



CITY OF NOBLESVILLE
BOARD OF ZONING APPEALS
VARIANCE OF DEVELOPMENT STANDARD APPLICATION

Application Number: **BZNA-1051-2016**

The undersigned requests a Variance of Development Standards as specified below. Should this variance request be approved, such approval shall only authorize the particular use described in this application and as further limited by reasonable conditions imposed upon such approval by the Board of Zoning Appeals.

Project Name or Occupant Name: Noblesville RCF

Common Address: 9600 East 146th Street, Noblesville, IN 46060

Applicant Name: DeBoy Land Development Services

Applicant Address: 501 South 9th Street Suite 199

Applicant City/State/Zip:
Noblesville, IN 46060 E-mail: Miked@deboylnd.com

Applicant Phone #1: 317-770-1801 Phone #2: Fax:

Owner Name: Community Bank

Owner Address: PO Box 1990

Owner City/State/Zip: Noblesville, IN 46060 E-mail:

Owner Phone #1: Phone #2: Fax:

Property Location: Not located in a recorded subdivision, see legal description attached.

Subdivision Name: Noblesville Business Park

Subdivision Section: N/A Lot Number: 5 Last Deed of Record Number

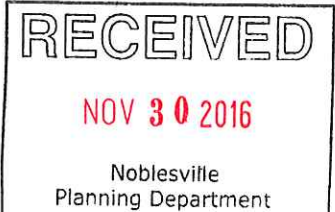
Existing Land Use: Vacant

Common Description of Request: Exceed maximum allowed building height

Zoning District of Property: PB Code Section(s) Appealed: UDO §

Date: **11/23/2016**

Applicant's Signature: **Ed Patton**



The Noblesville Board of Zoning Appeals (BZA) is authorized to approve or deny Variances of Development Standard from the terms of the Unified Development Ordinance. The BZA may impose reasonable conditions as part of its approval. A Variance of Development Standard may be approved only upon a determination in writing that the following three (3) statements are true (see Indiana Code § 36-7-4-918.5):

1. The approval will not be injurious to the public health, safety, morals, and general welfare of the community. Explain why this statement is true in this case: **The variance in building height is consistent with other structures within the area. In addition, the most current and advanced fire suppression equipment will be installed within this structure. In addition, sufficient distance will exist between this structure and the adjoin real estate to create a protective buffer to said adjoiners.**

2. The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner by the approval of this variance request. Explain why this statement is true in this case: **The variance in building height is consistent with other structures along the 146th Street corridor. In addition, the materials and use of the proposed structure is in keeping with the nature of the uses to the east and south and therefore creates a homogenous architectural grouping of structures.**

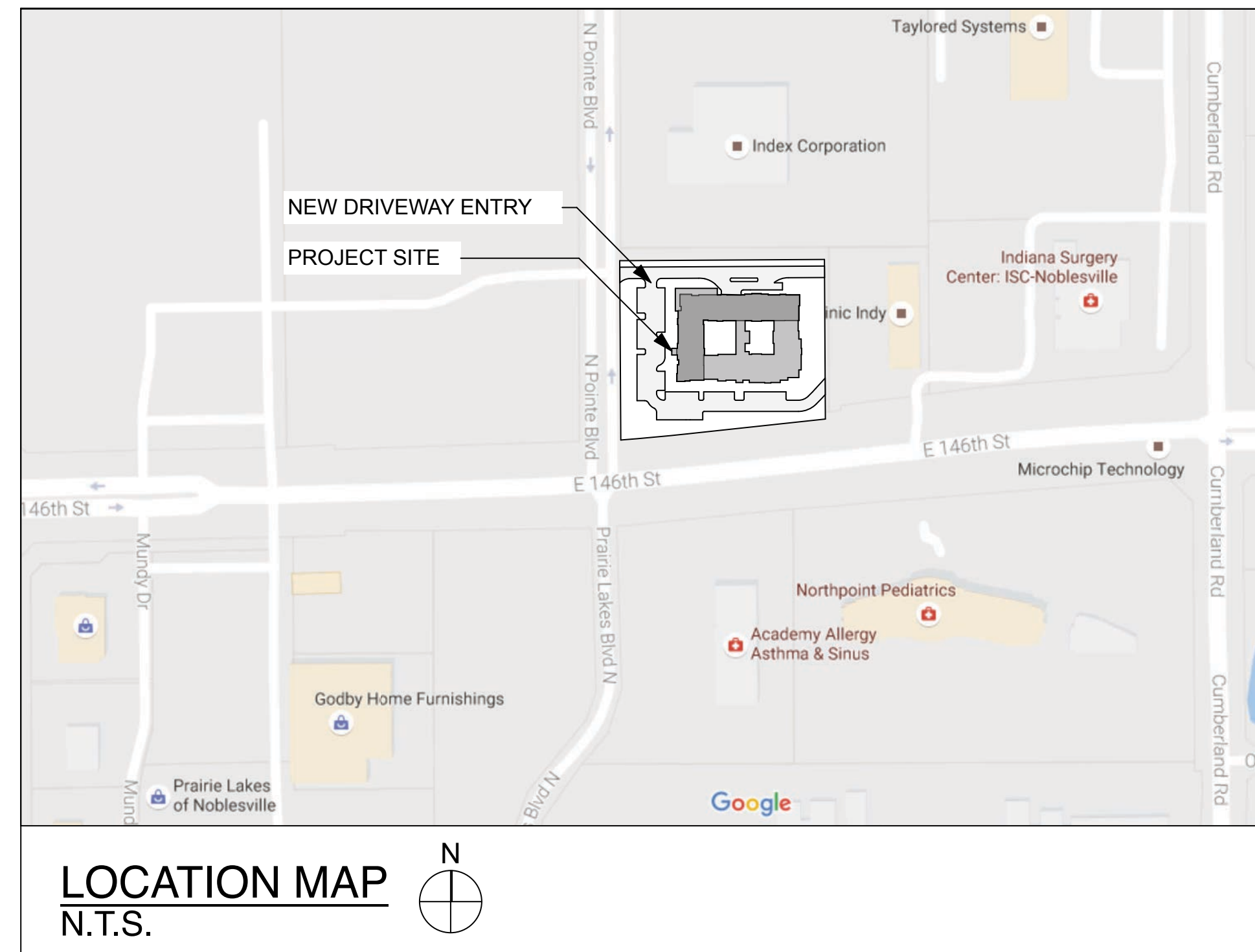
3. The strict application of the terms of the zoning ordinance will result in practical difficulties in the use of the subject property. Explain why this statement is true in this case: **To host the services and equipment necessary for the facility to operation efficiently and safely would require a larger building footprint that would require further variances (parking, landscape buffer, setbacks, etc) than just one.**

