


2020058055 ORDINANCE \$25.00  
08/26/2020 01:59:46P 13 PGS  
Jennifer Hayden  
HAMILTON County Recorder IN  
Recorded as Presented  


ORDINANCE NO. 23-08-20

**AN ORDINANCE AMENDING THE UNIFIED DEVELOPMENT ORDINANCE  
NO. 62-12-95 AND ALL AMENDMENTS THERETO, A PART OF THE  
COMPREHENSIVE MASTER PLAN FOR THE CITY OF NOBLESVILLE, HAMILTON  
COUNTY, INDIANA**

An Ordinance to amend the Unified Development Ordinance and all amendments thereto for the City of Noblesville, Hamilton County, Indiana, enacted by the City of Noblesville under the authority of Indiana Code § 36-7-4-600, et seq., as amended.

WHEREAS, the Plan Commission of the City of Noblesville has conducted a public hearing on Application No. LEGP 0080-2020 as required by law concerning the establishment of a "Downtown Mixed Use Overlay" district; all a part of the Unified Development Ordinance and after due consideration has sent a favorable recommendation for adoption to the Council with a vote of 6 ayes, 0 nays, and 2 abstentions at their July 20, 2020 meeting, and

NOW, THEREFORE, BE IT ORDAINED by the Common Council of the City of Noblesville, Hamilton County, Indiana, meeting in regular session, adopts this ordinances as an amendment to the Unified Development Ordinance and the Official City of Noblesville Zoning Map to establish the "Downtown Mixed Use Overlay" as follows:

**SECTION 1.** The Zoning Map is hereby changed to designate the subject real estate generally located on the east side of Tenth Street, between Clinton and Wayne Streets, and west of the north-south alley and legally described as Lots 5, 6, 7 and 8 in Noblesville Original Plat a

subdivision within the City of Noblesville also known as Hamilton County Parcel Numbers 11-07-31-13-06-001.000, 11-07-31-13-06-003.000, 11-07-31-13-06-014.000, 11-07-31-13-06-015.000, 11-07-31-13-06-016.000, all within the zoning jurisdiction of the City of Noblesville, Hamilton County, Indiana and is currently zoned "DT Downtown" zoning district.

**SECTION 2.** Said ordinance and attached "Exhibit 1" rezones the property to include a "Downtown Mixed Use Overlay" district and the adoption of the submitted site plan and architectural elevations creating a "DT/DMU Downtown/Downtown Mixed Use" overlay zoning district. Exhibit 2 – Site Plan and Exhibit 3 – Architectural Elevations are adopted as a part of this ordinance.

**SECTION 3.** The following waivers from the underlying standards are granted as a part of this ordinance: (1) reduction of rear yard setback for accessory buildings (garages) to zero; (2) allowance of a building containing only residential uses; (3) reduction of the length of a parking space within the development to a minimum of 18-FT; and (4) elimination of screening around the trash receptacle enclosure.

**SECTION 4.** Unless a development standard, specification, guideline, and/or requirement contained in the Unified Development Ordinance is varied, altered, or modified by this ordinance and/or exhibits, then such development standards, specifications, guidelines, and/or requirements as specified in the Unified Development Ordinance shall apply.

**SECTION 5.** This Ordinance shall be in full force and effect from and upon its adoption and publication in accordance with the law. All prior ordinances or parts thereof in conflict therewith are repealed and deemed to conform to the provisions of these amendments.

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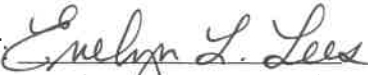
Approved on this 25<sup>th</sup> day of August, 2020 by the Common Council of  
the City of Noblesville, Indiana:

AYE

NAY

ABSTAIN

	Brian Ayer		
	Mark Boice		
	Michael J. Davis		
	Wil Hampton		
	Gregory P. O'Connor		
	Darren Peterson		
	Pete Schwartz		
	Aaron Smith		
	Megan G. Wiles		

ATTEST:   
Evelyn L. Lees, City Clerk

Presented by me to the Mayor of the City of Noblesville, Indiana, this 25<sup>th</sup> day of

August, 2020 at 7:50 P.M.

