENT MARKING SHALL BE YELLOW IN COLOR UNLESS INDICATED OTHERWISE.
 - ALL CURB & GUTTER ON-SITE SHALL BE "POSITIVE", UNLESS NOTED OTHERWISE (SEE DETAILS).
 - ALL CURB AND GUTTER ON-SITE SHALL BE CONCRETE CURB AND GUTTER UNLESS OTHERWISE NOTED.
 - SEE ARCHITECTURAL PLANS FOR BUILDING PERIMETER PLANTING AREAS, INTERIOR SIDEWALK CONFIGURATIONS, HANDICAP RAMPS AND ENTRANCE PATHS.