NOBLESVILLE RCF

ZONING SUBMISSION
ARCHITECTURAL COVER SHEET
NOVEMBER 30, 2016

ARCHITECTURAL DRAWING INDEX

ARCHITECTURAL COVER SHEET
ARCHITECTURAL SITE PLAN
1ST FLOOR PLAN
2ND FLOOR PLAN
3RD FLOOR PLAN
4TH FLOOR PLAN
ROOF PLAN
SOUTH & WEST ELEVATIONS
NORTH & EAST ELEVATIONS
EXTERIOR PERSPECTIVE VIEWS

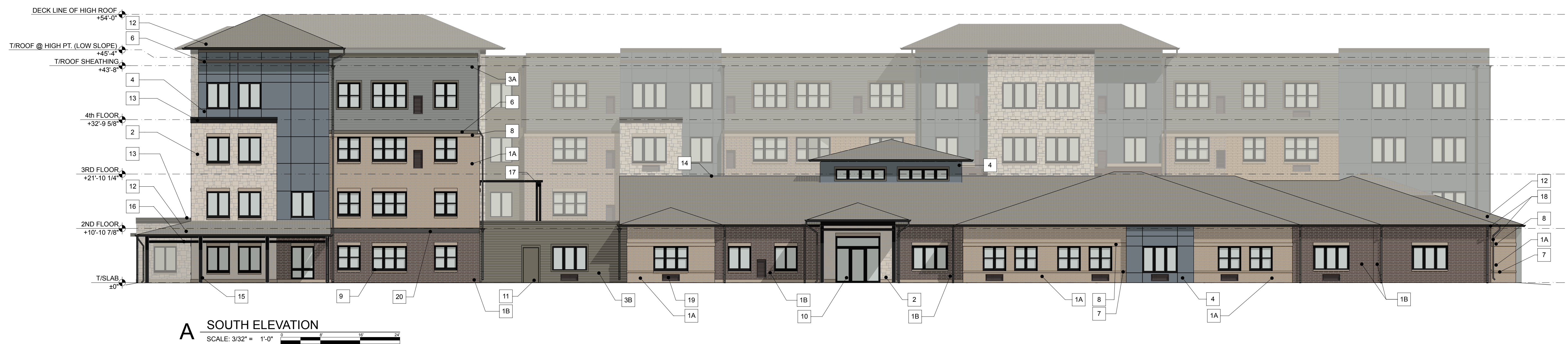




SOUTHWEST PERSPECTIVE VIEW



SOUTHEAST PERSPECTIVE VIEW



A SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

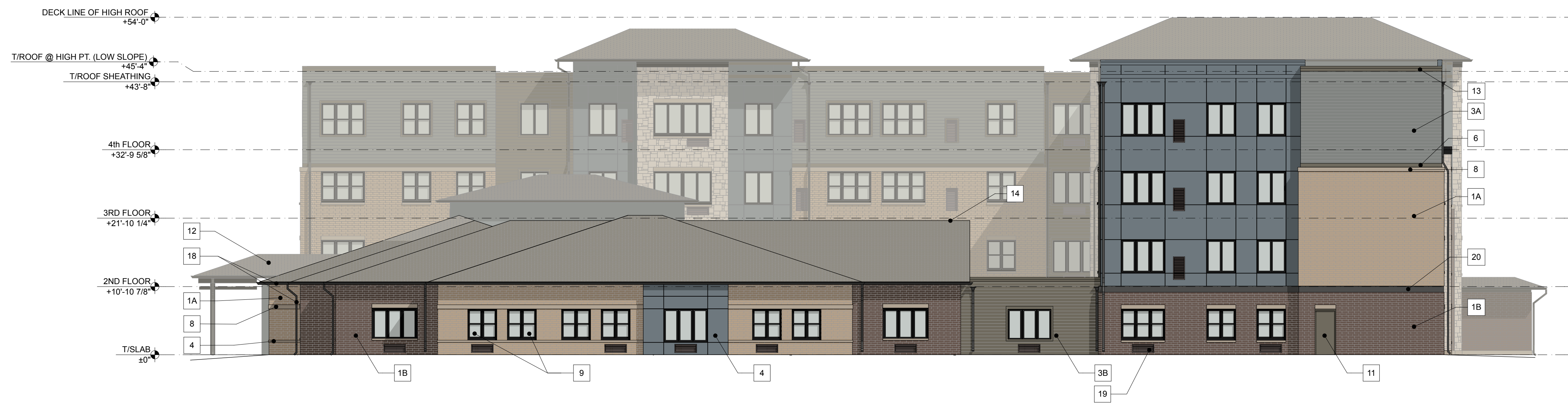


B WEST ELEVATION
SCALE: 3/32" = 1'-0"

ELEVATION MATERIAL KEY	
1A - UTILITY SIZE FACE BRICK COLOR #1 - 3 5/8"(H) x 3 5/8"(D) x 11 5/8"(L) - MANUF., COLOR, & TEXTURE BY ARCHITECT	9 - FIBERGLASS WINDOW UNIT
1B - UTILITY SIZE FACE BRICK COLOR #2 - 3 5/8"(H) x 3 5/8"(D) x 11 5/8"(L) - MANUF., COLOR & TEXTURE BY ARCHITECT	10 - AUTO-OPENING STOREFRONT DOOR / WINDOW ASSEMBLY
2 - CULTURED STONE VENEER - MANUF., COLOR, & TEXTURE BY ARCHITECT	11 - PAINTED INSULATED HOLLOW METAL DOOR - COLOR BY ARCHITECT