Evelyn L. Lees  
Evelyn L. Lees, City Clerk

MAYOR'S APPROVAL

Chris Jensen  
Chris Jensen, Mayor

Date 8-25-20

MAYOR'S VETO

\_\_\_\_\_  
Chris Jensen, Mayor

Date \_\_\_\_\_

ATTEST: Evelyn L. Lees  
Evelyn L. Lees, City Clerk

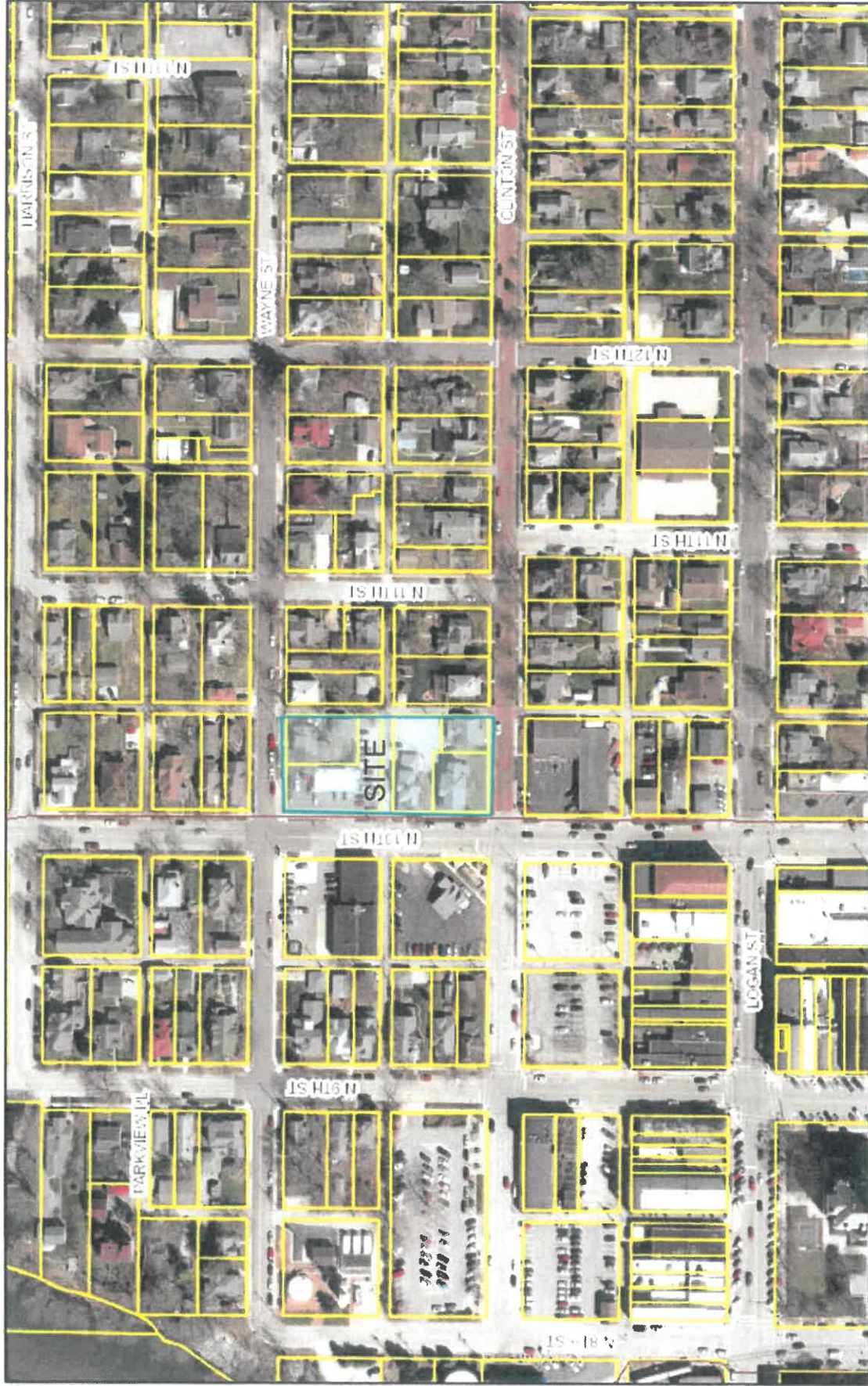


I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security Number in this document, unless required by law: Joyceann Yelton

Prepared by: Joyceann Yelton, Noblesville Planning Department, 16 S. Tenth Street, Noblesville, IN 46060 317-776-6325

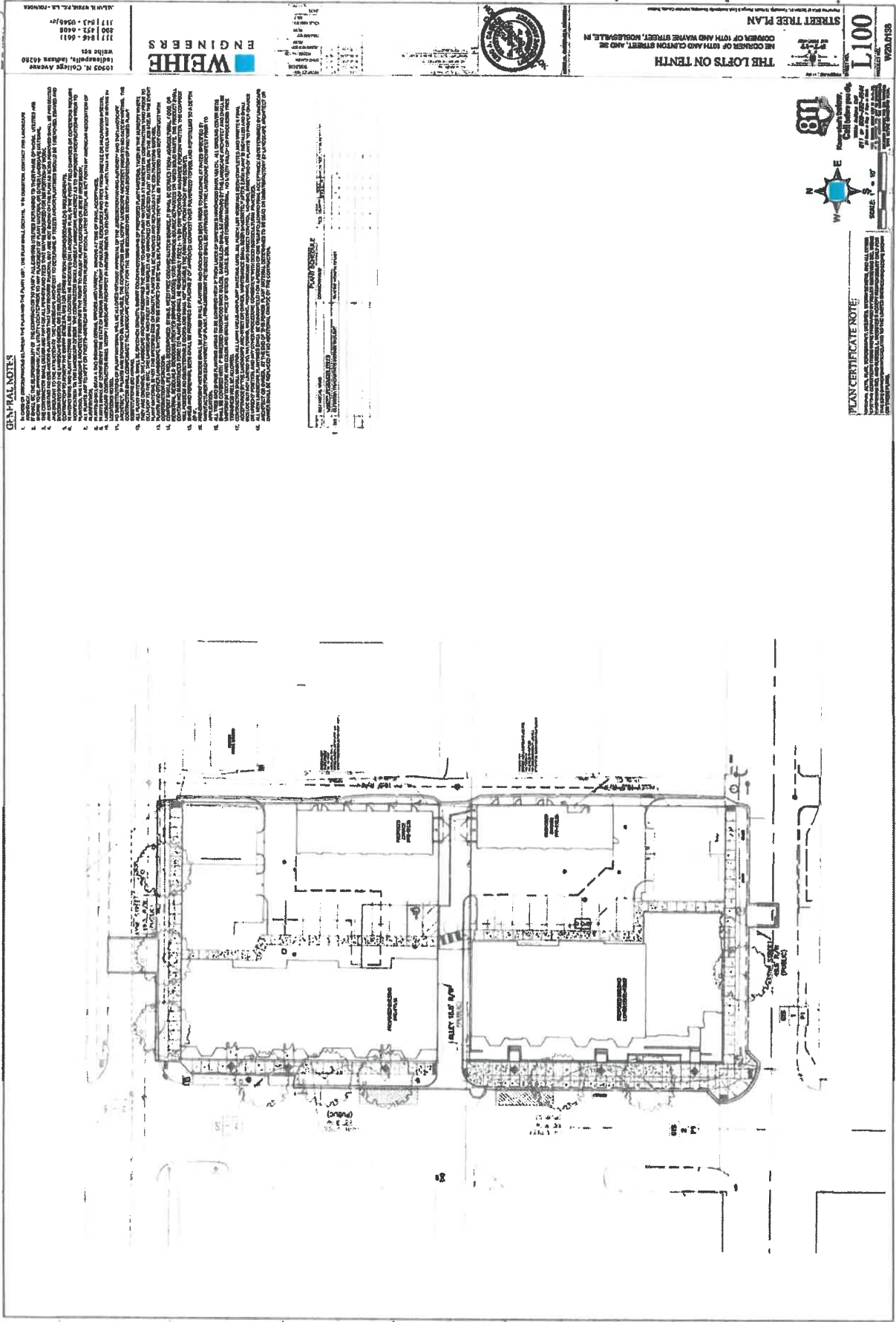
# EXHIBIT 1

# AERIAL PHOTOGRAPH



July 17, 2020

- centerlines
- park\_trails
- park\_trails\_gap
- Parcels



GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE '2015 INTERNATIONAL BUILDING CODES', WITH THE EXCEPTIONS SPECIFIED HEREIN.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS.
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19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS.

