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ORDINANCE NO. 44-07-16

**AN ORDINANCE TO AMEND THE RIVERVIEW HOSPITAL GUO ORDINANCE
NUMBER 79-12-04 AND THE UNIFIED DEVELOPMENT ORDINANCE AND ALL
AMENDMENTS THERETO OF THE CITY OF NOBLESVILLE,
HAMILTON COUNTY, INDIANA**

Document Cross Reference No. 200500006651

This Ordinance (the “2016 Riverview GUO Maintenance Facility Amendment”) amends the Riverview Hospital GUO Ordinance Number 79-12-04, as amended (the “Riverview GUO”) and the Unified Development Ordinance for the City of Noblesville, Hamilton County, Indiana, (the “UDO”) enacted by the City of Noblesville, Indiana (the “City”) under authority of Chapter 174 of the Acts of the Indiana General Assembly 1947, as amended.

WHEREAS, the Plan Commission of the City of Noblesville (the “Plan Commission”) conducted a public hearing on docket number 000917-2016 at its July 18, 2016 meeting as required by law in regard to the application (the “Petition”) filed by Riverview Hospital concerning an amendment to the Riverview GUO as it pertains to certain property illustrated in Exhibit A attached hereto (the “Real Estate”) and the adoption of an amended preliminary development plan to be known, collectively with the attached Exhibits, as the “2016 Riverview GUO Maintenance Facility Preliminary Development Plan”, as further described in Section 3 below; and,

WHEREAS, the Plan Commission has sent a favorable recommendation for adoption of said amendment with a vote of eleven (11) in favor and zero (0) opposed to the Common Council;

NOW, THEREFORE, BE IT ORDAINED by the Common Council of the City of Noblesville, Hamilton County, Indiana, meeting in regular session, that the Riverview GUO and UDO, are hereby amended as follows:

Section 1. Applicability of Ordinance.

- A. Development in the Real Estate shall be governed entirely by (i) the provisions of this 2016 Riverview GUO Maintenance Facility Amendment and its exhibits, (ii) the provisions of the Riverview GUO and (iii) those provisions of the UDO in effect as of the date of adoption of this Ordinance, and applicable to the Riverview GUO, except as modified, revised, supplemented or expressly made inapplicable by this Ordinance (collectively, the “Governing Standards”).
- B. All provisions and representations of the UDO and Riverview GUO that conflict with the provisions of this 2016 Riverview GUO Maintenance Facility Amendment and its exhibits are hereby rescinded as applied to the Real Estate and shall be superseded by the terms of this 2016 Riverview GUO Maintenance Facility Amendment.

- Section 2.** **Definitions.** The general rules of construction set forth in Article 2 of the UDO and the definitions set forth in this Ordinance shall apply to the regulations of this Ordinance. Words not defined herein but defined in the UDO shall be interpreted in accordance with the UDO definition.
- Section 3.** **Preliminary Development Plan.** The 2016 Riverview GUO Maintenance Facility Preliminary Development Plan for the Real Estate is attached hereto and incorporated herein as Exhibit B, amends the Riverview GUO Preliminary Development Plan and is approved.
- Section 4.** **Architectural Standards.**
- A. Section 4 of the Riverview GUO is amended to include the building illustrated in Exhibit C which includes the exterior building design for the maintenance facility including the following materials; brick veneer, standing seam metal roof, concrete masonry and insulated overhead doors (the “Approved Elevations”).
- B. The Approved Elevations are hereby incorporated and approved. The maintenance facility shall be substantially consistent with the Approved Elevations. The Director of Planning and Development, including his or her designees, shall review and approve elevations at the time of filing of the Detailed Development Plan and/or Building Permit for compliance and consistency with the Approved Elevations.
- Section 5.** **Building Setbacks.** Building Setbacks shall not apply to property lines internal to the Riverview GUO district.
- Section 6.** **Detailed Development Plan.** Approval of a Detailed Development Plan (“DDP”) shall follow the procedures set out in the Riverview GUO.
- Section 7.** **Effective Date.** This 2016 Riverview GUO Maintenance Facility Amendment shall be in full force and effect from and upon the earlier of its adoption and publication in accordance with the law.