3A - 6 1/4" (W) FIBER CEMENT LAP SIDING (5" EXPOSURE) - COLOR #1 - MANUF., COLOR & TEXTURE BY ARCHITECT	12 - FIBERGLASS ROOFING SHINGLES - COLOR BY ARCHITECT
3B - 6 1/4" (W) FIBER CEMENT LAP SIDING (5" EXPOSURE) - COLOR #2 - MANUF., COLOR & TEXTURE BY ARCHITECT	13 - PREFINISHED ALUMINUM COPING, FASCIA & TRIM - COLOR BY ARCHITECT
4 - FIBER CEMENT BOARD PANEL SIDING W/ ALUMINUM CHANNEL TRIM - MANUF., COLOR & TEXTURE BY ARCHITECT	14 - CONTINUOUS RIDGE VENT
5 - 3 1/2" (W) X 1" (TH) FIBER CEMENT TRIM - MANUF., COLOR & TEXTURE BY ARCHITECT	15 - FIBER CEMENT WRAPPED COLUMN - COLOR BY ARCHITECT
6 - 7 1/4" (W) X 1" (TH) FIBER CEMENT TRIM - MANUF., COLOR & TEXTURE BY ARCHITECT	16 - FIBER CEMENT WRAPPED BEAM - COLOR BY ARCHITECT
7 - 4" NOM. (H) CAST STONE TRIM / SILL - MANUF., COLOR & TEXTURE BY ARCHITECT	17 - FIBERGLASS TRELLIS - COLOR BY ARCHITECT
8 - 8" NOM. (H) CAST STONE TRIM / SILL - MANUF., COLOR & TEXTURE BY ARCHITECT	18 - PRE-FINISHED GUTTER & DOWNSPOUT - COLOR BY ARCHITECT
	20 - 12" NOM. (H) CAST STONE TRIM / SILL - MANUF., COLOR & TEXTURE BY ARCHITECT