**WEIHE ENGINEERS**  
 1505 N. COLLEGE AVENUE  
 DENVER, COLORADO 80202  
 PHONE: 303.733.8888  
 FAX: 303.733.8889  
 WWW.WEIHENGINEERS.COM

**STREET TREE PLAN**  
 THE CORNER OF TENTH AND CLAYTON STREET, AND SE  
 CORNER OF TENTH AND WAYNE STREET, BOULDER, CO

DATE: 08/14/2015  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 APPROVED BY: [Name]

**L100**  
 WARDEN  
 PLAN CERTIFICATE NOTE  
 THIS PLAN IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION. ANY CHANGES TO THIS PLAN MUST BE APPROVED BY THE ARCHITECT AND ENGINEER.

SOUTH BUILDING



**New Live Work Residential Development**  
**Lofts on Tenth**  
 120 West and Ocean Street  
 Philadelphia, Indiana  
 10th and Clinton Development

Conceptual Design

May 24, 2020

- ▲ ARCHITECT
- ▲ INTERIOR ARCHITECT
- ▲ ELECTRICAL
- ▲ MECHANICAL
- ▲ PLUMBING
- ▲ STRUCTURAL
- ▲ LANDSCAPE ARCHITECT
- ▲ CIVIL ENGINEER
- ▲ ENVIRONMENTAL ENGINEER
- ▲ HISTORIC ARCHITECTURE CONSULTANT

PROJECT NAME: **Lofts on Tenth**  
 PROJECT NUMBER: **1001**  
 ARCHITECT: **Peterson Architecture**  
 OWNER: **Clinton Development**  
 DATE: **05/24/20**

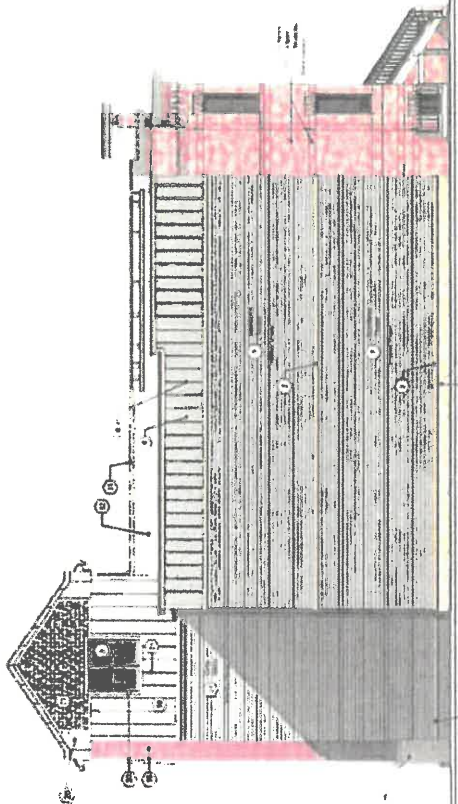
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**A201**

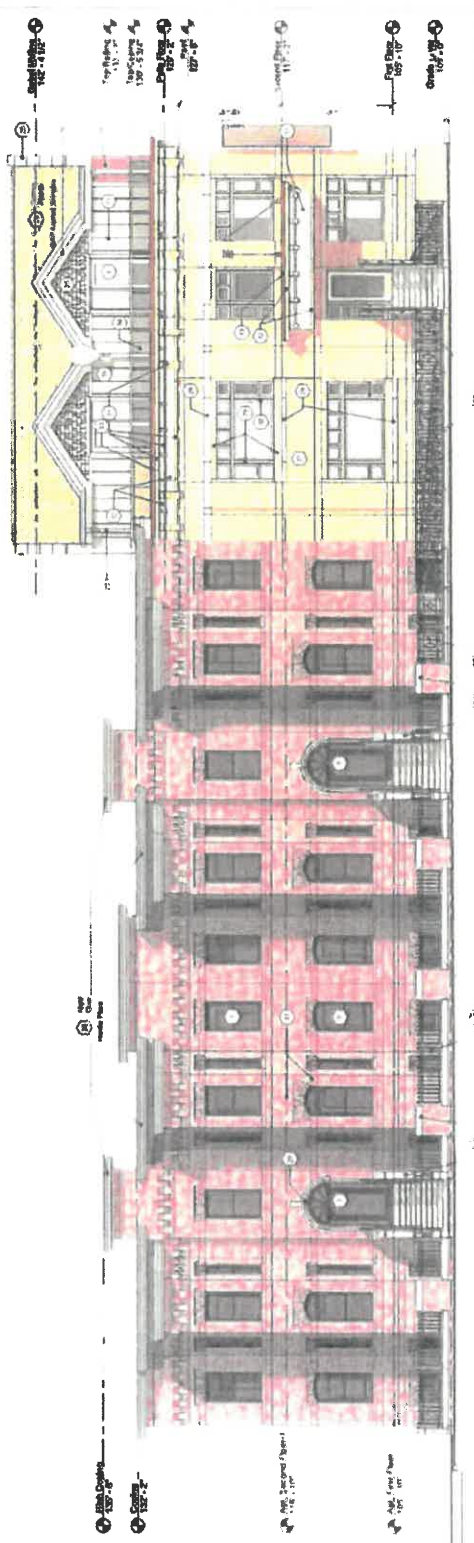
1001 10th and Clinton Development  
 120 West and Ocean Street  
 Philadelphia, Indiana  
 10th and Clinton Development