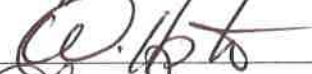


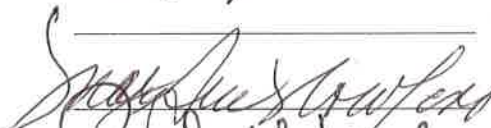
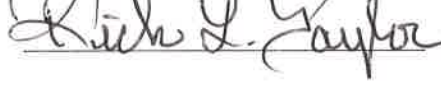
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Upon motion duly made and seconded, this Ordinance was fully passed by the members of the Common Council this 9th day of August, 2016.

COMMON COUNCIL OF THE CITY OF NOBLESVILLE

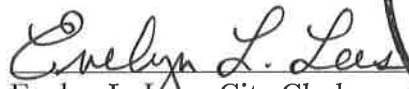
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	Brian Ayer	_____
	Mark Boice	_____
	Wil Hampton	_____
	Christopher Jensen	_____
	Roy Johnson	_____
_____	Gregory P. O'Connor	_____
	Mary Sue Rowland	_____
	Rick L. Taylor	_____
_____	Megan G. Wiles	_____

Approved and signed by the Mayor of the City of Noblesville, Hamilton County, Indiana, this 9th day of August, 2016.

ATTEST:


Evelyn L. Lees, City Clerk




John Ditslear, Mayor
City of Noblesville, IN

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security Number in this document, unless required by law: Jon C. Dobosiewicz.

Prepared by: James E. Shinaver, attorney at law, NELSON & FRANKENBERGER and Jon C. Dobosiewicz, land use professional, NELSON & FRANKENBERGER. 550 Congressional Blvd, Suite 210, Carmel, IN 46032 (317) 844-0106.
Riverview GUO - PD Amendment Ordinance 2 071916