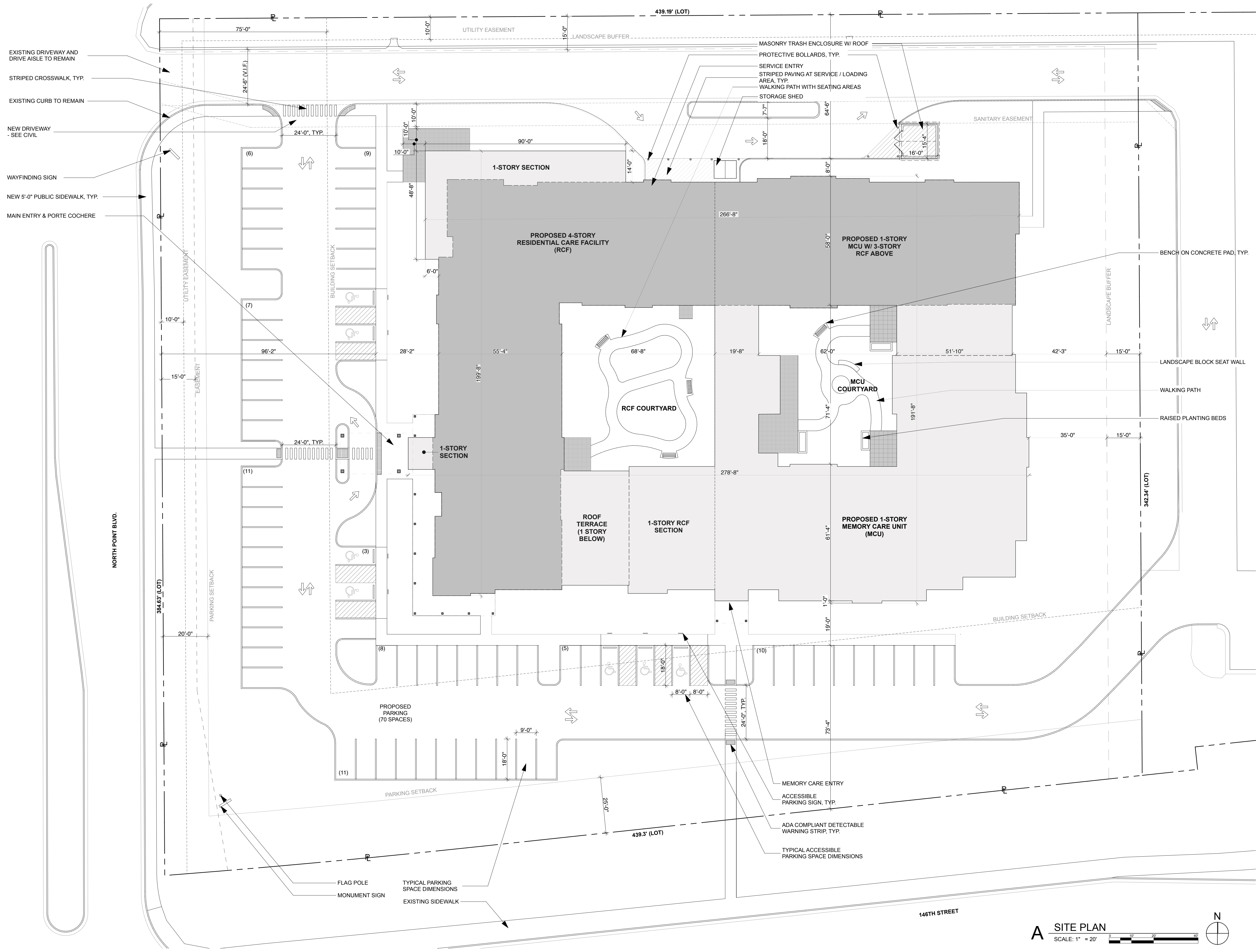


A NORTH ELEVATION
SCALE: 3/32" = 1'-0"



B EAST ELEVATION
SCALE: 3/32" = 1'-0"

ELEVATION MATERIAL KEY	
1A - UTILITY SIZE FACE BRICK COLOR #1 - 3 5/8"(H) x 3 5/8"(D) x 11 5/8"(L) - MANUF., COLOR, & TEXTURE BY ARCHITECT	9 - FIBERGLASS WINDOW UNIT
1B - UTILITY SIZE FACE BRICK COLOR #2 - 3 5/8"(H) x 3 5/8"(D) x 11 5/8"(L) - MANUF., COLOR & TEXTURE BY ARCHITECT	10 - AUTO-OPENING STOREFRONT DOOR / WINDOW ASSEMBLY
2 - CULTURED STONE VENEER - MANUF., COLOR & TEXTURE BY ARCHITECT	11 - PAINTED INSULATED HOLLOW METAL DOOR - COLOR BY ARCHITECT
3A - 6 1/4" (W) FIBER CEMENT LAP SIDING (5" EXPOSURE) - COLOR #1 - MANUF., COLOR & TEXTURE BY ARCHITECT	12 - FIBERGLASS ROOFING SHINGLES - COLOR BY ARCHITECT
3B - 6 1/4" (W) FIBER CEMENT LAP SIDING (5" EXPOSURE) - COLOR #2 - MANUF., COLOR & TEXTURE BY ARCHITECT	13 - PREFINISHED ALUMINUM COPING, FASCIA & TRIM - COLOR BY ARCHITECT
4 - FIBER CEMENT BOARD PANEL SIDING W/ ALUMINUM CHANNEL TRIM - MANUF., COLOR & TEXTURE BY ARCHITECT	14 - CONTINUOUS RIDGE VENT
5 - 3 1/2" (W) X 1" (TH) FIBER CEMENT TRIM - MANUF., COLOR & TEXTURE BY ARCHITECT	15 - FIBER CEMENT WRAPPED COLUMN - COLOR BY ARCHITECT
6 - 7 1/4" (W) X 1" (TH) FIBER CEMENT TRIM - MANUF., COLOR & TEXTURE BY ARCHITECT	16 - FIBER CEMENT WRAPPED BEAM - COLOR BY ARCHITECT
7 - 4" NOM. (H) CAST STONE TRIM / SILL - MANUF., COLOR & TEXTURE BY ARCHITECT	17 - FIBERGLASS TRELLIS - COLOR BY ARCHITECT
8 - 8" NOM. (H) CAST STONE TRIM / SILL - MANUF., COLOR & TEXTURE BY ARCHITECT	18 - PRE-FINISHED GUTTER & DOWNSPOUT - COLOR BY ARCHITECT
	19 - PREFINISHED HVAC GRILLE - COLOR BY ARCHITECT
	20 - 12" NOM. (H) CAST STONE TRIM / SILL - MANUF., COLOR & TEXTURE BY ARCHITECT