**Materials Schedule**

No.	Material	Color
1	Head Plank	Marquetry Tease
2	Head Plank	Tricolor Oak
3	Head Plank	Tricolor Oak
4	Head Plank	Tricolor Oak
5	Head Plank	Tricolor Oak
6	Head Plank	Tricolor Oak
7	Head Plank	Tricolor Oak
8	Head Plank	Tricolor Oak
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93	Head Plank	Tricolor Oak
94	Head Plank	Tricolor Oak
95	Head Plank	Tricolor Oak
96	Head Plank	Tricolor Oak
97	Head Plank	Tricolor Oak
98	Head Plank	Tricolor Oak
99	Head Plank	Tricolor Oak
100	Head Plank	Tricolor Oak



**1 North Elevation**  
 Scale: 3/8" = 1'-0"



**2 West Elevation**  
 Scale: 3/8" = 1'-0"

**Lofts on Tenth**  
 10th and Clinton Street  
 New Live Work Residential Development

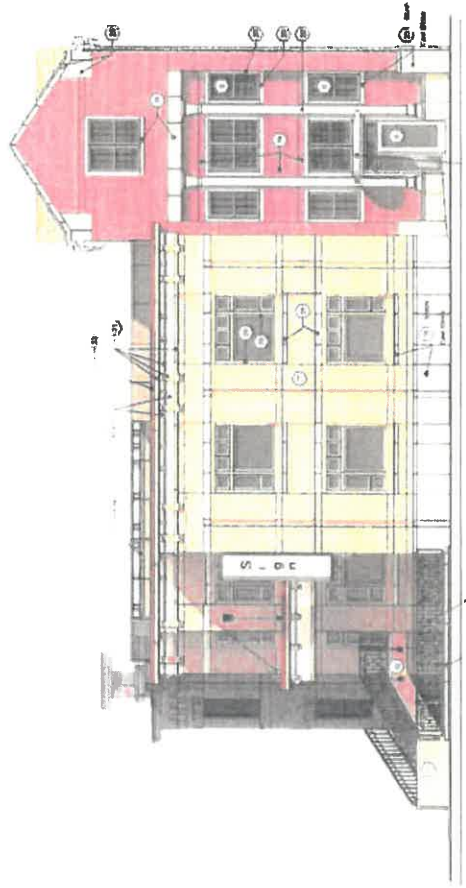
Conceptual Design  
 May 20, 2020

EXISTING  
 DEMOLITION  
 NEW CONSTRUCTION  
 NEW MATERIALS  
 NEW FINISHES  
 NEW EQUIPMENT  
 NEW UTILITIES  
 NEW MECHANICAL  
 NEW ELECTRICAL  
 NEW PLUMBING  
 NEW PAINT  
 NEW GLASS  
 NEW ROOFING  
 NEW FLOORING  
 NEW CEILING  
 NEW WALLS  
 NEW DOORS  
 NEW WINDOWS  
 NEW STAIRS  
 NEW ELEVATORS  
 NEW EXTERIOR  
 NEW INTERIOR  
 NEW LIGHTING  
 NEW FURNITURE  
 NEW APPLIANCES  
 NEW FIXTURES  
 NEW ACCESSORIES  
 NEW LANDSCAPE  
 NEW SITEWORK  
 NEW UTILITIES  
 NEW MECHANICAL  
 NEW ELECTRICAL  
 NEW PLUMBING  
 NEW PAINT  
 NEW GLASS  
 NEW ROOFING  
 NEW FLOORING  
 NEW CEILING  
 NEW WALLS  
 NEW DOORS  
 NEW WINDOWS  
 NEW STAIRS  
 NEW ELEVATORS  
 NEW EXTERIOR  
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 NEW LIGHTING  
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 NEW APPLIANCES  
 NEW FIXTURES  
 NEW ACCESSORIES  
 NEW LANDSCAPE  
 NEW SITEWORK