EXHIBIT A

**Real Estate
(Page 1 of 1)**

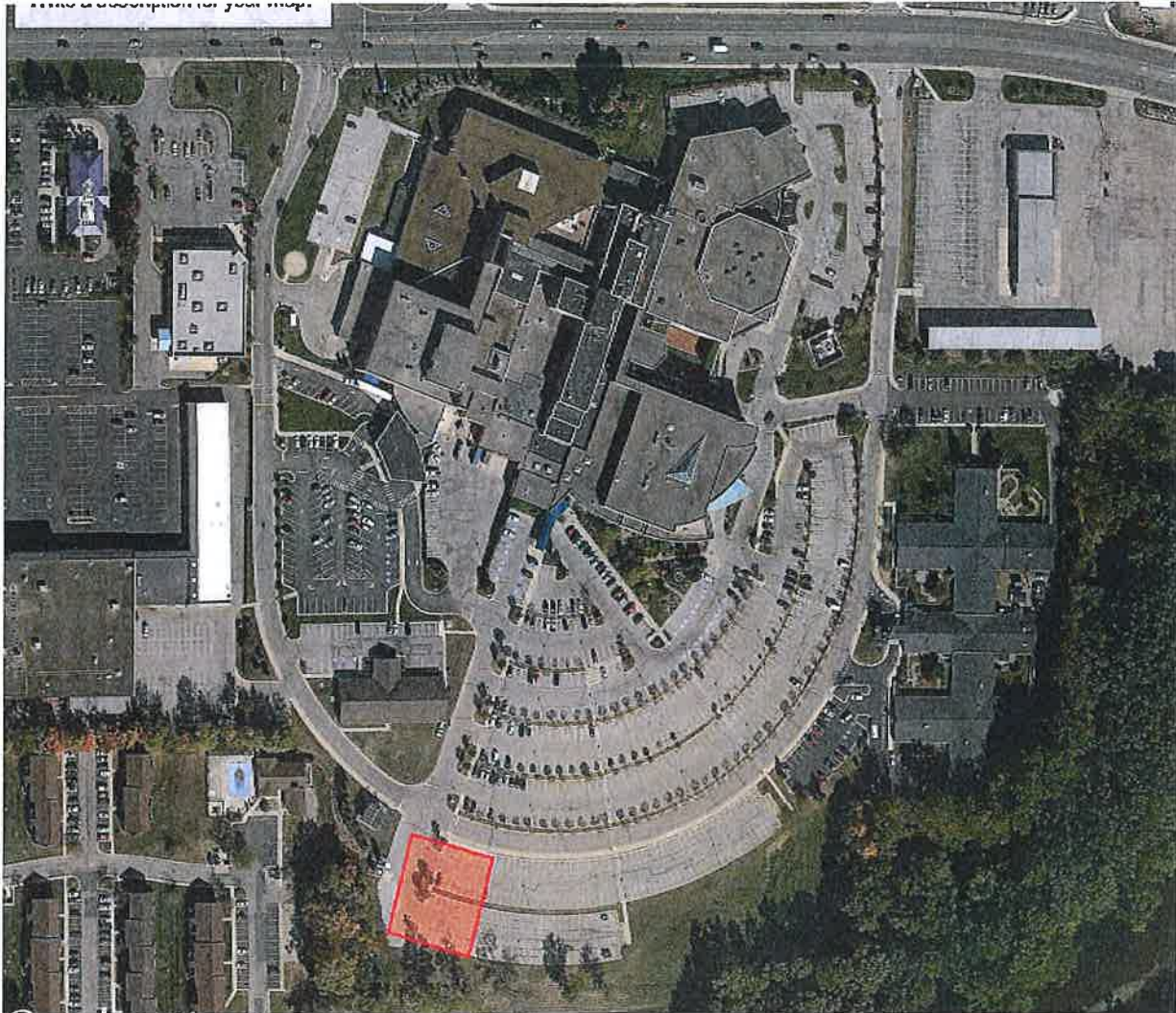
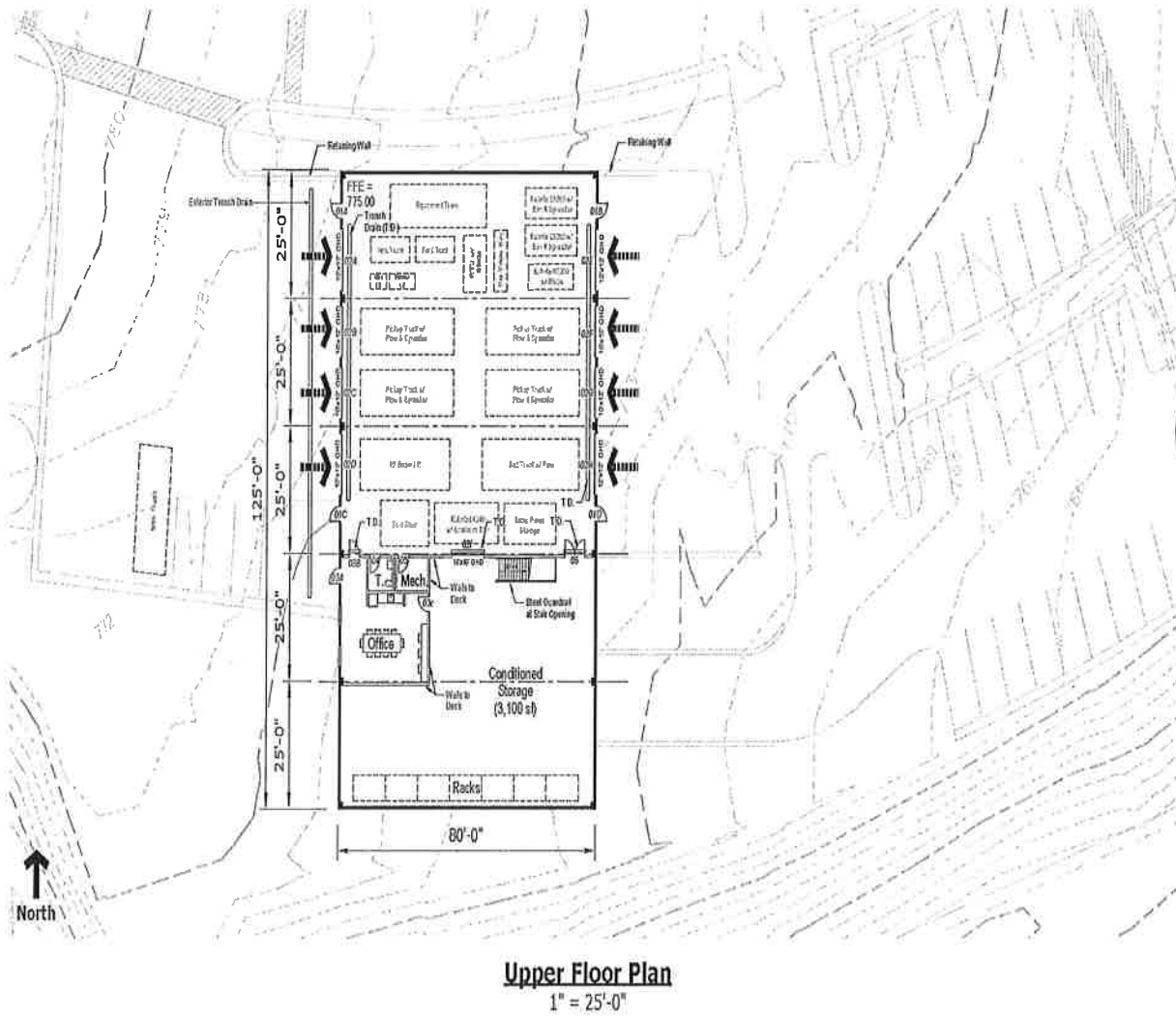