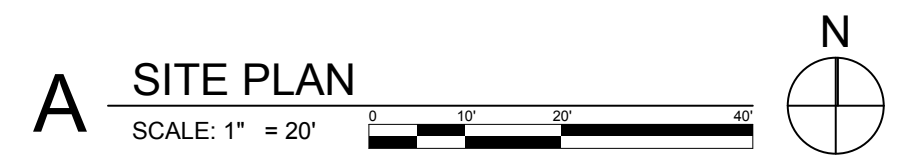
SITE DATA	
LOT AREA	APPROX. 3.6 ACRES (158,782.35 S.F.)
BUILDING	
4-STORY RESIDENTIAL CARE FACILITY (RCF) INCL. 1-STORY MEMORY CARE UNIT (MCU)	
BUILDING AREA	
1ST FLOOR:	40,880 G.S.F.
2ND FLOOR:	21,650 G.S.F.
3RD & 4TH FLOOR:	21,750 G.S.F.
4TH FLOOR:	21,450 G.S.F.
TOTAL BUILDING AREA:	105,730 G.S.F.
UNIT MIX	
MCU STUDIO UNITS:	24
STUDIO UNITS:	34
1 BEDROOM UNITS:	66
TOTAL UNITS:	124
TOTAL ACCESSIBLE UNITS:	25 (20%)
TOTAL PARKING:	70 SPACES (INCL. 7 ACCESSIBLE SPACES)

DRAFT-NOT FOR CONSTRUCTION

Noblesville Assisted Living Group, LLC
 330 West Marion Avenue
 Forsyth, IL 62535

NOBLESVILLE RCF
 9600 E. 146th Street
 Noblesville, Indiana 46060
 11/30/16

© 2016 WORN JERABEK WILTSE ARCHITECTS, P.C.
WORN JERABEK WILTSE ARCHITECTS, P.C.
 401 West Superior St, Suite 400
 Chicago, IL 60654





A 1ST FLOOR PLAN
 SCALE: 3/32" = 1'-0"
 N

NOBLESVILLE RCF

9600 E. 146th Street
 Noblesville, Indiana 46060
 11/30/16

DRAFT-NOT FOR CONSTRUCTION

Noblesville Assisted Living Group, LLC
 330 West Marion Avenue
 Forsyth, IL 62535

© 2016 WORN JERABEK WILTSE ARCHITECTS, P.C.

WORN JERABEK WILTSE ARCHITECTS, P.C.
 401 West Superior St, Suite 400
 Chicago, IL 60654



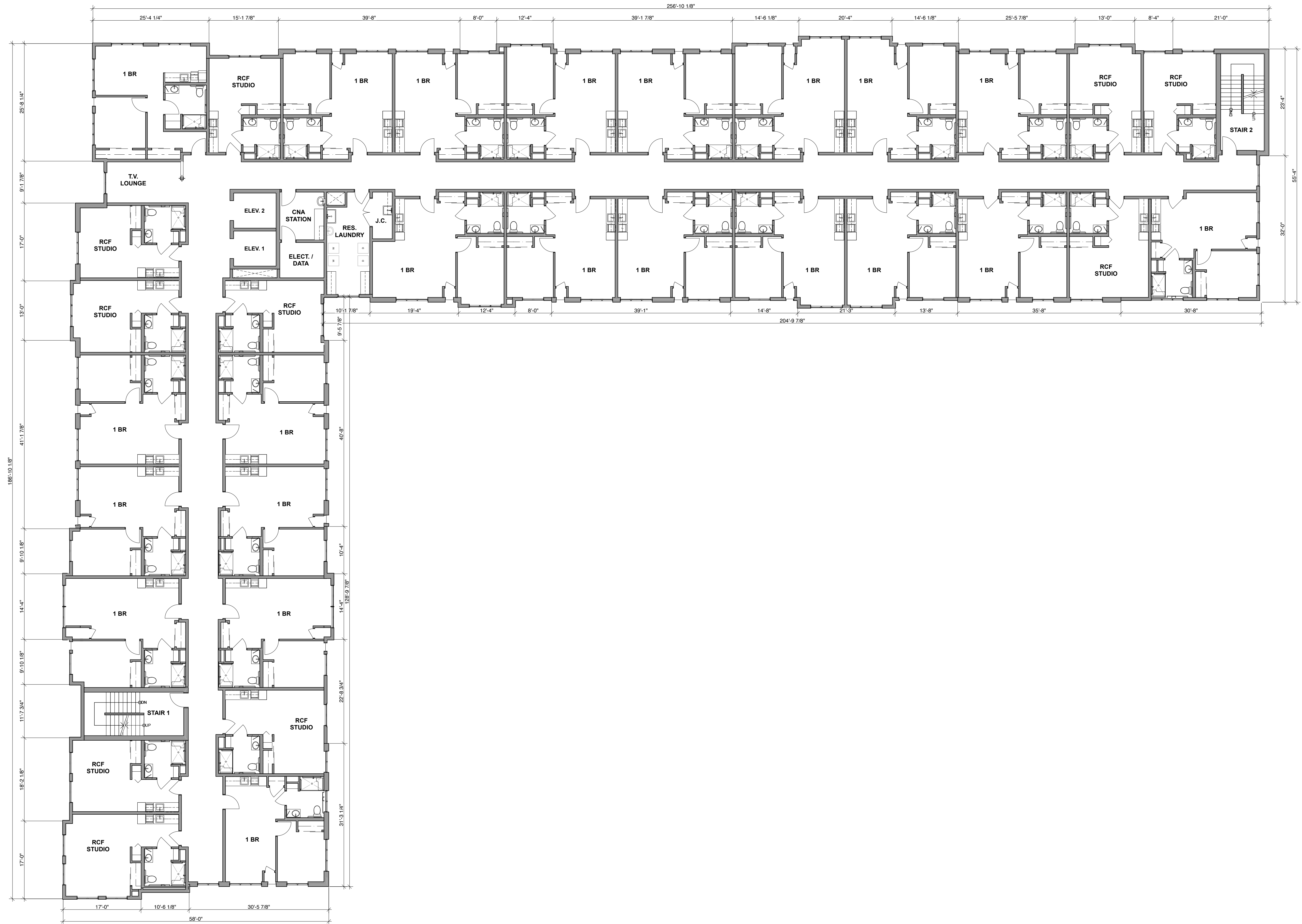
A 2ND FLOOR PLAN
 SCALE: 3/32" = 1'-0"