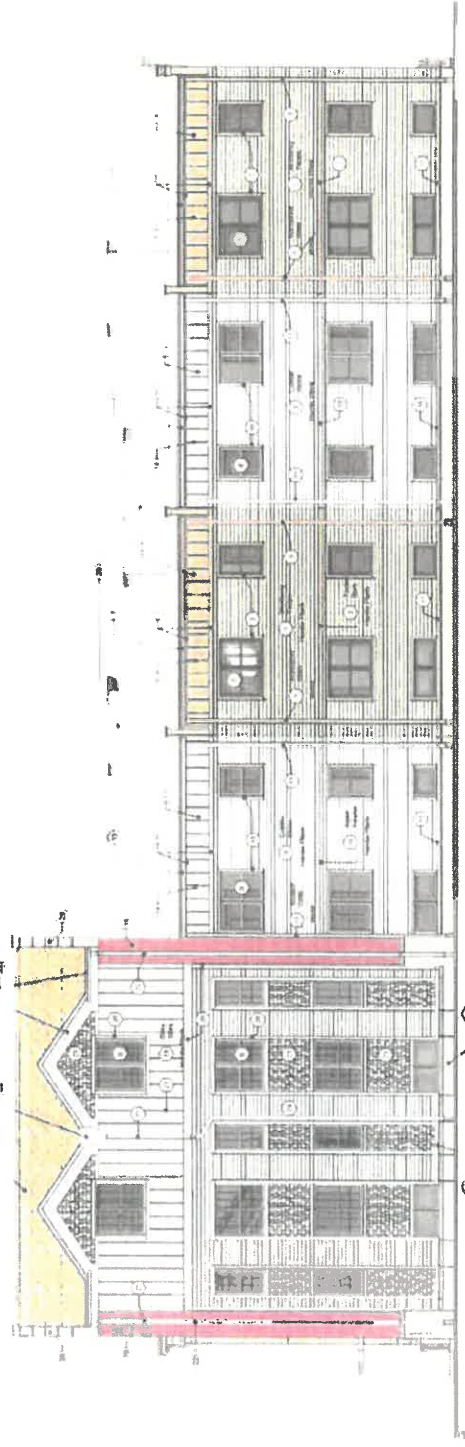
**A202**

**Materials Schedule**

No.	Material	Color	Finish
1	Headed Brick	Red	Standard
2	Headed Brick	Yellow	Standard
3	Headed Brick	White	Standard
4	Headed Brick	Black	Standard
5	Headed Brick	Grey	Standard
6	Headed Brick	Blue	Standard
7	Headed Brick	Green	Standard
8	Headed Brick	Brown	Standard
9	Headed Brick	Pink	Standard
10	Headed Brick	Purple	Standard
11	Headed Brick	Orange	Standard
12	Headed Brick	Light Grey	Standard
13	Headed Brick	Dark Grey	Standard
14	Headed Brick	Light Blue	Standard
15	Headed Brick	Dark Blue	Standard
16	Headed Brick	Light Green	Standard
17	Headed Brick	Dark Green	Standard
18	Headed Brick	Light Brown	Standard
19	Headed Brick	Dark Brown	Standard
20	Headed Brick	Light Pink	Standard
21	Headed Brick	Dark Pink	Standard
22	Headed Brick	Light Purple	Standard
23	Headed Brick	Dark Purple	Standard
24	Headed Brick	Light Orange	Standard
25	Headed Brick	Dark Orange	Standard
26	Headed Brick	Light Yellow	Standard
27	Headed Brick	Dark Yellow	Standard
28	Headed Brick	Light White	Standard
29	Headed Brick	Dark White	Standard
30	Headed Brick	Light Black	Standard
31	Headed Brick	Dark Black	Standard
32	Headed Brick	Light Grey	Standard
33	Headed Brick	Dark Grey	Standard
34	Headed Brick	Light Blue	Standard
35	Headed Brick	Dark Blue	Standard
36	Headed Brick	Light Green	Standard
37	Headed Brick	Dark Green	Standard
38	Headed Brick	Light Brown	Standard
39	Headed Brick	Dark Brown	Standard
40	Headed Brick	Light Pink	Standard
41	Headed Brick	Dark Pink	Standard
42	Headed Brick	Light Purple	Standard
43	Headed Brick	Dark Purple	Standard
44	Headed Brick	Light Orange	Standard
45	Headed Brick	Dark Orange	Standard
46	Headed Brick	Light Yellow	Standard
47	Headed Brick	Dark Yellow	Standard
48	Headed Brick	Light White	Standard
49	Headed Brick	Dark White	Standard
50	Headed Brick	Light Black	Standard
51	Headed Brick	Dark Black	Standard
52	Headed Brick	Light Grey	Standard
53	Headed Brick	Dark Grey	Standard
54	Headed Brick	Light Blue	Standard
55	Headed Brick	Dark Blue	Standard
56	Headed Brick	Light Green	Standard
57	Headed Brick	Dark Green	Standard
58	Headed Brick	Light Brown	Standard
59	Headed Brick	Dark Brown	Standard
60	Headed Brick	Light Pink	Standard
61	Headed Brick	Dark Pink	Standard
62	Headed Brick	Light Purple	Standard
63	Headed Brick	Dark Purple	Standard
64	Headed Brick	Light Orange	Standard
65	Headed Brick	Dark Orange	Standard
66	Headed Brick	Light Yellow	Standard
67	Headed Brick	Dark Yellow	Standard
68	Headed Brick	Light White	Standard
69	Headed Brick	Dark White	Standard
70	Headed Brick	Light Black	Standard
71	Headed Brick	Dark Black	Standard
72	Headed Brick	Light Grey	Standard
73	Headed Brick	Dark Grey	Standard
74	Headed Brick	Light Blue	Standard
75	Headed Brick	Dark Blue	Standard
76	Headed Brick	Light Green	Standard
77	Headed Brick	Dark Green	Standard
78	Headed Brick	Light Brown	Standard
79	Headed Brick	Dark Brown	Standard
80	Headed Brick	Light Pink	Standard
81	Headed Brick	Dark Pink	Standard
82	Headed Brick	Light Purple	Standard
83	Headed Brick	Dark Purple	Standard
84	Headed Brick	Light Orange	Standard
85	Headed Brick	Dark Orange	Standard
86	Headed Brick	Light Yellow	Standard
87	Headed Brick	Dark Yellow	Standard
88	Headed Brick	Light White	Standard
89	Headed Brick	Dark White	Standard
90	Headed Brick	Light Black	Standard
91	Headed Brick	Dark Black	Standard
92	Headed Brick	Light Grey	Standard
93	Headed Brick	Dark Grey	Standard
94	Headed Brick	Light Blue	Standard
95	Headed Brick	Dark Blue	Standard
96	Headed Brick	Light Green	Standard
97	Headed Brick	Dark Green	Standard
98	Headed Brick	Light Brown	Standard
99	Headed Brick	Dark Brown	Standard
100	Headed Brick	Light Pink	Standard



**2 South Elevation**  
 Scale: 3/8" = 1'-0"



**1 East Elevation**  
 Scale: 3/8" = 1'-0"



New Live Work Residential Development  
10th and Clinton Street  
Madison, Indiana  
**Lofts on Tenth**  
10th and Clinton Development