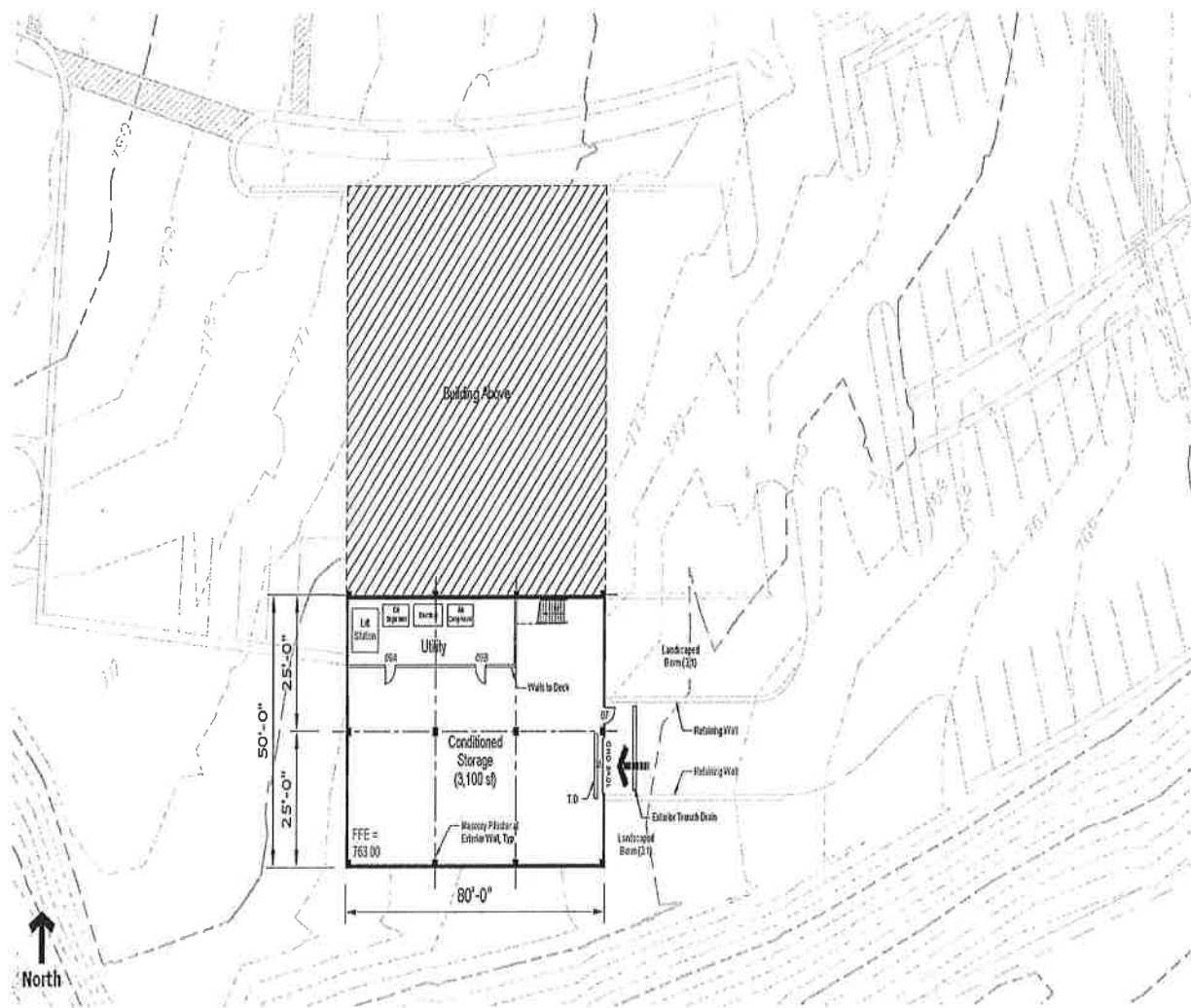