DRAFT-NOT FOR CONSTRUCTION

Noblesville Assisted Living Group, LLC
 330 West Marion Avenue
 Forsyth, IL 62535

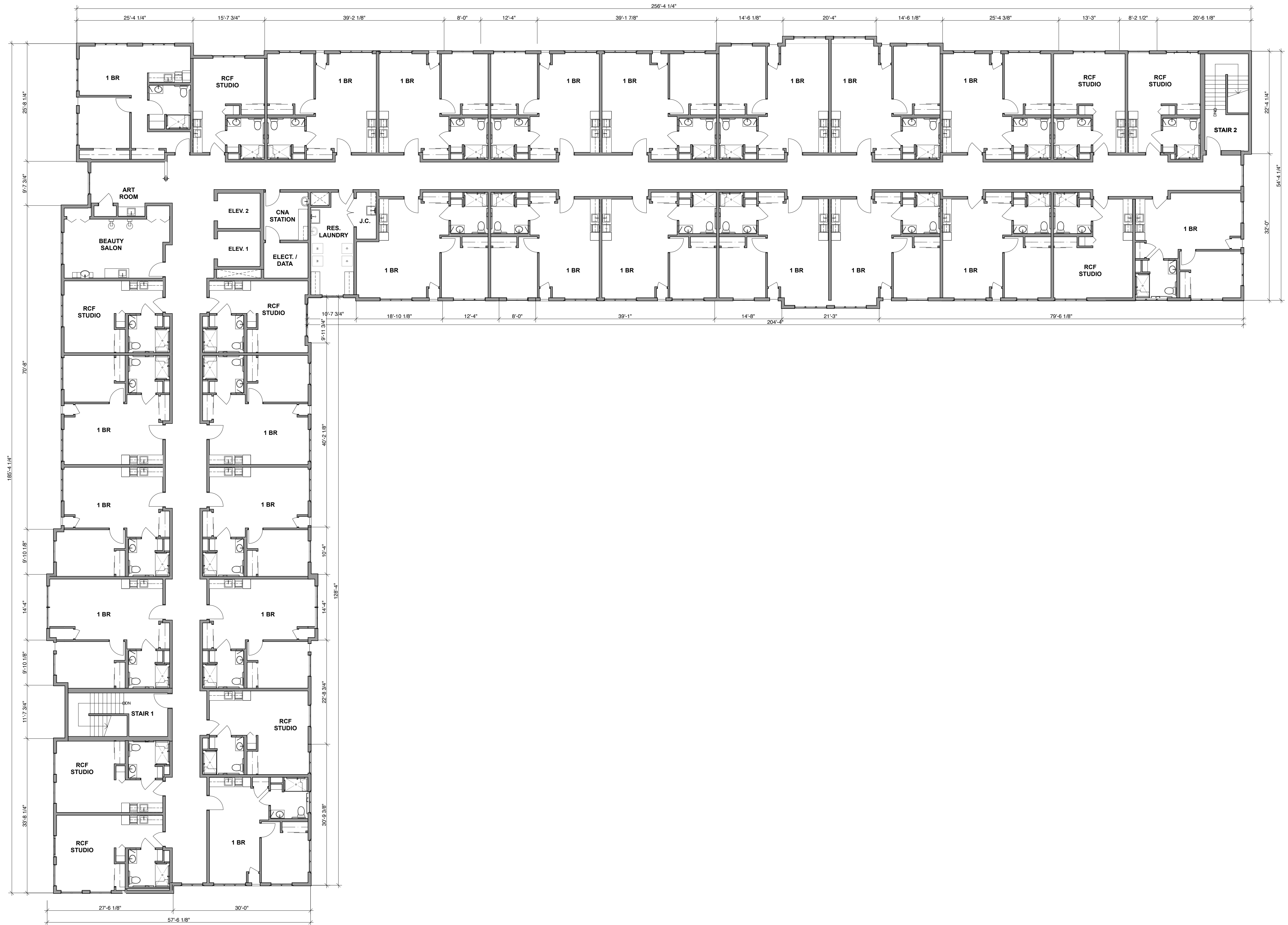
NOBLESVILLE RCF
 9600 E. 146th Street
 Noblesville, Indiana 46060
 11/30/16