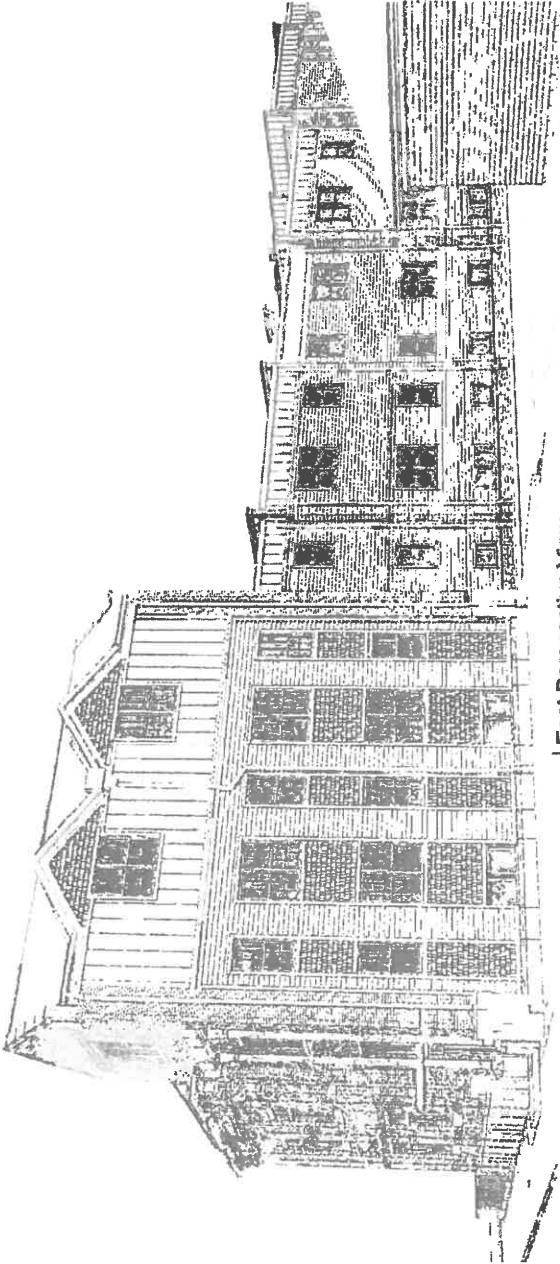
Conceptual Design

May 28, 2020

- APPROVED BY: [Signature]
- DESIGNED BY: [Signature]
- PROJECT NUMBER: 19-011
- DATE: 05/28/20

ARCHITECT: Peterson Architecture, P.A.  
 1000 North State Street, Suite 200  
 Madison, Indiana 47202  
 PHONE: 765.224.1111  
 FAX: 765.224.1112  
 WWW: www.petersonarch.com

**A204**



1 | East Perspective View



2 | Clinton Street View



**NORTH BUILDING**

PETERSON ARCHITECTURE

**Flats on Tenth**  
 10th and Clinton Streets  
 100 West and Clinton Streets  
 10th and Clinton Development

Completed Design

May 20, 2020

- ARCHITECT: Peterson Architecture
- ENGINEER: [Symbol] [Symbol]
- STRUCTURAL ENGINEER: [Symbol] [Symbol]
- MECHANICAL ENGINEER: [Symbol] [Symbol]
- ELECTRICAL ENGINEER: [Symbol] [Symbol]
- PLUMBING ENGINEER: [Symbol] [Symbol]
- PAINTING CONTRACTOR: [Symbol] [Symbol]

DATE: 05/20/20

PROJECT: 100 West and Clinton Streets

CLIENT: 10th and Clinton Development

DESIGNER: [Symbol] [Symbol]

DATE: 05/20/20

PROJECT: 100 West and Clinton Streets

CLIENT: 10th and Clinton Development

DESIGNER: [Symbol] [Symbol]

DATE: 05/20/20

PROJECT: 100 West and Clinton Streets

CLIENT: 10th and Clinton Development

DESIGNER: [Symbol] [Symbol]

DATE: 05/20/20

PROJECT: 100 West and Clinton Streets

CLIENT: 10th and Clinton Development

DESIGNER: [Symbol] [Symbol]

DATE: 05/20/20

PROJECT: 100 West and Clinton Streets

CLIENT: 10th and Clinton Development

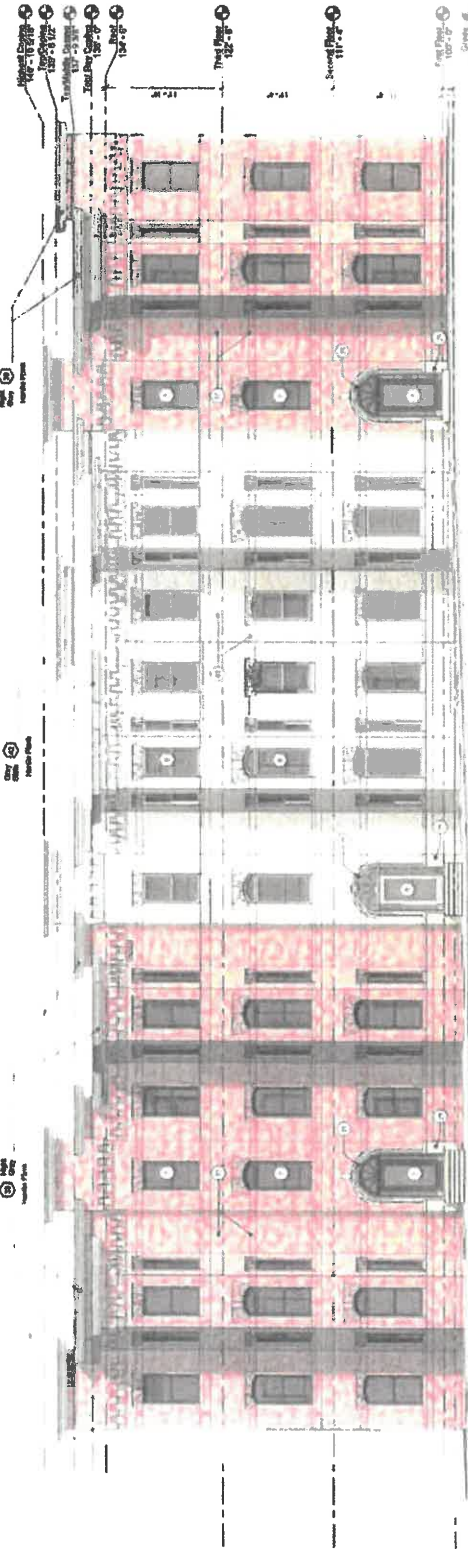
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DATE: 05/20/20