EXHIBIT B

Preliminary Development Plan (Page 1 of 1)



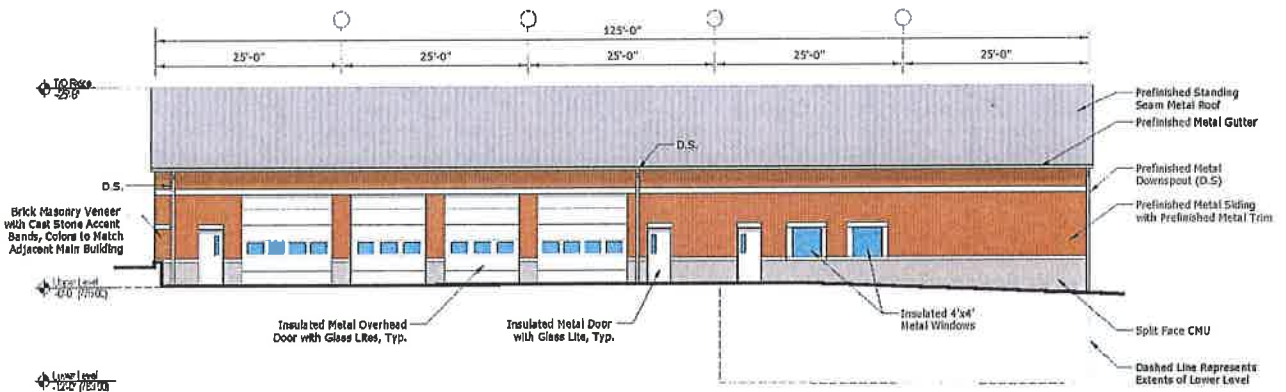


Lower Floor Plan

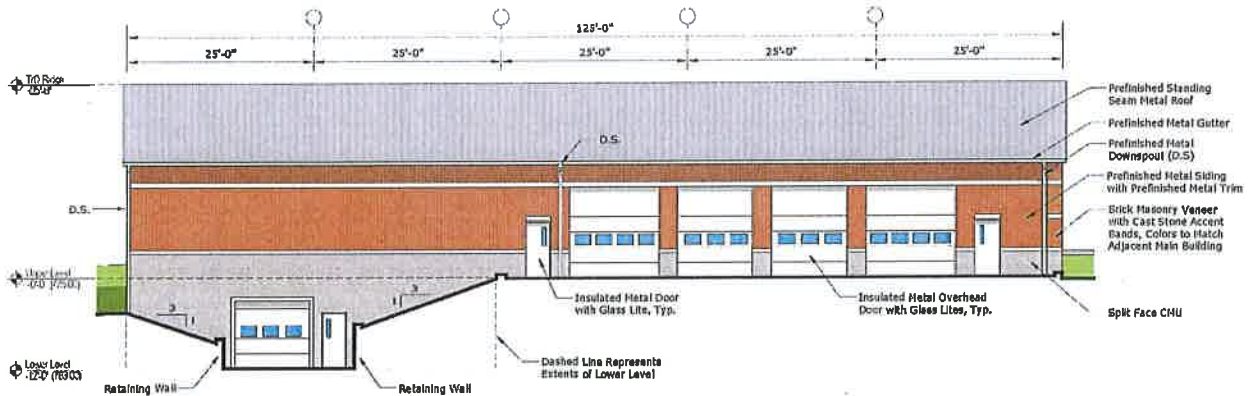
1" = 25'-0"

EXHIBIT C

APPROVED ELEVATIONS (Page 1 of 2)



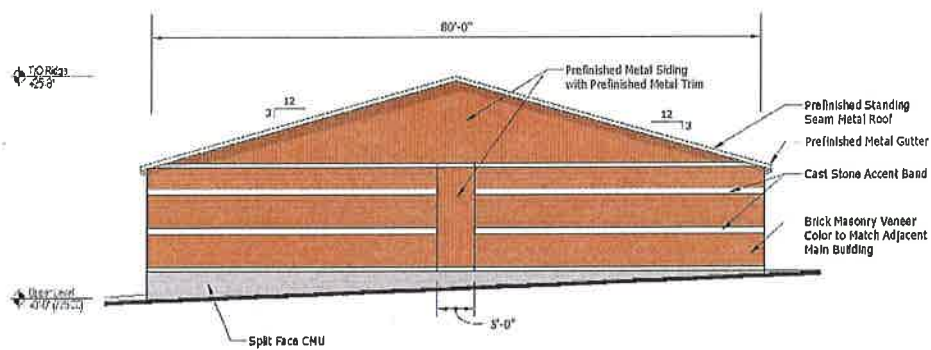
West Elevation
3/32" = 1'-0"



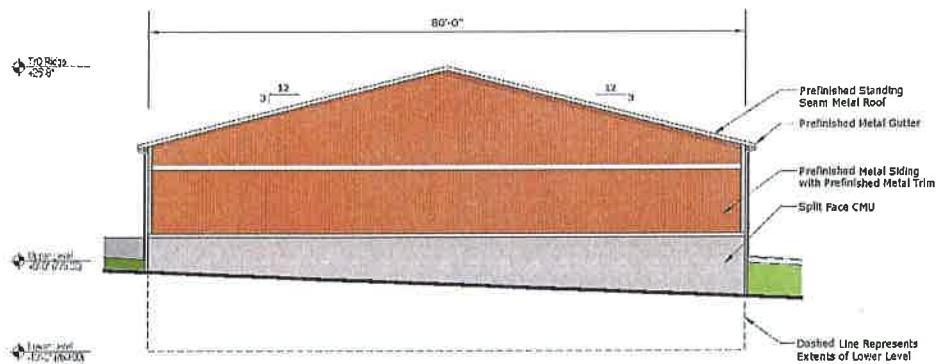
East Elevation
3/32" = 1'-0"

EXHIBIT C

APPROVED ELEVATIONS (Page 2 of 2)



North Elevation
3/32" = 1'-0"



South Elevation
3/32" = 1'-0"