© 2016 WORN JERABEK WILTSE ARCHITECTS, P.C.
WORN JERABEK WILTSE ARCHITECTS, P.C.
 401 West Superior St, Suite 400
 Chicago, IL 60654



A 3RD FLOOR PLAN
 SCALE: 3/32" = 1'-0" 

NOBLESVILLE RCF



A 4TH FLOOR PLAN
 SCALE: 3/32" = 1'-0" 

DRAFT-NOT FOR CONSTRUCTION

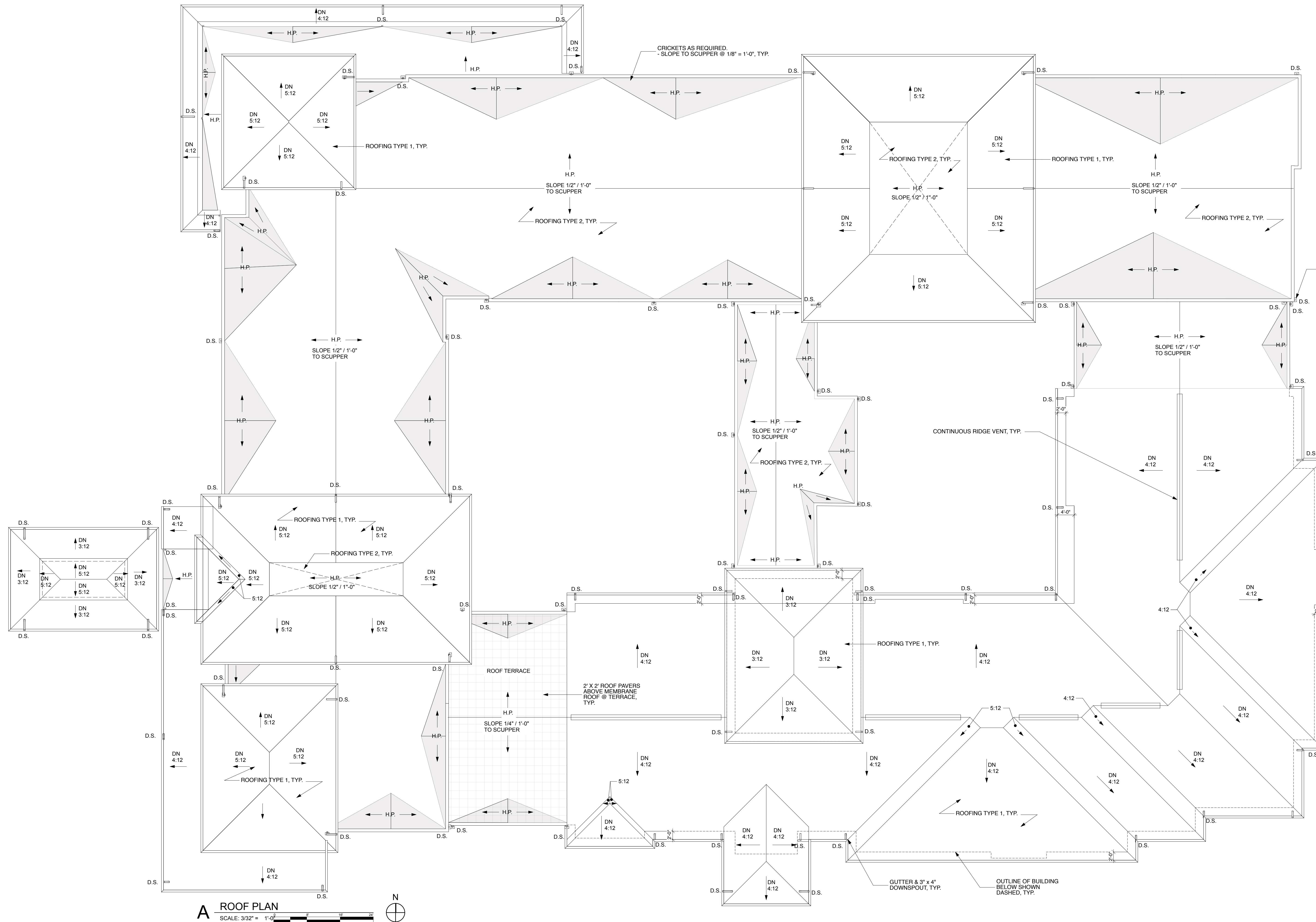
Noblesville Assisted Living Group, LLC
 330 West Marion Avenue
 Forsyth, IL 62535

NOBLESVILLE RCF

9600 E. 146th Street
 Noblesville, Indiana 46060
 11/30/16

© 2016 WORN JERABEK WILTSE ARCHITECTS, P.C.