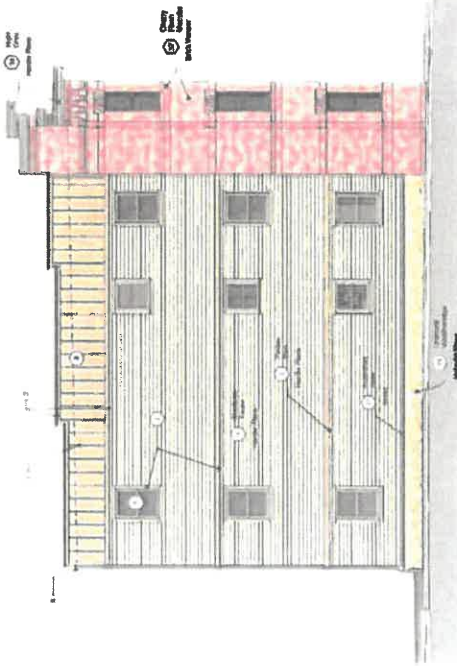
PROJECT: 100 West and Clinton Streets

CLIENT: 10th and Clinton Development

DESIGNER: [Symbol] [Symbol]



**1 West Elevation**  
 Scale: 3/16" = 1'-0"



**2 North Elevation**  
 Scale: 3/16" = 1'-0"

**Materials Schedule**

Material	Color
1. Hard Brick	Manhattan Grey
2. Hard Brick	Timber Bark
3. Hard Brick	Burnished Slate
4. Hard Brick	Timber Bark
5. Hard Brick	Manhattan Grey
6. Hard Brick	Manhattan Grey
7. Hard Brick	Manhattan Grey
8. Hard Brick	Manhattan Grey
9. Hard Brick	Manhattan Grey
10. Hard Brick	Manhattan Grey
11. Hard Brick	Manhattan Grey
12. Hard Brick	Manhattan Grey
13. Hard Brick	Manhattan Grey
14. Hard Brick	Manhattan Grey
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16. Hard Brick	Manhattan Grey
17. Hard Brick	Manhattan Grey
18. Hard Brick	Manhattan Grey
19. Hard Brick	Manhattan Grey
20. Hard Brick	Manhattan Grey
21. Hard Brick	Manhattan Grey
22. Hard Brick	Manhattan Grey
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27. Hard Brick	Manhattan Grey
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33. Hard Brick	Manhattan Grey
34. Hard Brick	Manhattan Grey
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36. Hard Brick	Manhattan Grey
37. Hard Brick	Manhattan Grey
38. Hard Brick	Manhattan Grey
39. Hard Brick	Manhattan Grey
40. Hard Brick	Manhattan Grey
41. Hard Brick	Manhattan Grey
42. Hard Brick	Manhattan Grey

**Flats on Tenth**  
 100 Street and Clinton  
 Northeast, Atlanta  
 10th and Clinton Development

Conceptual Design

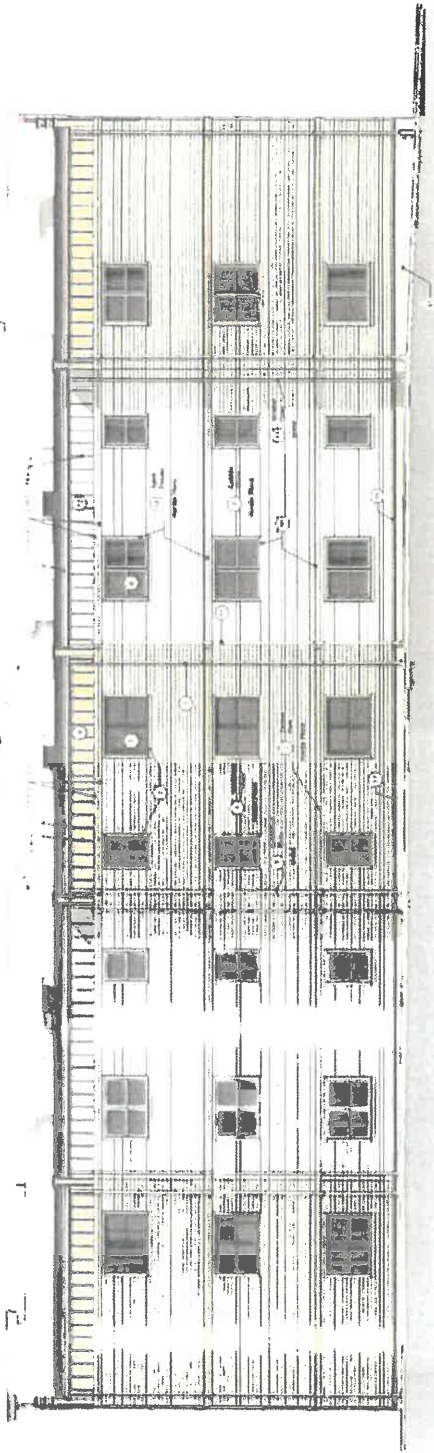
May 28, 2020

PROJECT:  
 10th and Clinton  
 100 Street and Clinton  
 Northeast, Atlanta

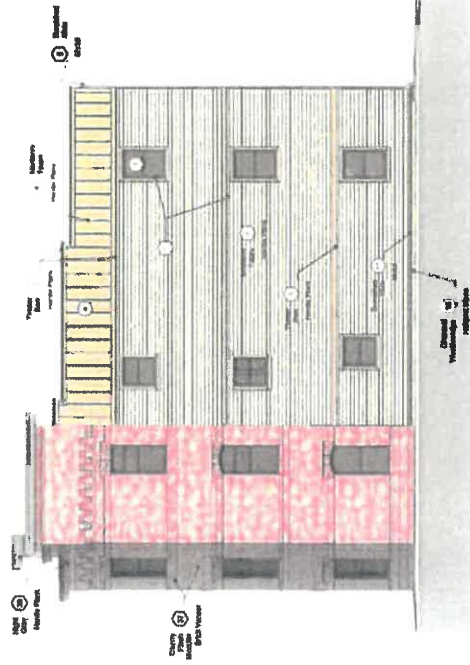
DATE:  
 May 28, 2020  
 DRAWN BY:  
 Peter Peterson  
 CHECKED BY:  
 Peter Peterson

**A202**

PROJECT NO.:  
 10th and Clinton  
 100 Street and Clinton  
 Northeast, Atlanta



**1 East Elevation**  
 Scale: 3/16" = 1'-0"



**3 South Elevation**  
 Scale: 3/16" = 1'-0"

**Materials Schedule**

No.	Material	Color
1	Head Plank	Mercury Taper
2	Head Plank	Mercury Taper
3	Head Plank	Mercury Taper
4	Head Plank	Mercury Taper
5	Head Plank	Mercury Taper
6	Head Plank	Mercury Taper
7	Head Plank	Mercury Taper
8	Head Plank	Mercury Taper
9	Head Plank	Mercury Taper
10	Head Plank	Mercury Taper
11	Head Plank	Mercury Taper
12	Head Plank	Mercury Taper
13	Head Plank	Mercury Taper
14	Head Plank	Mercury Taper
15	Head Plank	Mercury Taper
16	Head Plank	Mercury Taper
17	Head Plank	Mercury Taper
18	Head Plank	Mercury Taper
19	Head Plank	Mercury Taper
20	Head Plank	Mercury Taper
21	Head Plank	Mercury Taper
22	Head Plank	Mercury Taper
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24	Head Plank	Mercury Taper
25	Head Plank	Mercury Taper
26	Head Plank	Mercury Taper
27	Head Plank	Mercury Taper
28	Head Plank	Mercury Taper
29	Head Plank	Mercury Taper
30	Head Plank	Mercury Taper
31	Head Plank	Mercury Taper
32	Head Plank	Mercury Taper
33	Head Plank	Mercury Taper
34	Head Plank	Mercury Taper
35	Head Plank	Mercury Taper
36	Head Plank	Mercury Taper
37	Head Plank	Mercury Taper
38	Head Plank	Mercury Taper
39	Head Plank	Mercury Taper
40	Concrete Sill	Clear
41	Concrete Sill	Clear
42	Concrete Sill	Clear
43	Concrete Sill	Clear
44	Concrete Sill	Clear
45	Concrete Sill	Clear
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66	Concrete Sill	Clear
67	Concrete Sill	Clear
68	Concrete Sill	Clear
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70	Concrete Sill	Clear

Multitenant Residential Building  
10th and Clinton Development  
10th Street and Ohio Street  
Middletown, Indiana

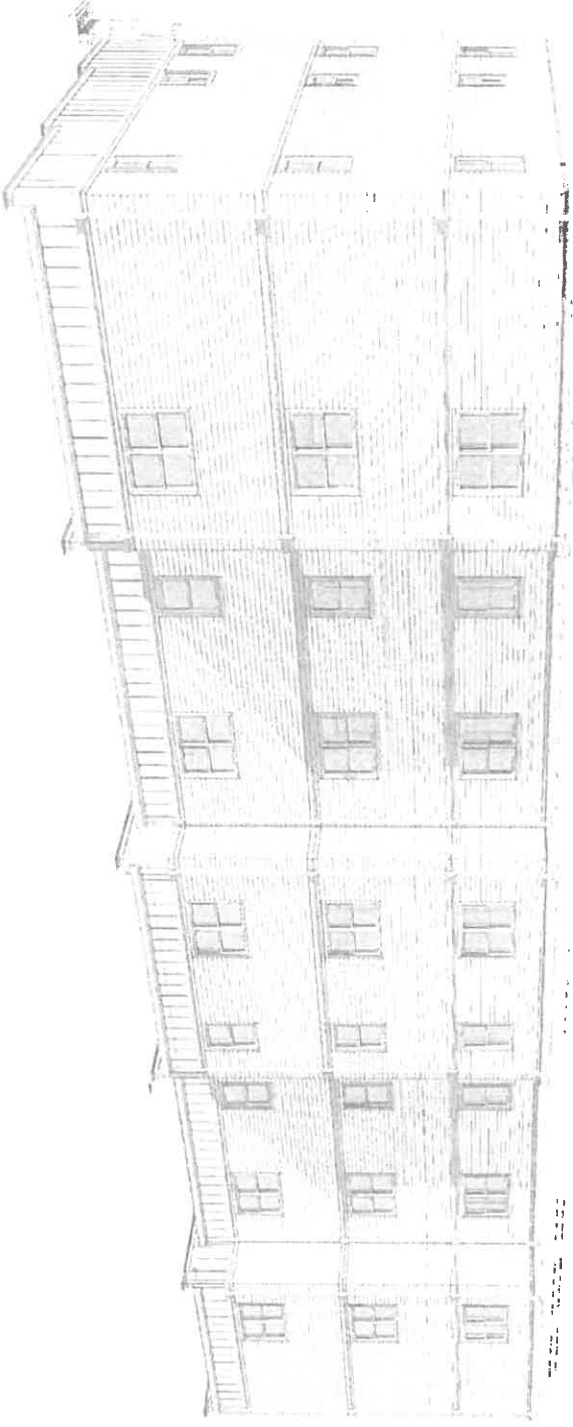
Conceptual Design

May 28, 2020

- PROJECT NO. A203
- DATE: 05/28/20
- PROJECT NAME: 10th and Clinton Development
- CLIENT: Peterson Architecture

ARCHITECT: Peterson Architecture  
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A203



1 East View