WORN JERABEK WILTSE ARCHITECTS, P.C.
 401 West Superior St, Suite 400
 Chicago, IL 60654



A ROOF PLAN
SCALE: 3/32" = 1'-0"

- ROOF NOTES**
1. INSTALL ROOF SYSTEMS PER MANUFACTURER'S SPECIFIED REQUIREMENTS.
 2. FLASHING SHALL BE PROVIDED AT ALL ROOF PENETRATIONS, ROOF TERMINATIONS, ROOF PITCH CHANGES, VALLEYS AND ROOF/WALL INTERSECTIONS PER MANUFACTURER'S SPECIFIED REQUIREMENTS.
 3. INSURE THAT ALL MECHANICAL AND/OR PLUMBING CURBS ARE INSTALLED SO THAT ROOF SLOPE AND DRAINAGE ARE MAINTAINED. PROVIDE CRICKETS WHEN NECESSARY.
 4. POWER & PLUMBING PENETRATIONS SHALL BE FLASHED & SEALED.
 5. FLASH ALL VENT PIPES PASSING THROUGH ROOF. FLASHING SHALL EXTEND 12" IN ALL DIRECTIONS AND SHALL BE 4 LB. LEAD COATED ON BOTH SURFACES W/ LEAD ASPHALTUM. VENT FLASHING SHALL BE CARRIED UP, OVER & TURNED DOWN INTO VENT PIPES.
 6. ALL EQUIPMENT CURBS TO HAVE 4" (45°) CANTS.
 7. ROOFING TYPES 1 SHALL BE VENTILATED BY MEANS OF CONTINUOUS EAVE, OFF-PEAK, RIDGE, AND POP-UP VENTS. POP-UP VENTS TO BE LIMITED TO NORTHEAST SIDE OF BUILDING ONLY. THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/300 OF EACH AREA BEING VENTILATED W/ 50% MIN. OF THE VENTILATING AREA THROUGH THE TOP HALF OF THE ROOF AREA BEING VENTILATED. THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 IN LOW-SLOPE ROOF AREAS.
 8. ALL ROOF ASSEMBLIES TO BE 1 HOUR RATED.
 9. INSTALL CONT. ICE & WATER SHIELD @ ROOF PERIMETER & VALLEYS PER MFG. REQUIREMENTS. ICE & WATER SHIELD TO EXTEND MIN. 24" INSIDE EXTERIOR WALL LINE OF BUILDING.
 10. CONTRACTOR SHALL VERIFY WITH ROOFING MANUFACTURER IF HIGH WIND DESIGN REQUIREMENTS MUST BE FOLLOWED. ANY SUCH REQUIREMENTS SHALL BE STIPULATED ON THE ROOFING SHOP DRAWINGS SUBMITTED TO THE ARCHITECT.
 11. APPLY DOUBLE UNDERLAYMENT PER IBC 2012 CODE SECTION 1507 FOR ROOFS W/ SLOPES BETWEEN 2:12 & 4:12.
 12. INSTALL GUTTER EXPANSION JOINTS IN QUANTITIES AND LOCATIONS PER MANUFACTURER'S INSTRUCTIONS. INSTALL EXPANSION JOINT COVERS AS REQ'D.
 13. ROOFING TYPES:
 TYPE 1 - SHINGLE ROOFING
 - ARCHITECTURAL DIMENSIONAL FIBERGLASS REINFORCED ASPHALT SHINGLE
 - SELF-SEALING
 - 30-YEAR WARRANTY
 - ALGAE-RESISTANT
 - CLASS A COVERING AS DEFINED BY ASTM E 180 OR UL 790
 - MIN. 100 MPH WIND LOAD
 - TAMKO HERITAGE PREMIUM IR OR CERTAINTED LANDMARK IR
 - COLOR AND STYLE BY ARCHITECT FROM MANUF. FULL RANGE
 TYPE 2 - LOW-SLOPE ROOFING
 - 60 MIL. EPDM ROOFING MEMBRANE
 - TYPE I UN-REINFORCED
 - CLASS A COVERING AS DEFINED BY ASTM E 180 OR UL 790
 - FULLY ADHERED, COLD-APPLIED, ENERGY-STAR RATED
 - SINGLE- OR MULTI-PLY MEMBRANE, WHITE (79 ISRV)
 - 20-YEAR WARRANTY
 - PROVIDE VENTS AS REQUIRED BY MEMBRANE MANUFACTURER

DRAFT-NOT FOR CONSTRUCTION

Noblesville Assisted Living Group, LLC
330 West Marion Avenue
Forsyth, IL 62535

NOBLESVILLE RCF
9600 E. 146th Street
Noblesville, Indiana 46060
11/30/16

© 2016 WORN JERABEK WILTSE ARCHITECTS, P.C.

WORN JERABEK WILTSE ARCHITECTS, P.C.
401 West Superior St, Suite 400
Chicago, IL 60654